

ORDINARY COUNCIL MEETING 20 SEPTEMBER 2023 ATTACHMENTS

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LISTING OF PAYMENTS MADE
UNDER DELEGATED AUTHORITY
FOR THE MONTH OF JULY 2023

CHEQUE PAYMENTS	119717 - 119736	111,510.18
ELECTRONIC FUNDS TRANSFER PAYMENTS	96756 - 97224	5,535,583.15
TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

CHEQUE PAYMENTS JULY 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
24/07/2023	119724	BUSSELTON PUBLIC LIBRARY - PETTY CASH	PETTY CASH REIMBURSEMENT	144.15
13/07/2023	119720	CARLEEN M BRYANT	REFUND OF RATE OVERPAYMENT	750.00
26/07/2023	119733	CITY OF BUSSELTON	REIMBURSEMENTS - ACQUATIC FACILITY SERVICES	1,656.00
13/07/2023	119719	CITY OF BUSSELTON - PETTY CASH	PETTY CASH REIMBURSEMENT	581.45
13/07/2023	119718	CITY OF BUSSELTON DEPOT - PETTY CASH	PETTY CASH RECoup	84.60
13/07/2023	119721	COMMISSIONER OF STATE REVENUE	REFUND OF RATE OVERPAYMENT	104.01
24/07/2023	119725	DAVID AND JANICE ANDREWS	REFUND OF RATE OVERPAYMENT	750.00
24/07/2023	119723	DEPARTMENT OF TRANSPORT	PLANT REGISTRATION	327.00
26/07/2023	119736	DEPARTMENT OF TRANSPORT	PLANT REGISTRATION	62,686.50
13/07/2023	119722	ELAINE DORIS ATKINSON	REFUND OF RATE OVERPAYMENT	818.61
24/07/2023	119727	ROBERT TURNER	REFUND OF RATE OVERPAYMENT	2,746.07
24/07/2023	119728	STEPHEN PRITCHARD & ELIZABETH GILBERT	REFUND OF RATE OVERPAYMENT	796.50
13/07/2023	119717	VOIDED	VOIDED	-
26/07/2023	119729	VOIDED	VOIDED	-
26/07/2023	119730	VOIDED	VOIDED	-
26/07/2023	119731	VOIDED	VOIDED	-
26/07/2023	119732	VOIDED	VOIDED	-
26/07/2023	119735	VOIDED	VOIDED	-
26/07/2023	119734	WATER CORPORATION	WATER SERVICES	37,319.79
24/07/2023	119726	WENDY NOLAN	REFUND OF RATE OVERPAYMENT	2,745.50
				111,510.18

EFT PAYMENTS JULY 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
12/07/2023	96870	360 ENVIRONMENTAL	ENVIRONMENTAL CONSULTANCY	8,261.00
27/07/2023	97075	ABAXA (WH LOCATION SERVICES PTY LTD)	SUB SURFACE DETECTION - STRELLY STREET	6,757.85
12/07/2023	96949	ACTIV FOUNDATION INC	MAINTENANCE SERVICES	55,659.21
27/07/2023	97030	ACTION PARK AND DISTRICTS COMMUNITY HALL	DONATION	1,000.00
27/07/2023	97122	AD BEZANT	RATE REFUND	810.49
12/07/2023	96819	ADAM JOHN SOULOS ATF ADAM J SOULOS FAMILY	CONCRETE REPAIR WORK BUSSELTON FORESHORE	10,340.00
12/07/2023	96829	ADVAM PTY LTD	AIRPORT CARPARK CREDIT CARD TRANSACTIONS	681.12
12/07/2023	96815	ADVANCED DRIVEWAY SEALING	MAINTENANCE SERVICES	280.50
27/07/2023	97077	ADVANCED DRIVEWAY SEALING	MAINTENANCE SERVICES	561.00
27/07/2023	97084	AERODROME MANAGEMENT SERVICES	AIR SERVICES	35,067.09
12/07/2023	96811	AEROMETREX PTY LTD	SUBSCRIPTION TO AERIAL PHOTOGRAPHY	1,650.00
12/07/2023	96868	AGI POWDERCOATERS & SANDBLASTERS	SANDBLASTING AND POWDERCOATING SERVICES	2,145.00
27/07/2023	97112	AHOY MANAGEMENT	CABIN FEVER FESTIVAL ACTIVITIES - GRANT FUNDING MILESTONE 2	11,000.00
12/07/2023	96796	ALINTA SALES PTY LTD	ELECTRICITY	88.20
19/07/2023	96998	ALINTA SALES PTY LTD	ELECTRICITY	27.55
27/07/2023	97058	ALINTA SALES PTY LTD	ELECTRICITY	556.20
12/07/2023	96859	ALISON BURTON	ART SALES	80.50
12/07/2023	96913	ALLIED FORKLIFTS PTY LTD	FORKLIFT SALES AND SERVICE	12,980.00
27/07/2023	97107	ALTUS GROUP CONSULTING PTY LTD	COST MANAGEMENT SERVICES	4,400.00
12/07/2023	96946	ANIMAL PEST MANAGEMENT SERVICES	PEST CONTROL SERVICES	8,068.50
12/07/2023	96981	APEX ENVIRO CARE	STAGE 2 LVR DREDGING	155,815.00
12/07/2023	96823	AQUATIC SERVICES WA PTY LTD	POOL SERVICE AND MAINTENANCE	5,922.40
12/07/2023	96767	ARBOR GUY	TREE MAINTENANCE SERVICES - VASSE-YALLINGUP SIDING, PUZEY RD & WEST BSN	85,008.14
27/07/2023	97025	ARBOR GUY	TREE MAINTENANCE SERVICES	1,525.04
27/07/2023	97067	ARM SECURITY	SECURITY SYSTEMS SUPPLY AND MONITORING	1,493.58
27/07/2023	97164	ARROW BRONZE	MEMORIAL PLAQUES SUPPLIER	429.84
13/07/2023	96989	ATO EFT DEPOSITS TRUST A/C	PAYG TAXATION	250,879.00
27/07/2023	97219	ATO EFT DEPOSITS TRUST A/C	PAYG TAXATION	270,937.00
12/07/2023	96901	ATTEKUS	SOFTWARE SERVICES	240.63
27/07/2023	97035	AUSQ TRAINING	TRAINING SERVICES	1,500.00
27/07/2023	97204	AUSTRALIA DAY COUNCIL OF WA NO 2 ACCOUNT	MEMBERSHIP	720.00
27/07/2023	97181	AUSTRALIA POST	POSTAL SERVICE	1,141.67
12/07/2023	96883	AUTO ONE TRADING PTY LTD	AUTOMOTIVE SERVICE AND REPAIR	276.50
27/07/2023	97139	AUTO ONE TRADING PTY LTD	AUTOMOTIVE	540.56
27/07/2023	97115	B & I HOPWOOD	BJTP REFUND	57.00
12/07/2023	96953	B&B STREET SWEEPING	STREET SWEEPING SERVICE	71,548.86
12/07/2023	96792	BARRY ALLEN ELECTRICAL SERVICES PTY LTD	ELECTRICAL SERVICES - BARNARD PK AND NCC LIGHT REPAIRS	45,978.90
27/07/2023	97053	BARRY ALLEN ELECTRICAL SERVICES PTY LTD	ELECTRICAL SERVICES	6,675.15
12/07/2023	96948	BAY SIGNS	SIGNAGE SERVICES	330.00
27/07/2023	97074	BAYTHE LINEN AND LAUNDRY	SUPPLY OF CLEAN LINEN	107.32
12/07/2023	96784	BCP LIQUID WASTE	LIQUID WASTE SERVICES	285.00
27/07/2023	97124	BE MY KOORDA ABORIGINAL CORPORATION	DONATION	480.00
12/07/2023	96984	BEACHLANDS LAWNMOWING SERVICE	LAWN MOWING SERVICE	300.00
12/07/2023	96969	BG&E PTY LTD	CONSULTANCY SERVICES	9,563.40
12/07/2023	96887	BING TECHNOLOGIES PTY LTD	MAILING SERVICES	3,049.98
27/07/2023	97142	BING TECHNOLOGIES PTY LTD	MAILING SERVICES	1,147.57
12/07/2023	96869	BIO SOIL SOLUTIONS	LANDSCAPE SUPPLIES FOR BUSSELTON FORESHORE	10,000.00
12/07/2023	96909	BLUE FORCE PTY LTD	ACCESS CONTROL AND GATE SUPPLY AT THE BUSSELTON DEPOT	35,639.20
27/07/2023	97049	BLUESTEEL ENTERPRISES PTY LTD	EMERGENCY RESPONSE EQUIPMENT	305.72
27/07/2023	97161	BOARDLEY INVESTMENTS PTY LTD	MEAT SUPPLIES	62.49
12/07/2023	96927	BOC LIMITED	GAS SERVICES	1,139.17
27/07/2023	97168	BOC LIMITED	GAS SERVICES	2,679.22
27/07/2023	97020	BOLINDA PUBLISHING PTY LTD	LIBRARY RESOURCES	64.35
12/07/2023	96766	BOYANUP BOTANICAL	NURSERY SERVICES	1,212.60
27/07/2023	96864	BRETT TITTERTON ELECTRICAL AND AIR CONDI	ELECTRICAL SERVICES	1,070.00
20/07/2023	97014	BROAD CONSTRUCTION PTY LTD	CONSTRUCTION SERVICES	900,693.40
12/07/2023	96967	BSA ADVANCED PROPERTY SOLUTIONS	AIR CONDITIONING SERVICES	375.65
27/07/2023	97203	BSA ADVANCED PROPERTY SOLUTIONS	AIR CONDITIONING SERVICES	2,145.00
12/07/2023	96916	BUG PEST CONTROL PTY LTD	PEST CONTROL SERVICES	1,380.00



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INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

12/07/2023	96802	BUNBURY AND BUSSELTION TOWING SERVICE	TOWING SERVICES	1,160.00
12/07/2023	96956	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	658.56
27/07/2023	97191	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	1,983.31
12/07/2023	96894	BUSINESS EVENTS PERTH	MEMBERSHIP BUSINESS TOURISM	2,585.00
12/07/2023	96804	BUSSELTION AGRICULTURAL SERVICES (WA) PTY	RURAL SUPPLIES	1,080.00
27/07/2023	97063	BUSSELTION AGRICULTURAL SERVICES (WA) PTY	RURAL SUPPLIES	3,320.00
27/07/2023	97032	BUSSELTION BEARING SERVICES	BEARING SUPPLIES	1,416.84
12/07/2023	96882	BUSSELTION BUILDING PRODUCTS	BUILDING PRODUCT SUPPLIER	123.43
27/07/2023	97137	BUSSELTION BUILDING PRODUCTS	BUILDING PRODUCT SUPPLIER	579.39
27/07/2023	97019	BUSSELTION HYDRAULIC SERVICES INC	HYDRAULIC SERVICES	555.22
27/07/2023	97180	BUSSELTION MOTORS	VEHICLE PURCHASES / SERVICES / PARTS	731.45
12/07/2023	96952	BUSSELTION SENIOR HIGH SCHOOL	DONATION	600.00
27/07/2023	97132	BUSSELTION SUBIE SERVICE	AUTOMOTIVE SERVICE AND REPAIR	839.70
12/07/2023	96924	BUSSELTION TOYOTA	VEHICLE PURCHASES / SERVICES / PARTS	310.00
12/07/2023	96925	BUSSELTION WATER	WATER SERVICES	101,413.70
27/07/2023	97166	BUSSELTION WATER	WATER SERVICES	866.03
12/07/2023	96801	CAPE NATURALISTE P&C CAFE	CATERING	202.50
19/07/2023	97006	CAPE TRAINING & ASSESSING PTY LTD	TRAINING AND ASSESSMENT	6,000.00
27/07/2023	97156	CAPE TRAINING & ASSESSING PTY LTD	TRAINING AND ASSESSMENT	1,200.00
27/07/2023	97187	CARAVAN INDUSTRY ASSOCIATION WA INC	MEMBERSHIP	1,100.00
12/07/2023	96963	CARBONE BROS PTY LTD	LIMESTONE SUPPLIES	24,552.99
27/07/2023	97117	CARLY PASALICH	BJTP REFUND	156.00
12/07/2023	96835	CB TRAFFIC SOLUTIONS PTY LTD	TRAFFIC MANAGEMENT SERVICES	4,895.01
27/07/2023	97094	CB TRAFFIC SOLUTIONS PTY LTD	TRAFFIC MANAGEMENT SERVICES	10,893.58
27/07/2023	97092	CHOICECHEM	BITUMEN REMOVER	6,185.03
12/07/2023	96808	CHRISTINE SEATORY	ART SALES	210.00
12/07/2023	96872	CHRISTINE SUNDERLAND	REFUND DOG REGISTRATION	150.00
12/07/2023	96959	CHUBB FIRE SAFETY	FIRE EQUIPMENT SERVICES	4,476.57
27/07/2023	97017	CINEFFEST OZ INC	CONTRIBUTION - FESTIVAL FILMS	88,000.00
19/07/2023	97011	CITY AND REGIONAL FUELS	FUEL SERVICES	2,977.78
13/07/2023	96991	CITY OF BUSSELTION	PAYROLL DEDUCTIONS REALLOCATION	4,478.80
27/07/2023	97221	CITY OF BUSSELTION	PAYROLL DEDUCTIONS REALLOCATION	4,342.64
13/07/2023	96986	CITY OF BUSSELTION CHRISTMAS CLUB	PAYROLL DEDUCTIONS	2,352.18
27/07/2023	97216	CITY OF BUSSELTION CHRISTMAS CLUB	PAYROLL DEDUCTIONS	2,352.18
13/07/2023	96987	CITY OF BUSSELTION STAFF LOTTO	STAFF LOTTO	174.00
27/07/2023	97217	CITY OF BUSSELTION STAFF LOTTO	STAFF LOTTO	174.00
13/07/2023	96993	CITY OF BUSSELTION-SOCIAL CLUB	SOCIAL CLUB REIMBURSEMENT	204.00
27/07/2023	97223	CITY OF BUSSELTION-SOCIAL CLUB	SOCIAL CLUB REIMBURSEMENT	200.00
27/07/2023	97169	CID EQUIPMENT PTY LTD	PLANT PURCHASES / SERVICES / PARTS	605.16
12/07/2023	96965	CLEANAWAY	WASTE MANAGEMENT SERVICES	21,356.88
27/07/2023	97200	CLEANAWAY	WASTE MANAGEMENT SERVICES	91,763.77
27/07/2023	97064	CLEANAWAY CO PTY LTD	CHEMICAL DISPOSAL SERVICES	6,052.35
27/07/2023	97176	CLEANAWAY OPERATIONS PTY LTD	MAINTENANCE PARTS WASHER	1,024.86
12/07/2023	96807	CLEANAWAY SOLID WASTE PTY LTD	WASTE DISPOSAL SERVICES	6,686.65
27/07/2023	97066	CLEANAWAY SOLID WASTE PTY LTD	WASTE DISPOSAL SERVICES	65.10
12/07/2023	96841	CLICK STUDIOS (SA) PTY LTD	SOFTWARE	579.46
12/07/2023	96812	COATES CIVIL CONSULTING P/L	CIVIL ENGINEERING CONSULTING SERVICES	4,928.00
12/07/2023	96785	COLES.COM.AU	COUNCIL & STAFF REFRESHMENTS	487.65
27/07/2023	97044	COLES.COM.AU	COUNCIL & STAFF REFRESHMENTS	768.05
12/07/2023	96928	COMMERCIAL CLEANING EQUIPMENT	CLEANING EQUIPMENT SUPPLIER	1,105.50
12/07/2023	96822	COMMON GROUND TRAILS	MEELUP ACCESSIBLE TRAIL ASSESSEMENT	10,208.00
12/07/2023	96821	COMPUTER WEST	INFORMATION TECHNOLOGY SUPPLIER	3,065.70
12/07/2023	96865	CONSULT DIRECT	CLEANING EQUIPMENT AND SERVICES	580.80
12/07/2023	96905	CONTATORE ENGINEERING PTY LTD	EARTHMOVING EQUIPMENT HIRE	10,780.00
27/07/2023	97018	CORNE LOMBARD	STAFF REIMBURSEMENT	179.49
19/07/2023	96997	CORNE LOMBARD	STAFF REIMBURSEMENT	179.49
12/07/2023	96805	CORSIGN WA PTY LTD	SIGNAGE AND TRAFFIC ACCESSORIES	983.40
27/07/2023	97065	CORSIGN WA PTY LTD	SIGNAGE AND TRAFFIC ACCESSORIES	605.00
12/07/2023	96917	COWARAMUP AGENCIES	GEOHEX MATTING	990.00
12/07/2023	96888	CR. ANNE RYAN	COUNCILLOR PAYMENT	2,956.44
12/07/2023	96760	CR. GRANT HENLEY	COUNCILLOR PAYMENT	11,852.14
12/07/2023	96886	CR. JODIE RICHARDS	COUNCILLOR PAYMENT	2,956.44
12/07/2023	96849	CR. KATHERINE COX	COUNCILLOR PAYMENTS	2,956.44
12/07/2023	96889	CR. MIKAYLA LOVE	COUNCILLOR PAYMENT	2,953.90
12/07/2023	96791	CR. PAUL CARTER	COUNCILLOR PAYMENT	4,846.77
12/07/2023	96853	CR. PHILL CROININ	COUNCILLOR PAYMENTS	2,956.44
19/07/2023	97002	CR. PHILL CROININ	COUNCILLOR PAYMENTS	381.20
12/07/2023	96790	CR. ROSS PAINE	COUNCILLOR PAYMENT	2,956.44
12/07/2023	96848	CR. SUSAN RICCELLI	COUNCILLOR PAYMENT	2,956.44
12/07/2023	96832	CRAIG & LISA BASELL	WATER CHARGES REIMBURSEMENT	1,001.30
12/07/2023	96776	CRANEFORD PLUMBING PTY LTD	PLUMBING SERVICES	30,298.36
27/07/2023	97038	CRANEFORD PLUMBING PTY LTD	PLUMBING SERVICES	6,306.31
27/07/2023	97202	CROSS SECURITY SERVICES	SECURITY SERVICES	2,481.38
12/07/2023	96837	CS LEGAL - CLOISTERS SQUARE	LEGAL RECOVERY ON RATING DEBTS	2,136.20
13/07/2023	96992	CSA OFFICIAL RECEIPTS ACCOUNT	SALARY DEDUCTIONS	1,299.70
27/07/2023	97222	CSA OFFICIAL RECEIPTS ACCOUNT	SALARY DEDUCTIONS	1,299.70
12/07/2023	96910	CYBERCX PTY LTD	CYBER SECURITY SERVICES	27,983.07
12/07/2023	96893	D & K HEART	ART SALES	45.00
27/07/2023	97126	D MARSHALL & K MCDONALD	RATE REFUND	817.14
12/07/2023	96828	DARRYL AND LEONIE STEAD	WATER CHARGES REIMBURSEMENT	2,128.25
12/07/2023	96929	DAVID GRAY & CO	GARBAGE BINS & PARTS SUPPLIER	3,577.20
27/07/2023	97195	DAVID MILDWATERS ELECTRICAL	MAINTENANCE SERVICES	2,660.90
12/07/2023	96839	DAVID NICHOLSON	STAFF REIMBURSEMENT	350.00
27/07/2023	97021	DEPARTMENT OF PLANNING, LANDS AND HERITA	DEVELOPMENT ASSESSMENT PANEL PAYMENT	6,003.00
27/07/2023	97059	DEPARTMENT OF PLANNING, LANDS AND HERITA	LEASE AGREEMENT	1,650.00



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		7,590,436.51

12/07/2023	96764	DEPARTMENT OF PLANNING, LANDS AND HERITAGE	DEVELOPMENT ASSESSMENT PANEL PAYMENT	6,003.00
27/07/2023	97027	DEPARTMENT OF TRANSPORT	VEHICLE OWNERSHIP SEARCHES	24.60
19/07/2023	97000	DEPARTMENT OF WATER AND ENVIRONMENT REGU	ENVIRONMENTAL SERVICES	2,176.00
27/07/2023	97072	DEPARTMENT OF WATER AND ENVIRONMENT REGU	ENVIRONMENTAL SERVICES	2,176.00
12/07/2023	96860	DEVLYN CONSTRUCTIONS PTY LTD	CONSTRUCTION SERVICES - GLC STORAGE EXPANSION	174,351.73
27/07/2023	97207	DIRECT LIGHTING	LIGHTING SUPPLIER	2,040.00
19/07/2023	97004	DONALD CANT WATTS CORKE (WA) PTY LTS	CONSULTANCY SERVICES	26,174.50
12/07/2023	96892	DOROTHY ROBINSON	ART SALES	96.25
12/07/2023	96817	DORSOGNA LIMITED	ICE CREAM AND SMALL GOODS	1,169.43
27/07/2023	97079	DORSOGNA LIMITED	ICE CREAM STOCK - GLC	1,231.04
12/07/2023	96800	DOUTH CONTRACTING	PROPERTY & GARDEN MAINTENANCE	113.23
27/07/2023	97106	DOWN SOUTH WHOLESALE	CONSUMABLES FOR BJTP	324.35
27/07/2023	97040	DUNSBOROUGH COMMUNITY GARDEN	DONATION	3,927.28
12/07/2023	96824	EAGLE VALLEY & CO PTY LTD	TYRE SALES AND SERVICE	1,170.00
12/07/2023	96793	ECHO FIELD PTY LTD	MAINTENANCE SERVICES - RURAL ROAD VERGE SPRAYING	6,127.97
27/07/2023	97054	ECHO FIELD PTY LTD	MAINTENANCE SERVICES	1,675.30
12/07/2023	96926	ECOSYSTEMS SOLUTIONS	CONSULTANCY SERVICES	2,640.00
27/07/2023	97167	ECOSYSTEMS SOLUTIONS	CONSULTANCY SERVICES	1,210.00
27/07/2023	97199	EDUCATIONAL ART SUPPLIES	ART EQUIPMENT SUPPLIES	262.68
12/07/2023	96878	ELEMENT ADVISORY PTY LTD	HERITAGE ADVICORY SERVICES	8,025.00
27/07/2023	97151	ELITE BUSINESS PERFORMANCE PTY LTD	CONSULTING SERVICES	1,254.00
12/07/2023	96756	ELLIOTTS FILTRATION	IRON FILTRATION SERVICES - PORT GEOGRAPHE, BSN FORESHORE & BSN CEMETERY	8,723.00
12/07/2023	96874	ELZA FOUICHE ARTIST	ART SALES	4.20
27/07/2023	97147	EMERSON RAINE	STRATA LEVY FEES & WATER CONSUMPTION	5,373.80
12/07/2023	96774	ENVIRONEX INTERNATIONAL PTY LTD	POOL CHEMICALS FOR GLC	1,402.53
27/07/2023	97016	ENVIRONMENTAL HEALTH AUSTRALIA	TRAINING SERVICES	550.00
12/07/2023	96907	ERIN ROBERTS	ART SALES	94.50
12/07/2023	96787	EVERETTS HOME & YARD MAINTENANCE	ART, CRC AND LIBRARY SCREEN MAINTENANCE	9,360.00
27/07/2023	97041	EVERGREEN HOLDINGS PTY LTD	INDUSTRIAL SUPPLIES	288.42
19/07/2023	97003	FAIRTEL PTY LTD	TELECOMMUNICATION SERVICES	158.99
27/07/2023	97085	FASSOM PTY LTD	STATIONERY AND OFFICE SUPPLIES	182.09
12/07/2023	96908	FIONA FREMLIN	WATER REIMBURSEMENT	1,396.55
12/07/2023	96871	FLOW STATE JIU JITSU	GLC REFUNDS	680.00
19/07/2023	97008	FLOW STATE JIU-JITSU	GRANT FUNDING	4,000.00
27/07/2023	97159	FRAGRANCE WA-PERTH MURRAY STREET HOTEL P	ACCOMMODATION	440.30
12/07/2023	96826	FRANK SUTTON	WATER CHARGES REIMBURSEMENT	215.10
27/07/2023	97213	FRED ROSE EXCAVATOR HIRE	EARTHMOVING - WASTE FACILITY & ROADWORKS	7,428.30
12/07/2023	96814	FRESH AS	REFRESHMENTS	146.90
27/07/2023	97076	FRESH AS	REFRESHMENTS	153.30
27/07/2023	97110	FUSION JEWELLERS	ECONOMIC AND COMMUNITY GRANT	499.00
27/07/2023	97179	GALVINS PLUMBING PLUS	PLUMBING SUPPLIES	2,026.92
27/07/2023	97130	GANNAWAYS CHARTER AND TOURS	BUS HIRE SERVICE	1,058.00
12/07/2023	96904	GARY LEE ELECTRICAL	MEELUP AND CASTLE ROCK INSTALLATION OF BBQ SOLAR PANELS	52,417.34
27/07/2023	97170	GEMI PTY LTD	MAINTENANCE SERVICES	2,205.50
27/07/2023	97145	GENERATORS AUSTRALIA PTY LTD	HIRE AND SALES OF EQUIPMENT	2,333.56
27/07/2023	97070	GEOBOX PTY LTD	VEHICLE CAMERAS	1,947.00
27/07/2023	97111	GEOGRAFIA PTY LTD	SPENDMAPP SUBSCRIPTION RENEWAL - DATA ANALYSIS PROGRAM	20,020.00
12/07/2023	96806	GEOGRAPHE COMMUNITY LANDCARE NURSERY	NURSERY SUPPLIES	9,177.65
19/07/2023	97009	GEOGRAPHE PETROLEUM	FUEL SERVICES	28,309.39
12/07/2023	96972	GEOGRAPHE SAWS AND MOWERS	PLANT PURCHASES / SERVICES / PARTS	2,022.20
27/07/2023	97205	GEOGRAPHE SAWS AND MOWERS	PLANT PURCHASES / SERVICES / PARTS	2,251.30
12/07/2023	96930	GEOGRAPHE TIMBER & HARDWARE	HARDWARE SUPPLIES	485.10
12/07/2023	96845	GEOSPREAD	GREEN WASTE MULCHING	30,237.90
27/07/2023	97197	GISSA	CONSULTANCY SERVICES	4,220.70
12/07/2023	96833	GL BRYANT ENVIRONMENTAL CONSULTING	CONSULTANCY	4,949.00
27/07/2023	97060	GLORIA HILL	WELCOME TO COUNTRY	300.00
12/07/2023	96795	GRAHAM BAILEY	WATER CHARGES REIMBURSEMENT	380.55
27/07/2023	97119	GREG HARDIE	BJTP REFUND	88.00
12/07/2023	96769	GREG JAMES SCULPTURE STUDIO	DESIGN CONCEPT	1.08
12/07/2023	96895	HARCHER PRESTIGE BUSSELTON	HOSPITALITY EQUIPMENT AND CONSUMABLES	2,341.50
27/07/2023	97144	HARCHER PRESTIGE BUSSELTON	HOSPITALITY EQUIPMENT SUPPLIER	3,537.35
12/07/2023	96758	HARLEY DYKSTRA	CONTOUR SURVEY REPORT	6,435.00
27/07/2023	97095	HIFX LIMITED CLIENT SECURITY TRUST ACC	ELECTRONIC VISITOR MANAGEMENT SYSTEM	70.00
12/07/2023	96982	HIP POCKET WORKWEAR	UNIFORMS & PROTECTIVE CLOTHING	839.78
27/07/2023	97212	HIP POCKET WORKWEAR	UNIFORMS & PROTECTIVE CLOTHING	91.90
27/07/2023	97150	HIRE A FENCE	TEMPORARY FENCING HIRE	2,006.40
27/07/2023	97148	HIVO PTY LTD	DIGITAL ASSET MANAGEMENT SOFTWARE	3,399.00
12/07/2023	96770	HOLCIM (AUSTRALIA) PTY LTD	CONCRETE SERVICES	526.24
27/07/2023	97131	HOST CORPORATION PTY LTD	CATERING EQUIPMENT	110.00
12/07/2023	96912	HOT CHOCOLATTE	BARISTA TRAINING	440.00
12/07/2023	96920	IAN THOMPSON	STAFF REIMBURSEMENT	74.62
27/07/2023	97090	ILLION AUSTRALIA PTY LTD	TENDER ADVERTISING AND MANAGEMENT	116.16
27/07/2023	97056	IMAGE ON LINE	MARKETING	261.25
12/07/2023	96858	INSTANT PRODUCTS HIRE	PUBLIC ABULTIONS HIRE AND SALES	2,642.93
12/07/2023	96885	INTELLITRAC	GPS TRACKING DEVICES	561.00
27/07/2023	97140	INTELLITRAC	GPS TRACKING DEVICES	3,331.90
12/07/2023	96782	INVASIVE SPECIES PTY LTD T/A ALPHA PEST	FOX BAITING	1,961.30
27/07/2023	97141	IPEC PTY LTD	COURIER SERVICES	209.92
27/07/2023	97193	IPWEA	MEMBERSHIP	6,133.97
12/07/2023	96958	IPWEA-WA	TRAINING SERVICES	1,000.00
27/07/2023	97125	ISABELLA DUFF	DONATION	500.00
14/07/2023	96996	ISABELLA HANCOCK	STAFF REIMBURSEMENT	1,123.54
12/07/2023	96818	JAN ROBERTS	ART SALES	8.00
27/07/2023	97194	JARDINE LLOYD THOMPSON PTY LTD	INSURANCE SERVICES	7,616.72
27/07/2023	97128	JASON EY	DONATION	1,000.00



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CHEQUE PAYMENTS	119717 - 119736	111,510.18
ELECTRONIC FUNDS TRANSFER PAYMENTS	96756 - 97224	5,535,583.15
TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

12/07/2023	96932	JASON SIGNMAKERS	SIGNAGE SUPPLIES	5,364.26
19/07/2023	97012	JD & JE CORKER	STAFF REIMBURSEMENT	100.00
12/07/2023	96954	JDA CONSULTANT HYDROLOGISTS	CONSULTANCY SERVICES	3,080.00
19/07/2023	97007	JEMMA MELVILLE	AUSLAN INTERPRETING	400.00
12/07/2023	96809	JENNIFER BROWN	ART SALES	80.00
27/07/2023	97100	JIGSAW SIGNS & PRINT	SIGNAGE SERVICES	110.00
12/07/2023	96783	JIMS FIRST	HARDWARE SUPPLIES	65.88
27/07/2023	97043	JIMS FIRST	HARDWARE SUPPLIES	25.20
13/07/2023	96988	JMW REAL ESTATE TRUST	T NOTTLE RENT	1,400.00
27/07/2023	97218	JMW REAL ESTATE TRUST	T NOTTLE RENT	1,400.00
12/07/2023	96863	JOEL SMOKER	ART SALES	17.47
27/07/2023	97121	JOHN & DAVIDA MITCHELL	BJTP REFUND	57.00
12/07/2023	96898	JOHN LOHF	ART SALES	26.60
12/07/2023	96877	JOSH AND ANNA FOLEY	CARPENTRY AND BUILDING MAINTENANCE	4,598.00
27/07/2023	97118	JOSH GARNETT	BJTP REFUND	58.00
12/07/2023	96827	JUDITH TOOKE	WATER CHARGES REIMBURSEMENT	167.90
12/07/2023	96979	JUICE PRINT	PRINTING SERVICES	95.44
27/07/2023	97210	JUICE PRINT	PRINTING SERVICES	2,164.36
12/07/2023	96842	JULIE GUTHRIDGE	ART SALES	15.40
12/07/2023	96896	K & L MCCALLUM	WATER REIMBURSEMENT	1,899.10
12/07/2023	96962	KALOORUP BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	950.78
27/07/2023	97108	KAREN TAYLOR-VIVIAN	WATER CHARGES REIMBURSEMENT	6,386.95
12/07/2023	96866	KAY MANOLAS	ART SALES	16.00
12/07/2023	96933	KD POWER	MAINTENANCE SERVICES	100.01
27/07/2023	97098	KELLY MCGORLICK	WATER CHARGES REIMBURSEMENT	2,218.40
12/07/2023	96902	KERRIN HAMPSON	STAFF REIMBURSEMENT	419.23
27/07/2023	97057	KESTRAL COMPUTING PTY LTD	BOOKING SYSTEM - PHOENIX ANNUAL LICENCE RENEWAL	19,291.80
27/07/2023	97149	KEVIN BOWSER	STAFF REIMBURSEMENT	102.44
27/07/2023	97073	KITCHEN TAKEOVERS	CATERING	90.00
12/07/2023	96938	LANDGATE (VALUER GENERAL'S OFFICE)	LAND VALUATIONS	6,420.97
27/07/2023	97177	LANDGATE (VALUER GENERAL'S OFFICE)	LAND VALUATIONS	56.40
12/07/2023	96936	LANDGATE CUSTOMER ACCOUNT	LAND INFORMATION AND TITLE SEARCHES	25,856.41
27/07/2023	97174	LANDGATE CUSTOMER ACCOUNT	LAND INFORMATION AND TITLE SEARCHES	122.00
12/07/2023	96915	LAUNDRY INVESTMENTS INVESTMENTS	DRYCLEANING AND LINEN HIRE SERVICES	2.80
27/07/2023	97160	LAUNDRY INVESTMENTS INVESTMENTS	DRYCLEANING AND LINEN HIRE SERVICES	38.40
12/07/2023	96881	LAWRENCE & HANSON	ELECTRICAL/PROTECTIVE CLOTHING SUPPLIES	209.00
27/07/2023	97135	LAWRENCE & HANSON	ELECTRICAL/PROTECTIVE CLOTHING SUPPLIES	4,647.27
27/07/2023	97127	LAYLA HESLEWOOD	DONATION	500.00
12/07/2023	96978	LE & OG ISBEL	ART SALES	139.20
12/07/2023	96762	LEEUEWIN CIVIL PTY LTD	HIRE EQUIPMENT SERVICES	8,053.28
12/07/2023	96971	LEEUEWIN TRANSPORT	COURIER SERVICES	2,454.93
12/07/2023	96964	LINCOLN HIGGINS	FORESHORE PICNIC SETTINGS	10,978.00
12/07/2023	96836	LIVING MADLY PTY LTD	BAKERY CATERING	175.00
27/07/2023	97096	LIVING MADLY PTY LTD	BAKERY CATERING	972.00
12/07/2023	96983	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA	TRAINING SERVICES	2,200.00
27/07/2023	97214	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA	TRAINING SERVICES	1,040.00
27/07/2023	97105	LOCK AROUND THE CLOCK	SECURITY SERVICES	447.00
27/07/2023	97045	LOTIX FILTER CLEANING SERVICE	PLANT FILTER CLEANING SERVICE	417.85
27/07/2023	97206	LOTUS FOLDING WALLS AND DOORS PTY LTD	OPERABLE DOORS	126.50
27/07/2023	97120	LUKE & ANNIKA LOWERY	BJTP REFUND	116.50
12/07/2023	96934	MACDONALD JOHNSTON PTY LTD	ENGINEERING - PLANT SPARES & SERVICING	1,837.81
27/07/2023	97172	MACDONALD JOHNSTON PTY LTD	ENGINEERING - PLANT SPARES & SERVICING	3,187.40
12/07/2023	96944	MAJOR MOTORS PTY LTD	PLANT PURCHASES / SERVICES / PARTS	501.73
27/07/2023	97184	MAJOR MOTORS PTY LTD	PLANT PURCHASES / SERVICES / PARTS	1,476.94
12/07/2023	96900	MALATESTA ROAD PAVING	ROAD HOTMIX / PAVING SERVICES	4,967.60
27/07/2023	97146	MALATESTA ROAD PAVING	ROAD HOTMIX / PAVING SERVICES	3,850.00
12/07/2023	96856	MALCOLM ROBERTS	ART SALES	133.00
12/07/2023	96876	MARGARET GEARY	ART SALES	2.80
12/07/2023	96786	MARGARET RIVER BUSSELTON TOURISM ASSOCIATION	CONTRIBUTION TOWARDS COSTS OF RAILWAY HOUSE CLEANING	2,407.61
12/07/2023	96778	MARGARET RIVER FENCING	MAINTENANCE SERVICES- BSN DEPOT & NCC BIN COMPOUND GATES	7,711.00
27/07/2023	97039	MARGARET RIVER FENCING	MAINTENANCE SERVICES	660.00
12/07/2023	96788	MARKETFORCE PTY LTD	ADVERTISING SERVICES	1,315.10
27/07/2023	97062	MARTINE PERRET	ART SALES	150.00
27/07/2023	97080	MAX AND CLAIRE PTY LTD T/AS ERGOLINK	ERGONOMIC OFFICE EQUIPMENT	273.06
12/07/2023	96879	MAYDAY SERVICES	EQUIPMENT HIRE	3,025.00
27/07/2023	97133	MAYDAY SERVICES	EQUIPMENT HIRE	6,352.50
12/07/2023	96773	MCLEODS BARRISTERS & SOLICITORS	LEGAL SERVICES	1,558.70
27/07/2023	97034	MCLEODS BARRISTERS & SOLICITORS	LEGAL SERVICES	4,890.04
12/07/2023	96844	MDM ENTERTAINMENT PTY LTD	DVD AND CD SUPPLY TO LIBRARY	735.12
27/07/2023	97102	MDM ENTERTAINMENT PTY LTD	DVD AND CD SUPPLY TO LIBRARY	275.38
12/07/2023	96923	ME RAINEY T/AS PK COURIERS	COURIER SERVICES	231.00
12/07/2023	96831	MICHAEL & KATE WILSON	WATER CHARGES REIMBURSEMENT	1,292.20
12/07/2023	96903	MICKAZ NOMINEES	BBQ CLEANING	1,818.96
12/07/2023	96825	MIKE MORGAN	WATER CHARGES REIMBURSEMENT	520.35
12/07/2023	96919	MILLS RECRUITMENT	RECRUITMENT SERVICES	10,120.00
12/07/2023	96966	MODERN TEACHING AIDS PTY LTD	LIBRARY RESOURCES	2,825.92
27/07/2023	97037	MP & M EVERUSS	STAFF REIMBURSEMENT	65.00
12/07/2023	96861	MUIRS	VEHICLE MAINTENANCE	550.00
27/07/2023	97109	MUIRS	VEHICLE MAINTENANCE	627.11
27/07/2023	97208	MUSEUM SHOPS ASSOCIATION OF AUSTRALIA	MEMBERSHIP	88.00
12/07/2023	96779	NALDA HOSKINS DESIGN	ART SALES	80.00
27/07/2023	97071	NANCHHELL ENTERPRISES PTY LTD	GIFTS	250.00
12/07/2023	96855	NATURAL EDGE FRAMING & PHOTOGRAPHY	ART SALES	80.85
12/07/2023	96813	NATURALISTE FAMILY PLAYGROUP INC	MORING TEA FOR CUPPA WITH A SERVICE	513.80
27/07/2023	97048	NATURALISTE HYGIENE SERVICES	HYGIENE SERVICES	3,362.63



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TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

27/07/2023	97031	NATURALISTE UNIVERSITY OF THE THIRD AGE	COMMUNITY BID	628.19
12/07/2023	96847	NATURE CONSERVATION MARGARET RIVER	BOND REFUND	1,986.88
12/07/2023	96935	NICHOLLS MACHINERY	PLANT PURCHASES / SERVICES / PARTS	900.09
27/07/2023	97173	NICHOLLS MACHINERY	PLANT PURCHASES / SERVICES / PARTS	6,666.98
27/07/2023	97086	NIGHTLIFE MUSIC PTY LTD	MUSIC AND VIDEO SUBSCRIPTION SERVICES	413.92
27/07/2023	97158	NOOSHIES FAMILY TRUST	FACE PAINTING	220.00
12/07/2023	96850	OCR HOLDINGS PTY LTD	LIQUID WASTE REMOVAL	1,690.70
12/07/2023	96875	ODILE M M BELL	ART SALES	45.50
12/07/2023	96816	OFFICEWORKS	OFFICE EQUIPMENT SERVICES	323.52
27/07/2023	97078	OFFICEWORKS	OFFICE EQUIPMENT SERVICES	531.85
12/07/2023	96781	OPTUS BILLING SERVICES PTY LTD	FIXED INTERNET ACCESS	3,067.20
27/07/2023	97029	ORANA CINEMAS BUSSELTON	ADVERTISING SERVICES	608.00
27/07/2023	97026	OUR COMMUNITY	ANNUAL SUBSCRIPTION	400.00
27/07/2023	97069	PASSMORE AUTOMOTIVE	VEHICLE MAINTENANCE SERVICES	511.70
12/07/2023	96939	PENDREY AGENCIES P/L	CHEMICAL/RURAL SUPPLIES	113.92
12/07/2023	96768	PENNY CROWLEY	STAFF REIMBURSEMENT	93.75
12/07/2023	96763	PEOPLESSENSE PTY LTD	EMPLOYEE ASSISTANCE PROGRAM	1,683.00
27/07/2023	97024	PHOENIX FOUNDRY PTY LTD	MEMORIAL PLAQUES SUPPLIER	1,643.40
27/07/2023	97091	POWER MEDICAL CENTRE	PRE EMPLOYMENT MEDICAL	231.00
27/07/2023	97028	PRIME INDUSTRIAL PRODUCTS PTY LTD	SAFETY EQUIPMENT	108.57
12/07/2023	96830	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	3,800.50
19/07/2023	97001	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	8,187.30
20/07/2023	97013	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	8,941.90
27/07/2023	97087	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	4,112.90
12/07/2023	96918	PUSH MOBILITY	DISABILITY PRODUCTS	18,397.00
27/07/2023	97211	QK TECHNOLOGIES PTY LTD	MEMBERSHIP	3,388.00
27/07/2023	97116	RACHEL ROSS	BJTP REFUND	670.50
27/07/2023	97154	RADIANCE NETWORK SOUTHWEST INC	DONATION	660.00
27/07/2023	97129	RAPHAELA RAABER	DONATION	350.00
12/07/2023	96803	REDFISH TECHNOLOGIES PTY LTD	AUDIO VIDEO CONSULTING	24,790.70
27/07/2023	97088	REGIONAL CAPITALS AUSTRALIA	RCA ANNUAL MEMBERSHIP	11,000.00
12/07/2023	96947	REPCO AUTO PARTS	PLANT PURCHASES / SERVICES / PARTS	742.12
27/07/2023	97186	REPCO AUTO PARTS	PLANT PURCHASES / SERVICES / PARTS	5,064.83
27/07/2023	97209	RMS (AUST)P/L	SOFTWARE SERVICES	108.35
12/07/2023	96799	ROBERT'S TILT TRAY & HIAB SERVICE	FREIGHT	1,512.50
12/07/2023	96942	RODS AUTO ELECTRICS	AUTO ELECTRICAL SERVICES	1,924.79
27/07/2023	97182	RODS AUTO ELECTRICS	AUTO ELECTRICAL SERVICES	1,533.25
27/07/2023	97192	RUBEK AUTOMATIC DOORS	AUTOMATIC DOOR SERVICES	572.00
12/07/2023	96843	RURAL PRESS PTY LTD	ADVERTISING SERVICES	1,226.01
12/07/2023	96867	S & S WALKER	ART SALES	40.80
12/07/2023	96911	SACHIKO PEARCE	CATERING	576.00
27/07/2023	97157	SACHIKO PEARCE	CATERING	160.00
12/07/2023	96973	SAFE & SURE SECURITY PTY LTD	SECURITY SERVICES - ALARM OCCURANCE	858.00
12/07/2023	96772	SAFE FIRST TRAINING	STAFF TRAINING	316.00
12/07/2023	96897	SAPIO PTY LTD	ADMINISTRATION BUILDING - CCTV MAINTENANCE	13,420.29
12/07/2023	96880	SAUNDERS HIRE	HIRE OF PLANT AND MACHINERY	4,080.00
27/07/2023	97134	SAUNDERS HIRE	HIRE OF PLANT AND MACHINERY	1,111.00
27/07/2023	97081	SCANIA AUSTRALIA PTY LTD	NEW VEHICLES, PARTS AND LABOUR	681.45
27/07/2023	97051	SCHREDER AUSTRALIA PTY LTD	OUTDOOR LIGHTING	15,732.29
12/07/2023	96775	SCOPE BUSINESS IMAGING	ELECTRONIC EQUIPMENT	465.77
27/07/2023	97114	SE & SJ REYNOLDS	CATERING	1,312.00
12/07/2023	96890	SEEK LIMITED	ADVERTISING SERVICES	1,083.50
27/07/2023	97143	SEEK LIMITED	ADVERTISING SERVICES	1,116.50
27/07/2023	97042	SERVICES AUSTRALIA OFFICIAL DEPARTMENT R	CHARGES FOR CENTREPAY FACILITY	138.60
27/07/2023	97089	SHANE & ALEXIS JENNINGS	INSTALLATION OF SCHEME WATER	802.00
27/07/2023	97163	SHANNON CLOHESY	CULTURAL SERVICES	500.00
19/07/2023	97005	SHARON CUSTERS	STAFF REIMBURSEMENT	326.40
12/07/2023	96977	SHARON WILLIAMS	ART SALES	40.80
12/07/2023	96921	SHIRE OF AUGUSTA MARGARET RIVER	LSL ACCRUAL REIMBURSEMENT	64,413.50
12/07/2023	96980	SHORE COASTAL	COASTAL CONSULTANCY SERVICES	12,562.00
27/07/2023	97101	SIESTA TIME WA PTY LTD TRADING AS CAPE C	REFRESHMENTS	167.88
27/07/2023	97136	SITEIMPROVE AUSTRALIA PTY LTD	WEBSITE MANAGEMENT & MANAGEMENT SOFTWARE	6,838.58
12/07/2023	96851	SKIDATA AUSTRALASIA PTY LTD	CARPARK EQUIPMENT - SYSTEM SUPPORT	165.00
27/07/2023	97104	SKIDATA AUSTRALASIA PTY LTD	CARPARK EQUIPMENT - AIRPORT	5,803.05
13/07/2023	96985	SMARTSALARY PTY LTD	SALARY PACKAGING SERVICE	20,037.90
27/07/2023	97215	SMARTSALARY PTY LTD	SALARY PACKAGING SERVICE	18,229.00
12/07/2023	96854	SMITHS DETECTION (AUSTRALIA) PTY LTD	SCREENING EQUIPMENT SUPPLY & MAINTENANCE	333.30
12/07/2023	96906	SOILS AINT SOILS	NURSERY SUPPLIES	3,250.25
12/07/2023	96862	SOS OFFICE EQUIPMENT	OFFICE EQUIPMENT SERVICES	2,754.74
12/07/2023	96789	SOUTH WEST INDONESIA COMMUNITY	BOND REFUND	1,000.00
27/07/2023	97175	SOUTH WEST MACHINING CENTRE	PLANT MAINTENANCE SERVICES	44.00
12/07/2023	96834	SOUTH WEST OFFICE NATIONAL	STATIONERY	4,133.27
27/07/2023	97093	SOUTH WEST OFFICE NATIONAL	STATIONERY	2,074.56
12/07/2023	96937	SOUTH WEST STEEL PRODUCTS	STEEL PRODUCTS SUPPLIER	274.21
12/07/2023	96780	SOUTH WEST WINDSCREENS & TINT	WINDSCREENS & TINTING	785.50
12/07/2023	96931	SOUTHERN LOCK AND SECURITY	SECURITY SERVICES	1,652.86
27/07/2023	97171	SOUTHERN LOCK AND SECURITY	SECURITY SERVICES	1,390.46
27/07/2023	97198	SOUTHERN MACHINING & MAINTENANCE	PLANT MAINTENANCE SERVICES	792.00
27/07/2023	97050	SOUTHWEST OUTDOOR POWER	PLANT PURCHASES / SERVICES / PARTS	105.00
27/07/2023	97152	SOUTHWEST TYRE SERVICE	PLANT TYRE SUPPLIER / REPAIRER	18,702.20
27/07/2023	97046	SPORTFIRST BUSSELTON	SPORTING PRODUCTS	86.85
14/07/2023	96995	ST JOHN AMBULANCE	TRAINING SERVICES	1,704.00
12/07/2023	96840	STEPHEN AND TRACY PARNHAM	WATER CHARGE REIMBURSEMENT	1,448.45
12/07/2023	96922	STEWART & HEATON CLOTHING	PROTECTIVE CLOTHING SUPPLIER	535.74
27/07/2023	97165	STEWART & HEATON CLOTHING	PROTECTIVE CLOTHING SUPPLIER	510.21



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CHEQUE PAYMENTS	119717 - 119736	111,510.18
ELECTRONIC FUNDS TRANSFER PAYMENTS	96756 - 97224	5,535,583.15
TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

12/07/2023	96891	STOCKTON HOLDINGS	BBQ MAINTENANCE AT THE BUSSELTON FORESHORE	4,602.40
13/07/2023	96994	SUPERANNUATION	SUPERCHOICE	191,872.62
27/07/2023	97224	SUPERCHOICE	SUPERANNUATION	188,613.04
12/07/2023	96970	SURVCON P/L	SURVEY SERVICES	1,641.50
27/07/2023	97162	SUZIE WHITFIELD	PROFESSIONAL DEVELOPMENT TRAINING	1,980.00
12/07/2023	96943	SW PRECISION PRINT	PRINTING SERVICES	121.00
27/07/2023	97183	SW PRECISION PRINT	PRINTING SERVICES	55.00
27/07/2023	97083	SWEET & UNIQUE (WA) PTY LTD T/AS LUV A L	CONFECTIONERY	277.20
12/07/2023	96838	SYNERGY	ELECTRICITY SUPPLIES	38,322.91
27/07/2023	97097	SYNERGY	ELECTRICITY SUPPLIES	142,346.70
12/07/2023	96976	TA & VM MAZEY	ART SALES	28.00
12/07/2023	96765	TARVIA PTY LTD	ENGINEERING SERVICES	5,349.30
27/07/2023	97022	TARVIA PTY LTD	ENGINEERING SERVICES	392.70
12/07/2023	96857	TECH WINDOW GAVIN KENNETH BARNES t/as	IT SUPPORT AND RETAIL SALES	119.90
12/07/2023	96961	TECHNOLOGY ONE	SOFTWARE SERVICES	825.00
20/07/2023	97015	TELSTRA LIMITED	COMMUNICATION SERVICES	11,266.35
27/07/2023	97155	TELSTRA LIMITED	COMMUNICATION SERVICES	6,156.79
27/07/2023	97023	THAT GUY'S RECYCLING PTY LTD T/A ;:TOTAL	RECYCLING E-WASTE SERVICES	1,750.68
12/07/2023	96761	THE ASSOCIATION FOR PAYROLL SPECIALISTS	MEMBERSHIP / CONFERENCE	1,045.00
27/07/2023	97082	THE GOOD EGG CAFE	VENUE HIRE AND CATERING	10.00
27/07/2023	97153	THE MARGARET RIVER NATURAL SPRING WATER	BOTTLED WATER	165.00
12/07/2023	96798	THE TRUSTEE FOR PIGGOTT FAMILY TRUST	EARTHWORK SERVICES	2,720.56
12/07/2023	96846	THINK WATER DUNSBOROUGH	RETICULATION SERVICES	1,451.50
27/07/2023	97103	THINK WATER DUNSBOROUGH	RETICULATION SERVICES	170.08
12/07/2023	96884	TIM WILSON CARPENTRY	CARPENTRY SERVICES	1,555.00
12/07/2023	96974	TOTAL HORTICULTURAL SERVICES	LANDSCAPING SERVICES	7,436.00
12/07/2023	96975	TRADE HIRE	PLANT HIRE & EQUIPMENT SERVICES	3,962.80
12/07/2023	96771	TRANEN PTY LTD	VEGETATION REPORT - NATURAL AREA MANAGEMENT WORKS	19,840.59
27/07/2023	97123	TRAVELLING TOWN	BOND REFUND	200.00
27/07/2023	97047	TROPHIES ON TIME	NAME BADGE SUPPLIER	66.00
12/07/2023	96810	TRUCK CENTRE (WA) PTY LTD	NEW VEHICLE PARTS & SERVICE	209.65
27/07/2023	97068	TRUCK CENTRE (WA) PTY LTD	NEW VEHICLE PARTS & SERVICE	3,440.93
12/07/2023	96797	TRUE TRACK TRUCK ALIGNING	WHEEL ALIGNMENT SERVICES	285.00
12/07/2023	96873	TYLER LINDBERG	DONATION	500.00
12/07/2023	96852	URBIS PTY LTD	PROPERTY ECONOMIC & RESEARCH CONSULTING	32,780.00
12/07/2023	96951	VASSE VOLUNTEER BUSH FIRE BRIGADE INC	PETTY CASH REIMBURSEMENT	491.89
19/07/2023	96999	VIVA BOOKS	BOOKS AND GIFTS	75.00
27/07/2023	97036	VORGEE PTY LTD	GYM GOODS	1,234.20
12/07/2023	96777	WA NEWSPAPERS LIMITED	ADVERTISING SERVICES	3,523.11
13/07/2023	96990	WA SHIRE COUNCILS	UNION FEES	218.50
27/07/2023	97220	WA SHIRE COUNCILS	UNION FEES	198.00
12/07/2023	96957	WA TREASURY CORPORATION	LOAN REPAYMENTS	276,986.28
12/07/2023	96757	WALGA	WALGA TRAINING SERVICES	638.00
27/07/2023	97061	WALGA ATF LGISWA	WORKER COMPENSATION SERVICES	848,727.48
12/07/2023	96820	WE MCGILL	ART SALES	31.50
12/07/2023	96759	WEATHERSAFE WA	CANVAS SERVICES	22,440.00
12/07/2023	96945	WESFARMERS - BLACKWOODS	FLEET CONSUMABLES & MAINTENANCE PARTS	1,384.02
27/07/2023	97185	WESFARMERS - BLACKWOODS	FLEET CONSUMABLES & MAINTENANCE PARTS	1,055.99
27/07/2023	97190	WESFARMERS KHG	GAS SERVICES	593.41
27/07/2023	97138	WEST COAST WASTE	SKIP BIN HIRE	2,915.00
12/07/2023	96914	WEST OZ LINEMARKING PTY LTD	LINE MARKING SERVICES	25,150.40
27/07/2023	97113	WESTERN GROWERS FRESH	CATERING	158.00
27/07/2023	97052	WESTERN IRRIGATION PTY LTD	BORE AND IRRIGATION SERVICES - DATA SIM CARD HIRE RENEWAL	16,352.60
27/07/2023	97188	WESTRAC P/L	PLANT PURCHASES / SERVICES / PARTS	1,522.05
12/07/2023	96899	WILLIAM JAMES WEBB	INDIGENOUS CULTURAL CONSULTANCY	500.00
12/07/2023	96940	WINC AUSTRALIA PTY LTD	STATIONERY SUPPLIER	1,050.38
27/07/2023	97178	WINC AUSTRALIA PTY LTD	STATIONERY SUPPLIER	48.75
12/07/2023	96968	WML CONSULTANTS PTY LTD	CONSULTANCY SERVICES	3,122.64
27/07/2023	97033	WOODLANDS DISTRIBUTORS & AGENCIES PTY LT	STREETSCAPE FURNITURE	204.42
12/07/2023	96955	WORK CLOBBER	PROTECTIVE CLOTHING SUPPLIER	844.05
27/07/2023	97189	WORK CLOBBER	PROTECTIVE CLOTHING SUPPLIER	1,122.00
12/07/2023	96950	WORKFORCE INTERNATIONAL GROUP PTY LTD	LINE MARKING - SUGAR LOAF ROAD, WESTERN CAPE DRIVE & ACTION PK ROAD	16,107.38
27/07/2023	97201	WREN OIL	WASTE OIL SERVICES	16.50
12/07/2023	96960	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)		518.83
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	175.45
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	202.73
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	20.90
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	58.50
		YOUTH SERVICES - CARD #8827	FOOD AND BEVERAGE SUPPLIES	61.25
19/07/2023	97010	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)		849.51
		GLC - CARD #1557	FOOD AND BEVERAGE SUPPLIES	471.90
		GLC - CARD #8990	FOOD AND BEVERAGE SUPPLIES	313.21
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	64.40
27/07/2023	97196	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)		1,076.45
		DEPOT - CARD #3634	FAREWELL MORNING TEA DEPOT	42.40
		DEPOT - CARD #3634	FAREWELL MORNING TEA DEPOT	24.80
		DEPOT - CARD #3634	FAREWELL MORNING TEA DEPOT	10.00
		GLC - CARD #1557	FOOD AND BEVERAGE SUPPLIES	115.97
		GLC - CARD #3347	FOOD AND BEVERAGE SUPPLIES	108.97
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	194.60
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	155.82
		GLC - CARD #9334	FOOD AND BEVERAGE SUPPLIES	25.00
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	398.89
12/07/2023	96794	YAHAVA KOFFEE WORKS WHOLESALE	CATERING	432.95
27/07/2023	97055	YAHAVA KOFFEE WORKS WHOLESALE	CATERING	1,416.00



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TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

12/07/2023	96941	ZIPFORM PTY LTD	PRINTING SERVICES	4,035.17
27/07/2023	97099	ZOHO CORPORATION PTY LTD	SOFTWARE LICENCES	12,688.50
				5,535,583.15

INTERNAL PAYMENT VOUCHERS (DIRECT DEBITS) JULY 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
30/06/2023	5350	AMPOL AUSTRALIA PETROLEUM PTY LTD	FUEL SERVICES	95,217.27
		ADMINISTRATION - BSNCTY1 - CARD #1840	UNLEADED ONLY	135.21
		AIRPORT OPERATIONS - BSN043Z - CARD #9810	DIESEL ONLY	108.38
		AIRPORT OPERATIONS - BSN16AV - CARD #7320	DIESEL ONLY	363.77
		AIRPORT OPERATIONS - BSN30BT - CARD #8470	DIESEL ONLY	378.96
		CEO - BSN66DG - CARD #8430	PREMIUM DIESEL ONLY	351.82
		COMMUNITY & COMMERCIAL SERVICES - BSN22AO - CARD #3030	UNLEADED ONLY	167.15
		COMMUNITY & COMMERCIAL SERVICES - BSN254L - CARD #9760	DIESEL ONLY	123.67
		COMMUNITY & COMMERCIAL SERVICES - BSN26CM - CARD #0920	UNLEADED ONLY	338.69
		COMMUNITY & COMMERCIAL SERVICES - BSN45CT - CARD #8880	DIESEL AND PREMIUM DIESEL ONLY	372.89
		COMMUNITY & COMMERCIAL SERVICES - BSN45DA - CARD #7520	UNLEADED ONLY	226.75
		COMMUNITY & COMMERCIAL SERVICES - BSN53BK - CARD #3520	UNLEADED ONLY	147.11
		COMMUNITY & COMMERCIAL SERVICES - BSN57AV - CARD #9790	UNLEADED ONLY	107.45
		DEPOT TANK 1 - CARD #0130	DIESEL ONLY	2,331.77
		DEPOT TANK 2 - CARD #0150	DIESEL ONLY	1,301.12
		DEPOT TANK 3 - CARD #0180	DIESEL ONLY	3,042.96
		DEPOT TANK 4 - CARD #0230	DIESEL ONLY	2,496.61
		ENGINEERING/FACILITIES - BSN47CT - CARD #8930	DIESEL AND PREMIUM DIESEL ONLY	387.67
		ENGINEERING/FACILITIES - BSN23AM - CARD #3500	DIESEL ONLY	348.14
		ENGINEERING/FACILITIES - BSN28CO - CARD #0500	DIESEL AND PREMIUM DIESEL ONLY	730.27
		ENGINEERING/FACILITIES - BSN97CY - CARD #2450	DIESEL ONLY	333.06
		ENGINEERING/FACILITIES - BSN41CF - CARD #1790	PREMIUM DIESEL ONLY	94.58
		ENGINEERING/FACILITIES - BSN05BH - CARD #1180	DIESEL ONLY	120.87
		ENGINEERING/FACILITIES - BSN07BL - CARD #7150	DIESEL ONLY	374.47
		ENGINEERING/FACILITIES - BSN162S - CARD #1130	DIESEL ONLY	97.16
		ENGINEERING/FACILITIES - BSN24BA - CARD #0270	DIESEL ONLY	295.45
		ENGINEERING/FACILITIES - BSN414Z - CARD #1220	DIESEL ONLY	803.17
		ENGINEERING/FACILITIES - BSN41AS - CARD #1700	PREMIUM DIESEL ONLY	355.49
		ENGINEERING/FACILITIES - BSN42AS - CARD #1720	DIESEL ONLY	338.81
		ENGINEERING/FACILITIES - BSN47BE - CARD #1660	PREMIUM DIESEL ONLY	97.48
		ENGINEERING/FACILITIES - BSN47CM - CARD #0080	UNLEADED ONLY	76.52
		ENGINEERING/FACILITIES - BSN48CM - CARD #0160	UNLEADED ONLY	504.21
		ENGINEERING/FACILITIES - BSN54BG - CARD #0700	UNLEADED ONLY	261.90
		ENGINEERING/FACILITIES - BSN693T - CARD #5750	DIESEL ONLY	95.41
		ENGINEERING/FACILITIES - BSN89CY - CARD #2050	UNLEADED ONLY	189.86
		FINANCE/IT SERVICES - BSN20BL - CARD #5770	PREMIUM DIESEL ONLY	268.69
		FINANCE/IT SERVICES - BSN21BA - CARD #1140	UNLEADED AND PREMIUM UNLEADED ONLY	475.97
		FINANCE/IT SERVICES - BSN56CY - CARD #9210	DIESEL AND PREMIUM DIESEL ONLY	503.08
		FINANCE/IT SERVICES - BSN75BL - CARD #2440	UNLEADED ONLY	91.85
		FINANCE/IT SERVICES - BSN75DI - CARD #1200	UNLEADED ONLY	262.14
		FINANCE/IT SERVICES - BSN82BT - CARD #3060	DIESEL ONLY	376.13
		FLEET MANAGEMENT - BSN423Z - CARD #8500	DIESEL ONLY	995.92
		FLEET MANAGEMENT - BSN74AE - CARD #1820	DIESEL ONLY	313.29
		FLEET MANAGEMENT - BSN91CR - CARD #8890	PREMIUM UNLEADED ONLY	254.96
		GENERAL CONSTRUCTION - BSN06BI - CARD #9620	DIESEL ONLY	2,601.76
		GENERAL CONSTRUCTION - BSN07OT - CARD #5170	DIESEL ONLY	1,492.40
		GENERAL CONSTRUCTION - BSN11AH - CARD #2390	DIESEL AND ADBLUE	5,846.86
		GENERAL CONSTRUCTION - BSN12AH - CARD #0140	DIESEL AND ADBLUE	4,801.27
		GENERAL CONSTRUCTION - BSN12AL - CARD #5580	DIESEL AND ADBLUE	4,193.00
		GENERAL CONSTRUCTION - BSN12AY - CARD #0600	DIESEL AND ADBLUE	406.04
		GENERAL CONSTRUCTION - BSN20DM - CARD #4190	ADBLUE ONLY	14.81
		GENERAL CONSTRUCTION - BSN462N - CARD #4750	DIESEL ONLY	221.05
		GENERAL CONSTRUCTION - BSN473A - CARD #3490	UNLEADED ONLY	83.12
		GENERAL CONSTRUCTION - BSN548N - CARD #4500	DIESEL ONLY	199.66
		GENERAL CONSTRUCTION - BSN54AA - CARD #3080	DIESEL AND ADBLUE	2,557.86
		GENERAL CONSTRUCTION - BSN726P - CARD #2960	DIESEL ONLY	662.15
		GENERAL CONSTRUCTION - BSN736P - CARD #5820	DIESEL ONLY	552.34
		GENERAL CONSTRUCTION - BSN738P - CARD #5850	DIESEL ONLY	332.31
		GENERAL CONSTRUCTION - BSN75BA - CARD #3170	DIESEL ONLY	308.96
		GENERAL CONSTRUCTION - BSN997T - CARD #1710	DIESEL AND ADBLUE	524.56
		GENERAL CONSTRUCTION - HAKO SWEEPER - CARD #3470	DIESEL ONLY	188.95
		GENERAL CONSTRUCTION - HINO TIPPER TRUCK - CARD #3470	DIESEL ONLY	2,032.16
		PARKS, GARDENS & RESERVES - BSN02DG - CARD #8130	PREMIUM DIESEL ONLY	220.88
		PARKS, GARDENS & RESERVES - BSN09AV - CARD #4200	DIESEL ONLY	177.33
		PARKS, GARDENS & RESERVES - BSN17AY - CARD #4340	DIESEL ONLY	328.52
		PARKS, GARDENS & RESERVES - BSN18AY - CARD #4380	PREMIUM DIESEL ONLY	113.21
		PARKS, GARDENS & RESERVES - BSN24AE - CARD #6490	PREMIUM DIESEL ONLY	179.96
		PARKS, GARDENS & RESERVES - BSN32CJ - CARD #5760	PREMIUM DIESEL ONLY	228.06
		PARKS, GARDENS & RESERVES - BSN353S - CARD #2760	PREMIUM DIESEL ONLY	427.34
		PARKS, GARDENS & RESERVES - BSN358S - CARD #9310	DIESEL ONLY	560.40
		PARKS, GARDENS & RESERVES - BSN492Q - CARD #7180	DIESEL ONLY	503.98
		PARKS, GARDENS & RESERVES - BSN51AU - CARD #3080	DIESEL ONLY	518.91
		PARKS, GARDENS & RESERVES - BSN52AZ - CARD #0910	DIESEL ONLY	271.01
		PARKS, GARDENS & RESERVES - BSN60AX - CARD #6350	DIESEL ONLY	95.28
		PARKS, GARDENS & RESERVES - BSN610Q - CARD #9650	DIESEL ONLY	245.97
		PARKS, GARDENS & RESERVES - BSN614Q - CARD #4550	PREMIUM DIESEL ONLY	489.56
		PARKS, GARDENS & RESERVES - BSN61BF - CARD #3370	DIESEL ONLY	224.00
		PARKS, GARDENS & RESERVES - BSN62CK - CARD #1530	DIESEL ONLY	356.35
		PARKS, GARDENS & RESERVES - BSN63BJ - CARD #5770	DIESEL ONLY	486.00



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INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

		PARKS, GARDENS & RESERVES - BSN64BC - CARD #8490	DIESEL ONLY	337.20
		PARKS, GARDENS & RESERVES - BSN667J - CARD #5940	DIESEL ONLY	226.83
		PARKS, GARDENS & RESERVES - BSN68BE - CARD #5580	DIESEL ONLY	447.49
		PARKS, GARDENS & RESERVES - BSN694T - CARD #7990	DIESEL ONLY	203.95
		PARKS, GARDENS & RESERVES - BSN73AJ - CARD #9230	DIESEL ONLY	258.53
		PARKS, GARDENS & RESERVES - BSN762T - CARD #7240	DIESEL ONLY	197.88
		PARKS, GARDENS & RESERVES - BSN77BC - CARD #8160	DIESEL AND PREMIUM DIESEL ONLY	435.84
		PARKS, GARDENS & RESERVES - BSN851R - CARD #5890	DIESEL ONLY	406.37
		PARKS, GARDENS & RESERVES - BSN85DJ - CARD #4050	DIESEL ONLY	328.80
		PARKS, GARDENS & RESERVES - BSN86BX - CARD #2930	DIESEL ONLY	473.90
		PARKS, GARDENS & RESERVES - BSN87AV - CARD #7840	DIESEL ONLY	328.65
		PARKS, GARDENS & RESERVES - BSN91BK - CARD #0170	DIESEL ONLY	20.24
		PARKS, GARDENS & RESERVES - BSN993T - CARD #5120	PREMIUM DIESEL ONLY	324.31
		PARKS, GARDENS & RESERVES - BSN994T - CARD #9740	DIESEL ONLY	216.17
		PARKS, GARDENS & RESERVES - LAWNMOWER - CARD #5880	DIESEL ONLY	412.02
		PARKS, GARDENS & RESERVES - MINOR PLANT - CARD #2930	UNLEADED	530.71
		PARKS, GARDENS & RESERVES - TRACTOR - CARD #4150	DIESEL ONLY	338.59
		PLANNING & BUILDING - BSN00CK - CARD #1440	UNLEADED ONLY	503.49
		PLANNING & BUILDING - BSN01BE - CARD #8790	UNLEADED ONLY	494.12
		PLANNING & BUILDING - BSN08AO - CARD #5220	UNLEADED ONLY	275.90
		PLANNING & BUILDING - BSN20AO - CARD #2970	UNLEADED ONLY	118.91
		PLANNING & BUILDING - BSN53BG - CARD #0410	UNLEADED ONLY	403.07
		PLANNING & BUILDING - BSN56BX - CARD #2130	UNLEADED ONLY	134.36
		PLANNING & BUILDING - BSN61BG - CARD #0770	UNLEADED ONLY	361.55
		PROPERTY & LEGAL SERVICES - BSN64CT - CARD #7040	UNLEADED ONLY	122.59
		PROPERTY & LEGAL SERVICES - BSN75DG - CARD #7700	UNLEADED ONLY	136.63
		RANGER & FIRE SERVICES - BSN76BC - CARD #5760	DIESEL ONLY	588.96
		RANGER & FIRE SERVICES - BSN91BO - CARD #9320	DIESEL AND PREMIUM DIESEL ONLY	672.04
		RANGER & FIRE SERVICES - 1EBT387 - CARD #8440	DIESEL ONLY	62.42
		RANGER & FIRE SERVICES - 1EBT413 - CARD #8480	DIESEL AND LUBES	38.61
		RANGER & FIRE SERVICES - 1ECA019 - CARD #3700	DIESEL ONLY	53.62
		RANGER & FIRE SERVICES - 1EDM387 - CARD #3260	DIESEL ONLY	157.12
		RANGER & FIRE SERVICES - 1EGR256 - CARD #5020	DIESEL ONLY	19.65
		RANGER & FIRE SERVICES - 1EIO341 - CARD #9420	DIESEL ONLY	96.27
		RANGER & FIRE SERVICES - 1EZK373 - CARD #2000	DIESEL ONLY	37.17
		RANGER & FIRE SERVICES - 1GDT881 - CARD #6470	DIESEL ONLY	98.17
		RANGER & FIRE SERVICES - 1GEU778 - CARD #7560	DIESEL ONLY	30.13
		RANGER & FIRE SERVICES - 1HQE252 - CARD #9850	DIESEL AND ADBLUE	118.93
		RANGER & FIRE SERVICES - 1HRG795 - CARD #9550	DIESEL ONLY	65.44
		RANGER & FIRE SERVICES - BSN01AO - CARD #5220	UNLEADED ONLY	383.66
		RANGER & FIRE SERVICES - BSN27CW - CARD #5400	DIESEL AND PREMIUM DIESEL ONLY	320.52
		RANGER & FIRE SERVICES - BSN359S - CARD #9320	DIESEL ONLY	186.87
		RANGER & FIRE SERVICES - BSN575J - CARD #9490	DIESEL ONLY	46.96
		RANGER & FIRE SERVICES - BSN708Z - CARD #6100	PREMIUM DIESEL ONLY	264.00
		RANGER & FIRE SERVICES - BSN710K - CARD #0020	DIESEL ONLY	153.03
		RANGER & FIRE SERVICES - BSN75BC - CARD #5750	DIESEL ONLY	772.95
		RANGER & FIRE SERVICES - BSN90BO - CARD #9300	PREMIUM DIESEL ONLY	405.90
		REGULATORY SERVICES - BSN25CM - CARD # 4830	UNLEADED ONLY	67.56
		REGULATORY SERVICES - BSN82AU - CARD #3470	DIESEL AND PREMIUM DIESEL ONLY	903.30
		REGULATORY SERVICES - BSN91DA - CARD #1680	DIESEL AND PREMIUM DIESEL ONLY	327.97
		REGULATORY SERVICES - BSN97BT - CARD #1690	UNLEADED ONLY	194.40
		WASTE SERVICES - 1GHY540 - CARD #6550	DIESEL AND ADBLUE	3,775.85
		WASTE SERVICES - 1GUG884 - CARD #6770	DIESEL AND ADBLUE	4,633.07
		WASTE SERVICES - 1HKR794 - CARD #4580	DIESEL AND ADBLUE	4,176.05
		WASTE SERVICES - 1HQ054 - CARD #1270	DIESEL AND ADBLUE	3,351.77
		WASTE SERVICES - BSN02AH - CARD #4680	DIESEL AND ADBLUE	168.86
		WASTE SERVICES - BSN09AQ - CARD #1300	DIESEL ONLY	270.79
		WASTE SERVICES - BSN15AK - CARD #6280	UNLEADED ONLY	363.21
		WASTE SERVICES - BSN34BG - CARD #3370	DIESEL ONLY	299.27
		WASTE SERVICES - BSN42BT - CARD #4260	DIESEL ONLY	2,155.55
		WASTE SERVICES - BSN82DC - CARD #3990	DIESEL AND ADBLUE	4,106.60
		WASTE SERVICES - BSN85OR - CARD #3200	DIESEL AND ADBLUE	388.08
		WASTE SERVICES - BSN85CC - CARD #3630	DIESEL ONLY	161.02
		WASTE SERVICES - 1GUP254 - CARD #9120	DIESEL AND ADBLUE	3,776.52
3/07/2023	5351	LES MILLS ASIA PACIFIC	CONTRACT FEES	641.93
3/07/2023	5352	LES MILLS ASIA PACIFIC	CONTRACT FEES	534.94
3/07/2023	5353	ANZ BANK	BANK FEES	15.50
3/07/2023	5354	ANZ BANK	BANK FEES	5,876.30
3/07/2023	5355	COMMONWEALTH BANK	BANK FEES	479.93
3/07/2023	5356	T MCNALLY	REFUND OF ANIMAL TRAP BOND	100.00
6/07/2023	5357	ANZ BANK	BANK FEES	1,275.69
6/07/2023	5358	ANZ BANK	BANK FEES	853.04
6/07/2023	5359	ANZ BANK	BANK FEES	765.41
6/07/2023	5360	ANZ BANK	BANK FEES	162.67
7/07/2023	5361	E CURTIS	REFUND OF RATE OVERPAYMENT	2,720.36
7/07/2023	5362	H MEWTON	REFUND OF ANIMAL TRAP BOND	100.00
10/07/2023	5363	M COPELAND	REFUND OF RATE OVERPAYMENT	2,415.04
10/07/2023	5364	C LAMBERT	REFUND OF APPLICATION	295.00
10/07/2023	5364	MARDIN KEBABS	REFUND OF APPLICATION	37.00
10/07/2023	5364	B CULLEN	REFUND OF RATE OVERPAYMENT	791.94
7/07/2023	5365	BUSSELTION AFL MASTERS	REFUND OF HALL & KEY DEPOSITS	500.00
11/07/2023	5366	SILVERSPRINGS COTTAGE	REFUND OF APPLICATION	200.00
6/07/2023	5367	AUSTRALIAN TAXATION OFFICE	PAYG TAXATION	3,120.35
14/07/2023	5368	CR. MIKAYLA LOVE	COUNCILLOR PAYMENT	333.60
4/07/2023	5369	D BARNES	AIRPORT PARKING CARD REFUND	20.00



LISTING OF PAYMENTS MADE
UNDER DELEGATED AUTHORITY
FOR THE MONTH OF JULY 2023

CHEQUE PAYMENTS	119717 - 119736	111,510.18
ELECTRONIC FUNDS TRANSFER PAYMENTS	96756 - 97224	5,535,583.15
TRUST ACCOUNT PAYMENTS	EFT# TR000001 - TR000003	56,110.69
PAYROLL PAYMENTS	01.07.23 - 31.07.23	1,750,327.57
INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

17/07/2023	5370	COMMONWEALTH BANK	BANK FEES	22.60
17/07/2023	5371	J BRANSON	REFUND OF RATE OVERPAYMENT	673.00
17/07/2023	5371	M R DAIRY CO	REFUND OF APPLICATION	37.00
17/07/2023	5371	DOMS DUNSBOROUGH	REFUND OF APPLICATION	37.00
17/07/2023	5371	G BEARD	REFUND OF RATE OVERPAYMENT	158.45
18/07/2023	5372	G BEARD	REFUND OF RATE OVERPAYMENT	192.00
18/07/2023	5372	REID HENDERSON DESIGN	REFUND OF APPLICATION	480.00
19/07/2023	5373	K WALLACE	REFUND OF RATE OVERPAYMENT	348.45
19/07/2023	5373	RAY VILLAGE	REFUND OF APPLICATION	224.00
19/07/2023	5374	K GIBBS	REFUND OF ANIMAL TRAP BOND	100.00
19/07/2023	5375	J WILKINS	REFUND OF ANIMAL TRAP BOND	100.00
21/07/2023	5375	K DENNEY	REFUND OF ANIMAL TRAP BOND	100.00
7/07/2023	5376	A.N.Z. BANK - VISA CARD	CREDIT CARD PAYMENT	14,854.75
ENGINEERING DIRECTOR				
		MILKLAB	MILK JUGS FOR GLC CAFÉ	175.00
		TIGERLINK	GATE REMOTE CONTROLS-COUNCILLOR CARPARK	295.12
		APPLE ICLOUD STORAGE	ICLOUD STORAGE	4.49
		NOVOTEL MURRAY	TRAINING ACCOMMODATION	444.13
PLANNING & DEVELOPMENT DIRECTOR				
		HILTON GARDEN INN ALBANY	ACCOMMODATION - PIA CONFERENCE	221.90
		HILTON GARDEN INN ALBANY	BREAKFAST- PIA CONFERENCE	34.00
		HILTON GARDEN INN ALBANY	ACCOMMODATION -PIA CONFERENCE	433.50
CEO				
		MAILCHIMP	ELECTRONIC NEWSLETTER PR	382.16
		WEST AUSTRALIAN	DIGITAL SUBSCRIPTION	28.00
		SHELTER BREWING CO	COUNCIL DINNER	518.50
		COLES EXPRESS VASSE	CEO FUEL	250.99
		KITCHEN TAKEOVERS	CEO MORNING TEA- LG AUSTRALASIAN MANAGEMENT CHALLENGE 2023 TEAM	144.00
		LAMYSHOP	STATIONERY FOR CEO	58.87
		JETSTAR CREDIT	REFUND FOR OVERCHARGED CREDIT CARD FEE	7.57
HUMAN RESOURCES MANAGER				
		JETSTAR	FLIGHT TO MELBOURNE	217.41
		DIGIDIRECT	VIDEO CAPTURE CORD-CONVERT VHS TO DIGITAL	139.31
		VIRGIN AUSTRALIA	FLIGHTS TO CAIRNS	707.99
		VIRGIN AUSTRALIA	FLIGHTS TO CAIRNS	6.87
		KITCHEN TAKEOVERS	COFFEES- PRIZES FOR CEO MESSAGE QUESTIONS	25.00
		INVEST SOUTHWEST	LAUNCH BREAKFAST AND PRESENTATION	20.00
		COLES ONLINE	STAFF FAREWELL MORNING TEA	218.80
		SENDGRID	EMAIL PROGRAM FOR CUSTOMER RETENTION AND CONTACT-GLC	31.24
		NESUTO CURTIN PERTH	TRAINING ACCOMMODATION	189.05
		NESUTO CURTIN PERTH	TRAINING ACCOMMODATION	189.05
		NESUTO CURTIN PERTH	TRAINING ACCOMMODATION	189.05
		NESUTO CURTIN PERTH	TRAINING ACCOMMODATION	206.05
		SWOFFICE NATIONAL	NON STANDARD STATIONERY ITEMS	215.01
		MAILCHIMP-ELECTRONIC MARKETING	LIBRARY NEWSLETTER AND MARKETING	117.44
		MESSAGEMEDIA	GLC - CUSTOMER RETENTION AND CONTACT SYSTEM	55.26
		SPOTIFY	MUSIC FOR YOUTH EVENTS	18.99
		MAILCHIMP -ARTGEO	ELECTRONIC MARKETING -ARTGEO	103.71
		FRESHWORKS INC	ONE LIBRARY WA- FRESHDESK SUPPORT DESK PRO ANNUAL ACCOUNT	852.84
		AUSTRALIA POST	30 YEARS SERVICE AWARD	280.95
		THE FLOWER PLACE	SYMPATHY FLOWERS	80.00
		IRRIGATION AUSTRALIA	WATERWISE EXPO	544.50
		DAN MURPHY	REWARD & RECOGNITION VOUCHER	50.00
IT MANAGER				
		DEPUTY	DEPUTY ROSTERING SYSTEM GLC	938.03
		MWAVE	NAS FOR T1 BACKUP	2,466.34
		AMAZON MARKETPLACE AU	USB PORT BLOCKERS	57.44
		AMAZON MARKETPLACE AU	USB PORT BLOCKERS	31.61
		CANVA	CANVA ONLINE SUBSCRIPTION	256.46
		ZOOM	MONTHLY SUBSCRIPTION	69.19
		BAKED BUSSELTON	REWARD & RECOGNITION MORNING TEA-RECORDS	54.10
COMMUNITY SERVICES MANAGER				
		TAS BAKERY	CATERING -MITIGATION WORKD-BINA RESERVE	102.78
		BUNNINGS	CONTAINERS TO STORE FOOD SUPPLIERS FOR FIRE BRIGADES	409.70
		TAS S BAKERY DUNSBOROUGH	CATERING- 2ST AID TRAINING 25TH JUNE	262.46
		WILD AND WOOD	CATERING- 2ST AID TRAINING 25TH JUNE	39.14
FINANCE DIRECTOR				
		TRYBOOKING*LGIS	SOUTH WEST CARE FORUM	190.50
		LOCAL GOVERNMENT PROFESSIONALS AUST	MONTHLY WEBINAR SERIES DLGSC.	50.00
		THE ASSOCIATION FOR PAYROLL	TAPS YEAR END SEMINAR	495.00
		MAILCHIMP	UPGRADE TO SUBSCRIPTION	40.79
		LIQUID FILES	LICENCE RENEWAL	1,623.60
		AHRI LTD	WA CONFERENCE 2023- REFUND DUE TO CANCELLATION	399.00
		ANZ	ANNUAL CARD FEES	200.00
		ANZ	REWARD FEES	525.00
27/07/2023	5377	KARRI KARRAK	REFUND OF APPLICATION	184.00
27/07/2023	5377	T BARRIE	REFUND OF APPLICATION	38.00
27/07/2023	5377	B CULLEN	REFUND OF RATE OVERPAYMENT	50.00
27/07/2023	5377	A DEVENE	REFUND OF APPLICATION	268.00
27/07/2023	5377	YALLINGUP LODGE	REFUND OF APPLICATION	368.00
27/07/2023	5377	R BARROW	REFUND OF APPLICATION	147.00
27/07/2023	5377	FREE REFORMED CHURCH	REFUND OF RATE OVERPAYMENT	1,331.70
26/07/2023	5378	S BLONDE	REFUND OF ANIMAL TRAP BOND	100.00
31/07/2023	5379	DEPARTMENT OF PRIMARY INDUSTRIES & REGIONAL DEVELOPMENT	REFUND OF APPLICATION	368.00
1/08/2023	5380	M SMART	REFUND OF APPLICATION	37.00

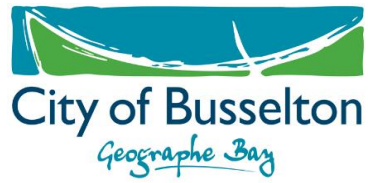


LISTING OF PAYMENTS MADE
UNDER DELEGATED AUTHORITY
FOR THE MONTH OF JULY 2023

CHEQUE PAYMENTS	119717 - 119736	111,510.18
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INTERNAL PAYMENT VOUCHERS	DD# 5350 - 5383	136,904.92
		7,590,436.51

1/08/2023	5381	ANZ BANK	BANK FEES	20.00
1/08/2023	5382	ANZ BANK	BANK FEES	10.00
2/08/2023	5383	S CRISP	REFUND OF HALL & KEY DEPOSITS	200.00
				136,904.92

TRUST PAYMENTS JULY 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
26/07/2023	TR000001	DEPARTMENT OF MINES, INDUSTRY REGULATION & SAFETY	BUILDING SERVICES LEVY	43,099.56
26/07/2023	TR000002	CITY OF BUSSELTON - EFT	INTERNAL PAYMENTS / COMMISSIONS	748.25
26/07/2023	TR000003	DEPARTMENT OF MINES, INDUSTRY REGULATION & SAFETY	CTF LEVY	12,262.88
				56,110.69



**CITY OF BUSSELTON
MONTHLY FINANCIAL REPORT
For the period ended 31st July 2023**

**LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996**

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City of Busselton

Statement of Financial Activity

Year to Date As At 31 July 2023

	Note	2023/2024 Actual YTD	2023/2024 Amended Budget YTD	2023/2024 Original Budget YTD	2023/2024 Amended Budget	2023/2024 Original Budget	2023/24 YTD Bud (A) Variance	2023/24 YTD Bud (A) Variance
		\$	\$	\$	\$	\$	%	\$
Operating Activities								
Revenue from Operating Activities								
Rates		22,587	177	177	60,395,882	60,395,882	12630.06%	22,410
Grants, Subsidies and Contributions	3.1	324,858	165,737	165,737	5,325,685	5,325,685	96.01%	159,121
Fees & Charges	3.2	1,385,522	1,198,854	1,198,854	22,404,393	22,404,393	15.57%	186,668
Other Revenue		42,610	14,853	14,853	334,932	334,932	186.88%	27,757
Interest Earnings	3.3	413,295	336,362	336,362	4,305,492	4,305,492	22.87%	76,933
Profit on Asset Disposals		88,216	800	800	24,120	24,120	10926.97%	87,416
		2,277,088	1,716,783	1,716,783	92,790,504	92,790,504	32.64%	560,305
Expenses from Operating Activities								
Employee Costs		(3,054,869)	(3,061,727)	(3,061,727)	(37,929,304)	(37,929,304)	0.22%	6,858
Materials & Contracts	3.4	(944,432)	(2,360,048)	(2,360,048)	(29,072,925)	(29,072,925)	59.98%	1,415,616
Utilities (Gas, Electricity, Water etc)		(154,722)	(119,120)	(119,120)	(2,980,399)	(2,980,399)	(29.89%)	(35,601)
Depreciation on non current assets		(2,286,854)	(2,174,572)	(2,174,572)	(25,541,373)	(25,541,373)	(5.16%)	(112,282)
Finance Costs		(3,888)	(5,194)	(5,194)	(1,749,875)	(1,749,875)	25.14%	1,306
Insurance Expenses		(388,475)	(393,935)	(393,935)	(894,395)	(894,395)	1.39%	5,460
Other Expenditure	3.5	(201,806)	(257,914)	(257,914)	(6,823,844)	(6,823,844)	21.75%	56,108
Allocations		10,457	166,384	166,384	1,996,605	1,996,605	93.72%	(155,927)
Loss on Asset Disposals		0	0	0	(205,278)	(205,278)	0.00%	0
		(7,024,588)	(8,206,127)	(8,206,127)	(103,200,789)	(103,200,789)	14.40%	1,181,538
Non-Cash Amounts Excluded from Operating Activities	2	2,368,507	2,174,572	2,174,572	16,372,855	16,372,855	8.92%	193,935
Amount Attributable to Operating Activities		(2,378,994)	(4,314,772)	(4,314,772)	5,962,570	5,962,570	44.86%	1,935,778
Investing Activities								
Capital Grants, Subsidies and Contributions		26,430	26,430	26,430	19,649,075	19,649,075	0.00%	0
Land & Buildings	3.6	(983,695)	(3,274,029)	(3,274,029)	(29,976,325)	(29,976,325)	69.95%	2,290,333
Plant & Equipment		0	(21,773)	(21,773)	(6,078,421)	(6,078,421)	100.00%	21,773
Furniture & Equipment	3.7	(2,311)	(176,621)	(176,621)	(1,510,209)	(1,510,209)	98.69%	174,310
Infrastructure	3.8	372,774	(1,203,508)	(1,203,508)	(21,896,530)	(21,896,530)	130.97%	1,576,283
Proceeds from Sale of Assets		187,530	800	800	863,800	863,800	23341.22%	186,730
Proceeds from Sale of Non-Current Asset Held for Resale		0	0	0	0	0	100.00%	0
Self Supporting Loans - Repayment of Principal		0	0	0	193,385	193,385	0.00%	0
Amount Attributable to Investing Activities		(399,272)	(4,648,701)	(4,648,701)	(38,755,225)	(38,755,225)	91.41%	4,249,429
Financing Activities								
Repayment of Borrowings		(100,047)	(100,047)	(100,047)	(4,738,701)	(4,738,701)	0.00%	0
Principal Elements of Finance Lease Payments		0	(42,638)	(42,638)	(114,651)	(114,651)	100.00%	42,638
Proceeds from New Loans		0	0	0	2,000,000	2,000,000	100.00%	0
Advances to Community Groups		0	0	0	(250,000)	(250,000)	0.00%	0
Transfer to Restricted Assets	3.10	(748,094)	(11,180)	(11,180)	(11,180)	(11,180)	(6591.36%)	(736,914)
Transfer from Restricted Assets	3.11	405,556	1,713,590	1,713,590	20,563,074	20,563,074	(76.33%)	(1,308,034)
Transfer to Reserves	3.12	(10,922,325)	(14,829,196)	(14,829,196)	(39,002,737)	(39,002,737)	26.35%	3,906,871
Transfer from Reserves		15,427,515	14,132,259	14,132,259	52,392,260	52,392,260	9.17%	1,295,256
Amount Attributable to Financing Activities		4,062,606	862,789	862,789	30,838,065	30,838,065	370.87%	3,199,817
Opening Funds Surplus/ (Deficit)		1,954,590	1,954,590	1,954,590	1,954,590	1,954,590		
Amount Attributable to Operating Activities		(2,378,994)	(4,314,772)	(4,314,772)	5,962,570	5,962,570		
Amount Attributable to Investing Activities		(399,272)	(4,648,701)	(4,648,701)	(38,755,225)	(38,755,225)		
Amount Attributable to Financing Activities		4,062,606	862,789	862,789	30,838,065	30,838,065		
Net Current Position - Surplus / (Deficit)	2	3,238,929	(6,146,094)	(6,146,094)	(0)	(0)	152.70%	9,385,023

City of Busselton
Statement of Financial Position
Year to Date As At 31 July 2023

	2023/24 YTD Actual	<i>unaudited</i> 2022/23 Actual
	\$	\$
Current Assets		
Cash & Cash Equivalents	17,121,534	21,032,276
Trade & Other Receivables - Current	2,222,319	3,750,221
Other Financial Assets	94,682,579	94,682,579
Inventories	1,272,715	1,272,715
Contract Assets	480,935	480,935
Other Assets	704,705	483,906
Non-Current Assets Held for Sale	0	0
Total Current Assets	116,484,787	121,702,632
Non Current Assets		
Other Receivables	665,831	678,793
Other Financial Assets	1,431,938	1,431,938
Property, Plant & Equipment	201,965,172	201,514,920
Infrastructure	649,372,485	651,595,672
Contract Assets	7,500,955	7,500,955
Right of Use Assets Furniture & Equipment	104,784	104,784
Total Non Current Assets	861,041,164	862,827,061
Total Assets	977,525,950	984,529,694
Current Liabilities		
Trade & Other Payables	6,526,505	8,873,525
Contract Liabilities	1,266,220	1,266,220
Grant Liabilities	984,500	984,500
Lease Liabilities	119,522	119,522
Borrowings	4,620,953	4,620,953
Employee Provisions	5,885,190	5,885,190
Other Provisions	0	0
Total Current Liabilities	19,402,891	21,749,911
Non Current Liabilities		
Sundry Payable	0	0
Contract Liabilities	9,242,516	9,205,220
Grant Liabilities	6,988,157	6,861,059
Lease Liabilities	70,746	70,746
Borrowings	43,521,154	43,621,201
Employee Provisions	577,890	577,890
Total Non Current Liabilities	60,400,464	60,336,116
Total Liabilities	79,803,354	82,086,027
Net Assets	897,722,596	902,443,667
Equity		
Retained Surplus	490,161,146	490,377,027
Reserves	73,632,991	78,138,181
Revaluation Surplus	333,928,459	333,928,459
Total Equity	897,722,596	902,443,667

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

Local Government Act 1995 requirements

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the City to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supporting information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the City controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

Judgements and estimates

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation of fair values of land and buildings, infrastructure and investment property
- estimation uncertainties made in relation to lease accounting
- estimated useful life of intangible assets

SIGNIFICANT ACCOUNTING POLICIES

Significant accounting policies utilised in the preparation of these statements are as described within the 2023-24 Annual Budget. Please refer to the adopted budget document for details of these policies.

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions YTD

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION

	Sub-Note	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Jul-23
Net current assets used in the Statement of Financial Activity				
Current assets		\$	\$	\$
Cash and cash equivalents		79,919,613	115,532,276	111,621,534
Trade and other receivables		2,523,748	2,734,377	2,222,319
Inventories		1,200,000	1,272,715	1,272,715
		83,643,361	119,539,369	115,116,568
Less: current liabilities				
Trade and other payables		3,765,648	3,765,648	2,221,161
Other liabilities		6,627,934	7,492,033	6,556,065
		10,393,582	11,257,681	8,777,225
Net current assets		73,249,779	108,281,688	106,339,342
Less: Total adjustments to net current assets	(c)	(73,249,779)	(106,327,097)	(103,100,413)
Closing funding surplus / (deficit)		0	1,954,590	3,238,929

(a) Non-cash amounts excluded from Net Current Position

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Jul-23
Non-cash amounts excluded from operating activities	\$	\$	\$
Adjustments to operating activities			
Less: Profit on asset disposals	(24,120)	(200,266)	(88,216)
Less: Movement in finance leases	0	(47,238)	0
Less: Movement in prepayments	0	(130,714)	(218,357)
Less: Fair value adjustments to financial assets at amortised cost	0	(6,450)	0
Less: Movement in pensioner deferred rates (non-current)	0	(49,608)	10,520
Less: Movement in employee benefit provisions (non-current)	0	(69,787)	0
Add: Loss on disposal of assets	205,278	65,445	0
Less: Right of Use Assets (Depreciation)	0	(237,950)	0
Add: Depreciation on non-current assets	25,541,373	26,623,193	2,286,854
Total non-cash amounts excluded from operating activities	25,722,531	25,946,624	1,990,801

(b) Non-cash amounts excluded from investing activities

The following non-cash revenue and expenditure has been excluded from investing activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

Adjustments to investing activities			
Infrastructure received for substantially less than fair value	(9,300,000)	(5,204,907)	0
Movement in current liabilities for transfers to acquire or construct non-financial assets to be controlled by the entity associated with restricted cash	(49,677)	2,037,309	377,706
Total non-cash amounts excluded from investing activities	(9,349,677)	(3,167,599)	377,706
Total non-cash amounts excluded from Net Current Position	16,372,854	22,779,026	2,368,507

(c) Current assets and liabilities excluded from budgeted deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Jul-23
Adjustments to net current assets	\$	\$	\$
Less: Reserves/ Restricted - cash backed	(79,877,713)	(113,819,130)	(109,656,478)
- Current portion of contract liability held in reserve	1,551,401	1,266,220	1,266,220
- Current portion of unspent capital grants held in reserve	984,500	984,500	984,500
- Current portion of performance bonds	4,092,033	4,092,033	4,305,345
Total adjustments to net current assets	(73,249,779)	(107,476,377)	(103,100,413)

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 3 Material Variance Explanations

	Actual YTD	Budget YTD	Variance YTD	Variance YTD	Change in Variance Current Month
	\$	\$	\$	%	\$
Amounts Attributable to Operating Activities	(2,378,994)	(4,314,772)	1,935,778	44.86%	1,935,778
Revenue from Operating Activities					
In total, revenue from Operating Activities is 32.64% or \$560K ahead of budget YTD. The material variance items contained within this category, on the face of the FAS, are explained below.					
1 Operating Grants, Subsidies and Contributions	324,858	165,737	159,121	96.01%	159,121
Community and Commercial Services	85,615	114,102	(28,487)	(24.97%)	(28,487)
1003 Cultural Precinct	5,629	50,376	(44,747)	(88.83%)	(44,747)
The variance is due to a timing delay with programming for Saltwater. The grant income has been received but not yet allocated to the project as the expenses have not yet been incurred.					
1005 Library Services	69,226	149	69,077	46397.52%	69,077
The positive variance in libraries is due to payment for the shared SW Library Consortia role being received ahead of the month in which they were budgeted.					
1007 Airport Operations	2,000	53,495	(51,495)	(96.26%)	(51,495)
Includes contributions from the surrounding LGs, including \$33k for the BMRA terminal business case and \$20k towards marketing, which are in the process of being invoiced.					
Planning and Development Services	176,000	64	175,936	275071.98%	175,936
1054/56 Emergency Management	176,000	-	176,000	100.00%	176,000
Variance is simply timing of the bushfire mitigation fund grant received versus budget spread.					
2 Fees & Charges	1,385,522	1,198,854	186,668	15.57%	186,668
Finance and Corporate Services	108,763	127,593	(18,830)	(14.76%)	(18,830)
1041 Land and Property Leasing	53,561	71,197	(17,636)	(24.77%)	(17,636)
The lease income for Lot 40 Vasse Highway for the whole of the 23/24 financial year was received in June, in advance. The budget for this has been allocated to July. The budget differential to actuals will rectify by the end of the financial year.					
Community and Commercial Services	875,812	773,696	102,116	13.20%	102,116
1007 Airport Operations	420,049	356,002	64,046	17.99%	64,046
Variance can be attributed mainly to June and July landing fees revenue received.					
1008 Economic and Business Development	87,034	61,361	25,673	41.84%	25,673
The Caravan park is tracking over budget due to higher occupancy of the cabins than expected for this time of the year.					
1011 Leisure Centres	348,874	337,253	11,621	3.45%	11,621
Revenue budget YTD totals exceeded for NCC facility, in areas of membership sales, hire and vacation care program.					
Planning and Development Services	275,678	193,180	82,498	42.71%	82,498
1046 Building Services	73,806	48,667	25,140	51.66%	25,140
Fees income is determined by the volume and construction costs of building activity. Fee income is budgeted on a best estimate basis, but is inherently uncertain. Building activity has continued at elevated levels.					
1048 Statutory Planning	90,584	48,358	42,226	87.32%	42,226
Fees income is determined by the volume and value of development activity. Fee income is budgeted on a best estimate basis, but is inherently uncertain. Development activity has continued at elevated levels.					
1051 Environmental Health Services	100,627	82,266	18,361	22.32%	18,361
Fee income varies over the months due to a combination of volume of services required, and bulk processing of many of the Health annual fees in May which results in increasing monthly payment of fees through June, July and into August.					
Engineering and Works Services	125,269	104,385	20,884	20.01%	20,884
1020 Engineering Technical Management	11,580	-	11,580	100.00%	11,580
The timing of the revenue received from sub-division supervision fees and review of traffic management plans, cannot be predicted with accuracy and is dependent on scheduling of works by external developers and contractors.					
1026 Waste Services	113,689	103,243	10,445	10.12%	10,445
Additional revenue from the Waste facilities attributed to an increase in Tipping fees, and the better than forecasted prices for scrap metal.					
3 Interest Earnings	413,295	336,362	76,933	22.87%	76,933
\$77K better than YTD budget due to higher than expected interest rates and cash on hand position earlier in the year, with the roll over of invested funds coming to fruition overlapping into the next financial year.					
Expenses from Operating Activities					
Expenditure from operating activities is \$1.2M, or 14.4%, less than expected when compared to the budget YTD. The expense line items on the face of the financial statement that have a YTD variance that meet the material reporting threshold are outlined below.					
4 Materials & Contracts	(944,432)	(2,360,048)	1,415,616	59.98%	1,415,616
Finance and Corporate Services	42,632	196,429	153,797	78.30%	153,797
1029 Governance Services	-	18,153	18,153	100.00%	18,153
Subscriptions and computer software license costs have been misallocated to an incorrect cost centre budget. Will be rectified in August.					

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 3 Material Variance Explanations

		Actual YTD	Budget YTD	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$
1034	General Purpose Funding	2,671	18,415	15,744	85.50%	15,744
The underspend variance is timing only, as invoices have not yet been received for consultancy work, legal fees for debt recovery services and the printing and postage costs for rates notices.						
1036	Information Technology	23,495	110,984	87,489	78.83%	87,489
The budget has been equally proportioned across the financial year, however, the significant IT projects that are expected to require consultancy have not yet started. Also, there has been delays in receiving and/or processing various software licensing renewals, including Tech1.						
Community and Commercial Services		135,249	290,555	155,306	53.45%	155,306
1003	Cultural Precinct	2,080	31,312	29,231	93.36%	29,231
The variance is due to a timing delay with programming expenses for Saltwater. We've pushed back the expenses related to the grant for the opening production.						
1005	Library Services	2,680	30,543	27,863	91.22%	27,863
The underspend in the libraries budget YTD date is due to the finalisation of procurement waivers. Orders are now in place with all suppliers.						
1007	Airport Operations	52,642	69,522	16,880	24.28%	16,880
Activities falling under Security costs, Airport Maintenance, Inspections, Contractors and purchase of materials have started and commitments have been raised, works have either not been fully completed or invoiced.						
1008	Economic & Business Development	17,235	57,393	40,158	69.97%	40,158
Variance is due to the delayed invoicing for the contracted management services of the Jetty Tourist Park.						
1009/1010	Recreation & Community Development	3,495	47,564	44,069	92.65%	44,069
July is underspent due to 11128 Life Saving Services phased evenly across the year and Consultancy spend not yet fully incurred.						
1011	Leisure Centres	54,808	41,980	(12,828)	(30.56%)	(12,828)
Actuals have exceeded YTD forecast due to unplanned maintenance work required to fix the indoor pool liner and invoicing of the Geothermal license fee occurring earlier than expected.						
Engineering and Works Services		603,212	1,708,869	1,105,657	64.70%	1,105,657
1014	Engineering and Works Directorate	83	37,221	37,138	99.78%	37,138
This is a timing variance only as works have not commenced and or been invoiced.						
1016	Construction and Maintenance	43,404	154,521	111,117	71.91%	111,117
Activities to date have been largely focused on low external cost winter maintenance activities, including road grading, seal repairs and storm damage prevention and reinstatement. This is consistent with lower YTD costs at this time of year compared to YTD budget. Expenditure is on track and as expected in relation to the full year budget.						
1017	Parks & Gardens	85,519	341,560	256,041	74.96%	256,041
Activities to date have been largely focused on low external cost winter maintenance activities. This is consistent with lower YTD costs at this time of year compared to YTD budget. Expenditure is on track and as expected in relation to the full year budget.						
1019	Facilities Maintenance	63,832	334,890	271,058	80.94%	271,058
This is a timing issue only, expenditure will increase as the tourist season approaches at that point the variance is expected to reduce. Also, \$134k of the Budget YTD figure can be directly attributed to the Busselton Jetty operating code – in previous years this budget fell within a capital account. Nonetheless, it is expected that all funds will be expended this FY.						
1020	Engineering Technical Management	40,563	386,528	345,965	89.51%	345,965
This variance can be attributed to timing of procurement as a majority of these projects will be outsourced.						
1025	Fleet Management	215,756	192,261	(23,495)	(12.22%)	(23,495)
The overspend in July is due to fuel costs being higher than planned.						
1024/1026	Waste Services	151,212	237,065	85,853	36.22%	85,853
This underspend is due to works that have not been completed, or they have not been invoiced.						
5	Other Expenditure	(201,806)	(257,914)	56,108	21.75%	56,108
Finance and Corporate Services		6,926	56,165	49,239	87.67%	49,239
1029	Governance Services	-	37,391	37,391	100.00%	37,391
Members of Council July expenses have been misallocated to an incorrect cost centre budget. Will be rectified in August.						
1031	Public Relations and Community Engagement	-	8,125	8,125	100.00%	8,125
July expenses of \$5005 have been misallocated to an incorrect cost centre budget. Will be rectified in August.						
Community and Commercial Services		169,360	187,168	17,808	9.51%	17,808
1004	Events	159,004	114,566	(44,438)	(38.79%)	(44,438)
The variance is due to a milestone payment relating to the CinefestOZ agreement being paid in July, rather than August as anticipated.						
1008	Economic & Business Development	258	40,037	39,779	99.36%	39,779
Variance is due to the delayed invoicing by MRBTA for visitor servicing.						
1009/1010	Recreation & Community Development	4,319	18,337	14,017	76.45%	14,017
The underspend variance is attributed to the budget being evenly distributed across the FY, however the actuals for the Community Assistance Program acquittals are sporadic and difficult to predict.						

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 3 Material Variance Explanations

		Actual YTD	Budget YTD	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$
Engineering and Works Services		19,354	6,363	(12,991)	(204.17%)	(12,991)
1024/1026	Waste Management	17,441	5,758	(11,683)	(202.90%)	(11,683)
Variance caused by transactions for water reimbursements invoices for the period between Mar. and June, that were not received and paid until July.						
Amounts Attributable to Investing Activities		(399,272)	(4,648,701)	4,249,429	91.41%	4,249,429
YTD there is an underspend variance of 86.9%, or \$4.1M, in total capital expenditure, with YTD actual at \$4.7M against the YTD budget of \$613K. A portion of this positive underspend variance is offset by the negative variances in Non-Operating Grants, Contributions & Subsidies, with the remainder offset by the negative variances in Transfers From Reserves and Restricted Assets related to funds held aside for these projects. The attachments to this report include detailed listings of all capital expenditure (project) items, however the main areas of YTD variance are summarised as follows:						
6	Land & Buildings	(983,695)	(3,274,029)	2,290,333	69.95%	2,290,333
15073	Strategic Land Purchases	-	1,093,231	1,093,231	100.00%	1,093,231
The strategic land purchase is currently under negotiation and the expenditure is subject to an agreement being reached. Presently it is unclear if and when any agreement may occur.						
Various	BPACC (Saltwater)	846,568	1,901,608	1,055,039	55.48%	1,055,039
This variance is due to smaller than anticipated progress claims submitted by the contractor.						
10589	Airport Construction, Existing Terminal Upgrade(C)	(5,310)	103,847	109,157	105.11%	109,157
This is the remaining terminal operational improvements for which the total budget has been budgeted in the first month. These should actually be complete by Oct/Nov.						
10787	Geographe Leisure Centre Upgrade(C)	-	47,289	47,289	100.00%	47,289
The YTD underspend is due to the procurement process taking longer than anticipated due to contractor availability.						
10788	Geographe Leisure Centre Improvements(C)	165,108	-	(165,108)	100.00%	(165,108)
The overspend is due to invoicing related to the 22/23 year budgeted works not being processed until July. This was accrued into the 22/23 financial year but a technical issue prevented the reversal offsetting the actual invoice in July. This will disappear in August once the accrual reversal is activated.						
12331	Smiths Beach New Public Toilet(C)	-	20,833	20,833	100.00%	20,833
This variance is due to timing of works – planning and procurement has taken longer than anticipated.						
12428	Re-use shop Busselton Transfer Station(C)	-	21,051	21,051	100.00%	21,051
Reuse Shop is currently still in the development phase, which has taken longer than expected.						
12795	Busselton Depot CCTV & Electronic Gate(C)	(19,671)	-	19,671	-	19,671
The CCTV installation has been completed, whilst works on the electronic gate are ongoing. As such the invoice that was expected to come in to offset the accrual reversal has not yet been received.						
12940	Depot Building-Busselton(C)	-	22,500	22,500	100.00%	22,500
This is a timing issue – the budget has been evenly spread across the year (\$270,000/12=\$22,500) – the actual timing of the works is scheduled for December/January, depending on contractor availability.						
14942	Lions Park Shopping Centre Toilets (C)	-	20,833	20,833	100.00%	20,833
City officers have been given direction from council to re-negotiate terms with the Strata company. Therefore works have not been able to progress as planned.						
7	Furniture & Office Equipment	(2,311)	(176,621)	174,310	98.69%	174,310
12781	BPACC - Loose Furniture & Fittings(C)	-	28,569	28,569	100.00%	28,569
The budget for BPACC loose furniture and fittings was spread across the year ahead of a procurement plan, which is now in development. It is unlikely procurement will commence prior to October 2023.						
12876	ICT Services - Equipment & Software Purchases(C)	-	80,458	80,458	100.00%	80,458
The significant items that will comprise much of the allocated capital budget will be procured between November 2023 and June 2024 to coincide with the related implementation projects.						
12878	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	-	20,000	20,000	100.00%	20,000
Carryover of capital budget, most likely to be expensed by mid-year dependant on supply availability.						
14730	Geographe Leisure Centre Fitness Equipment(C)	-	18,160	18,160	100.00%	18,160
Carryover of capital budget, most likely be expensed by mid-year.						
8	Infrastructure	372,774	(1,203,508)	1,576,283	130.97%	1,576,283
Various	Roads	(380,165)	603,439	983,604	163.00%	983,604
Negative expenditure reflects late invoicing for works completed in June on Bussell Highway project. Progress is on track with Bussell Highway continuing and several asphalt overlay projects within the Busselton LIA commencing during July.						
Various	Car Parks	7,942	120,184	112,242	93.39%	112,242

CITY OF BUSSELTON
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JULY 2023

Note 3 Material Variance Explanations

		Actual YTD	Budget YTD	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$
The budget timing reflects an even spread of expenditure across the financial year, with the exception of Carpark Hotel Site 2, which has the budget spread over July and August. As a result there are some budget timing variances within this item, with Carpark Hotel Site 2 comprising \$88k of the variance. Carpark Hotel Site 2 is progressing well and in conjunction with the private contractors build of the Hilton hotel.						
Various	Footpaths & Cycleways	281	193,449	193,168	99.85%	193,168
Budget timing for most projects within this item reflect an even spread of expenditure across the financial year, which will be reviewed and adjusted. \$70k of the variance is associated with the Coastal Principled Shared Path budget which has been delayed due to weather - expenditure will be during October rather than July.						
Various	Parks, Gardens & Reserves	(949)	223,668	224,617	100.42%	224,617
Budget timing for most projects within this item reflect an even spread of expenditure across the financial year, which will be reviewed and adjusted. Negative expenditure is as a result of accrued costs against Possum Park Barnard East Upgrade – invoice was approved for payment in August.						
Various	Drainage	117	62,353	62,236	99.81%	62,236
Budget timing does not reflect construction schedule for projects within this item, this will be reviewed and adjusted.						
Other material variances within the Investing Activities section of the Statement of Financial Activity include:						
9	Proceeds from Sale of Assets	187,530	800	186,730	23341.22%	186,730
Amount over budget for July due to the delayed sale of assets from last financial year, resulting in the proceeds from the auction have been received in July, instead of June.						
Amounts Attributable to Financing Activities		4,062,606	862,789	3,199,817	370.87%	3,199,817
10	Transfer to Restricted Assets	(748,094)	(11,180)	(736,914)	(6591.36%)	(736,914)
There is a YTD variance in transfers to Restricted Assets because there is no budget at all for this item. The transfers are not possible to predict, and are fully reconciled only at year end.						
At the time of budgeting it is not possible to predict what grants, contributions or developer bonds will be received, and in what timeframe, nor when they will be spent and hence potentially transferred to Restricted Assets (or unspent portions thereof).						
Transfers to restricted assets are offset by the incoming receipt, be it a grant, contribution, subsidy or even loan proceeds, so the net impact on the Net Current Position is always nil (once full reconciliation has occurred at year end).						
YTD, \$127K in various government grants were restricted, as well as \$182K in Roadwork Bonds, \$44K in BJTP deposits, \$13K in developer contributions and \$382K in various other deposits and bonds.						
11	Transfer from Restricted Assets	405,556	1,713,590	(1,308,034)	(76.33%)	(1,308,034)
The transfers are usually not possible to predict, and are fully reconciled only at year end. The transfers YTD are attributable to \$16K of BJTP deposits utilised or returned, and \$390K of various other bonds and deposits returned or utilised.						
12	Transfer to Reserves	(10,922,325)	(14,829,196)	3,906,871	26.35%	3,906,871
A lower amount was transferred to reserves in July because of operational cashflow requirements. This is usual for the first month of the new financial year, as rates are not issued until late July/early August. There will be a catch up to budgeted transfers in August.						

City of Busselton Capital Acquisitions & Construction Report For Period Ending July 2023						
Project	Project Description	2023/24	2023/24	2023/24	2023/24	2023/24
		Actual	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
Land						
15073	Strategic Land Purchases	-	1,093,231	1,093,231	3,400,000	3,400,000
12847	Strategic Land Purchases				500,000	500,000
		-	1,093,231	1,093,231	3,900,000	3,900,000
Buildings						
Aged Housing						
12231	Aged Housing Capital Improvements - Harris Road(C)	-	-	-	22,000	22,000
12233	Aged Housing Capital Improvements - Winderlup(C)	-	-	-	40,000	40,000
12234	Aged Housing Capital Improvements - Winderlup Court (City(C)		6,170	6,170	49,000	49,000
		-	6,170	6,170	111,000	111,000
Saltwater						
12471	BPACC - Construction(C)	749,804	1,520,051	1,520,051	18,240,616	18,240,616
12652	BPACC - Design of Structure / Professional Fees(C)	27,795	17,724	17,724	212,690	212,690
12779	BPACC - Contingency (C)	68,969	351,943	351,943	2,111,657	2,111,657
12782	BPACC - Utility Costs (C)	-	11,889	11,889	142,670	142,670
		846,568	1,901,608	1,901,608	20,707,633	20,707,633
10016	Civic and Administration Centre Minor Upgrades(C)	-	-	-	35,000	35,000
10025	Weld Theatre(C)	-	-	-	250,000	250,000
10585	BMRA Hangars(C)	-	-	-	303,790	303,790
10589	Airport Construction, Existing Terminal Upgrade(C)	(5,310)	103,847	103,847	103,847	103,847
10642	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	1,189	-	-	1,620,434	1,620,434
10787	Geographe Leisure Centre Upgrade(C)	-	47,289	47,289	567,464	567,464
10788	GLC Building Improvements(C)	165,108	-	-	-	-
12331	Smiths Beach New Public Toilet(C)	-	20,833	20,833	250,000	250,000
12428	Re-use shop Busselton Transfer Station(C)	-	21,051	21,051	275,000	275,000
12440	Energy Efficiency Initiatives (Various Buildings) (C)	-	6,514	6,514	78,166	78,166
12550	Busselton Works Depot - Toilets and Sewer(C)	311	-	-	-	-
12795	Busselton Depot CCTV & Electronic Gate(C)	(19,671)	-	-	16,259	16,259
12796	Depot Training Room (C)	-	6,250	6,250	75,000	75,000
12798	High Street Hall (C)	-	875	875	10,500	10,500
12800	Old Courthouse and Jail Cells (C)	-	8,571	8,571	102,853	102,853
12804	Airport Terminal Building(C)	-	2,373	2,373	28,481	28,481
12868	Busselton Jetty Tourist Park - Cabin Replacement/Upgrade (C)	-	-	-	540,000	540,000
12869	Busselton Jetty Tourist Park - Renewal Works Park 1 Ablut(C)	(4,500)	-	-	-	-
12939	Administration Building- 2-16 Southern Drive(C)	-	3,750	3,750	45,000	45,000
12940	Depot Building-Busselton((C)	-	22,500	22,500	270,000	270,000
14942	Lions Park Shopping Centre Toilets (C)	-	20,833	20,833	250,000	250,000
14943	Changing Places Accessable Ablutions (C)	-	8,333	8,333	100,000	100,000
15067	Commonage Fire Facility (C)	-	-	-	40,000	40,000
15074	Vasse Toilet (C)	-	-	-	125,000	125,000
15077	Lunch / Meeting Room for Transfer Station(C)	-	-	-	50,000	50,000
15087	Mosquito Management Facility (C)	-	-	-	120,899	120,899
		983,695	2,180,798	2,180,798	26,076,325	26,076,325
		983,695	3,274,029	3,274,029	29,976,325	29,976,325
Plant and Equipment						
10700	Dunsborough Cemetery(C)	-	1,773	1,773	21,276	21,276
12870	Busselton Jetty Tourist Park- Replace Holden Colorado 4x4(C)	-	-	-	35,000	35,000
12872	Busselton Jetty Tourist Park - Battery Powered Mule (C)	-	-	-	35,000	35,000
12881	HINO FD1024 Beavertail Truck (Turf) (C)	-	-	-	100,000	100,000
12882	Isuzu NPR65-190 Single Cab (Turf) (C)	-	-	-	100,000	100,000
12884	KUBOTA F3690 OUTFRONT MOWER (C)	-	-	-	29,200	29,200
12885	KUBOTA F3690 OUTFRONT MOWER (C)	-	-	-	29,200	29,200
12886	Brush / Tree Chipper (C)	-	-	-	100,000	100,000
12887	Plant Purchases (P11) - Redexim Easyspread 1600 Sand Spre(C)	-	20,000	20,000	20,000	20,000
12888	HINO FS2848 Tipper Truck (C&M) (C)	-	-	-	230,000	230,000
12890	Caterpillar CS56 Roller (C&M) (C)	-	-	-	180,000	180,000
12892	ISUZU FVZ1400 Tipper Truck (C&M) (C)	-	-	-	230,000	230,000
12894	Nissan Xtrail ST-L 2WD (Strategic Planning Coord) (C)	-	-	-	35,000	35,000
12895	NISSAN X-TRAIL ST-L 2WD SUV (ASSET MGMT COORD) (C)	-	-	-	35,000	35,000
12896	Facilities Operational Ute(C)	-	-	-	42,000	42,000
12897	ISUZU D-MAX SX 4X2 SINGLE CAB UTILITY (IRRIGATION) (C)	-	-	-	42,000	42,000
12898	MITSUBISHI TRITON 4X2 SINGLE CAB UTE (P&G) (C)	-	-	-	42,000	42,000
12899	Construction & Maintenance Ute (C)	-	-	-	42,000	42,000
12900	TOYOTA HILUX DUAL CAB 4X4 (CONST SUPERVISOR) (C)	-	-	-	45,000	45,000
12901	TOYOTA HILUX DUAL CAB 4X4 (MTCE SUPERVISOR) (C)	-	-	-	45,000	45,000
12902	Manager Governance & Corp Services Vehicle (C)	-	-	-	40,000	40,000
12904	Plant Purchases (P11) - Minor Plant (P&G) (C)	-	-	-	15,000	15,000
12906	Plant Purchases (P12) - Minor Plant (C&M) (C)	-	-	-	20,000	20,000
12908	Program 12 - Minor Plant (Workshop) (C)	-	-	-	10,000	10,000
12911	VOLVO FE320 WASTE TRUCK (C)	-	-	-	459,660	459,660

City of Busselton Capital Acquisitions & Construction Report For Period Ending July 2023						
Project	Project Description	2023/24	2023/24	2023/24	2023/24	2023/24
		Actual	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
12914	Minor Plant - Program 10 (C)	-	-	-	10,000	10,000
12932	Airport Operations - Replacement Toro Groundmaster 7200 M(C)	-	-	-	30,000	30,000
12948	TOYOTA HILUX SR 4X4 DUAL CAB UTILITY (BMO) (C)	-	-	-	45,000	45,000
14744	MITSUBISHI PAJERO GLX 4X4 (MGR REG SERV) (C)	-	-	-	41,500	41,500
14818	Wheeled 20t excavator Inc. Accessories(C)	-	-	-	485,000	485,000
14819	Positrak (Cat 299) with Accessories (C)	-	-	-	250,000	250,000
14820	Trailer for Towing Positrak & Traffic Lights(C)	-	-	-	40,000	40,000
14821	Trailer Traffic Lights x 2 (and Sign Cones)(C)	-	-	-	45,000	45,000
14823	VOLVO FE320 WASTE TRUCK (C)	-	-	-	473,545	473,545
14842	HINO CREW CAB TIPPER TRUCK (C)	-	-	-	100,540	100,540
14946	PERUZZO BULL SLASHER (C)	-	-	-	60,000	60,000
14949	KUBOTA MULE (C)	-	-	-	15,000	15,000
14951	1500L SELF BUNDED DIESEL FUEL TANK (C)	-	-	-	15,000	15,000
14954	MITSUBISHI TRITON 4x2 SINGLE CAB (C)	-	-	-	35,000	35,000
14960	VOLVO FE320 WASTE TRUCK (C)	-	-	-	480,000	480,000
14962	WATER TANK FOR DUST SUPPRESSION (C)	-	-	-	25,000	25,000
14966	DIESEL TANK DWF (C)	-	-	-	50,000	50,000
14968	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14970	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14972	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14974	HOOKLIFT BIN (C)	-	-	-	18,000	18,000
14976	HOOKLIFT BIN (C)	-	-	-	18,000	18,000
14978	ABLE GL3013 GENERATOR (C)	-	-	-	50,000	50,000
14980	WASTE COORDINATOR VEHICLE (C)	-	-	-	35,000	35,000
14982	TOYOTA HILUX 4x2 SINGLE CAB (C)	-	-	-	36,000	36,000
14984	ISUZU D-MAX 4x4 DUAL CAB (C)	-	-	-	40,000	40,000
14986	HOLDEN COLORADO 4x4 DUAL CAB (C)	-	-	-	36,000	36,000
15004	HUSQVARNA RC318T RIDE ON MOWER (C)	-	-	-	18,000	18,000
15006	HINO 917 CREW CAB (C&M) (C)	-	-	-	100,000	100,000
15008	ISUZU NPR400 CREW CAB (C&M) (C)	-	-	-	100,000	100,000
15013	HINO GH1728 AUTO TRUCK (C&M) (C)	-	-	-	400,000	400,000
15016	HINO GF1628 REAR TIPPING TRUCK (P&G) (C)	-	-	-	150,000	150,000
15018	TORO 4010D GROUNDMASTER MOWER (P&G) (C)	-	-	-	150,000	150,000
15023	ISUZU DMAX 4X2 SINGLE CAB (P&G) FORESHORE IRRIGATION (C)	-	-	-	42,000	42,000
15025	TOYOTA HILUX 4X4 EXTRA CAB UTILITY (IRRIGATION) (C)	-	-	-	45,000	45,000
15028	FORD RANGER 4X4 DUAL CAB UTE (CESM) (C)	-	-	-	55,000	55,000
15032	SUBARU OUTBACK 2.5i PREMIUM WAGON (C)	-	-	-	35,000	35,000
15034	SUBARU OUTBACK AWD WAGON (RANGERS CO-ORDINATOR) (C)	-	-	-	35,000	35,000
15036	SUBARU OUTBACK 2.5i AWD PREMIUM (MGR CULTURE & EVENTS) (C)	-	-	-	40,000	40,000
15038	MAZDA CX9 FWD SUV (Director CCS) (C)	-	-	-	50,000	50,000
15040	SUBARU OUTBACK AWD (Director PDS) (C)	-	-	-	50,000	50,000
15042	Nissan X-Trail Ti 4x4 SUV (Mgr Fin Serv) (C)	-	-	-	40,000	40,000
15045	Toyota Fortuner GX 4x4 SUV (Mgr Eng Tech Srv) (C)	-	-	-	40,000	40,000
15048	SUBARU FORESTER 2.5i-S AWD (MGR DEV SERV) (C)	-	-	-	40,000	40,000
15050	NISSAN X TRAIL STL 4X4 SUV (LIESURE CENTRES COORD) (C)	-	-	-	35,000	35,000
15052	MITSUBISHI OUTLANDER LS AWD (HR COORD) (C)	-	-	-	35,000	35,000
15078	HAZMET and Dangerous Goods Storage(C)	-	-	-	108,500	108,500
15083	New Airport Manager Vehicle (C)	-	-	-	40,000	40,000
		-	21,773	21,773	6,078,421	6,078,421
Furniture and Equipment						
10965	P&E - P&G Smart Technologies(C)	-	6,250	6,250	75,000	75,000
12781	BPACC - Loose Furniture & Fittings (C)	-	28,569	28,569	228,551	228,551
12783	BPACC - IT Hardware & Software (C)	2,844	5,938	5,938	71,250	71,250
12876	ICT Services - Equipment & Software Purchases(C)	-	80,458	80,458	965,497	965,497
12878	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	-	20,000	20,000	20,000	20,000
12937	Community Resource Centre(C)	2,067	-	-	-	-
14729	Events Furniture & Equipment(C)	-	5,138	5,138	5,138	5,138
14730	Geographe Leisure Centre Fitness Equipment(C)	-	18,160	18,160	18,160	18,160
14731	Cultural Planning Furniture & Equipment(C)	-	9,500	9,500	9,500	9,500
14927	Dunsborough Depot(C)	-	1,775	1,775	21,300	21,300
14939	Ice Machine (C)	-	833	833	10,000	10,000
15059	Sculpture By The Bay (C)	-	-	-	12,000	12,000
15063	NCC - Les Mills Pump Rack (C)	-	-	-	8,000	8,000
15064	GLC Cafe Double Fridge (C)	-	-	-	20,000	20,000
15065	Differential GPS (C)	-	-	-	20,000	20,000
15082	Administration Building Furniture& Equipment C)	-	-	-	15,000	15,000
15088	Busselton Depot Building Furniture & Equipment (C)	(2,600)	-	-	10,813	10,813
		2,311	176,621	176,621	1,510,209	1,510,209
Roads Infrastructure						
11150	Causeway Road - Molloy Street Intersection(C)	223	-	-	-	-
11153	Inlet Drive Spray Seal(C)	148	-	-	-	-
11193	Wilyabrup Road Resheet(C)	-	-	-	80,643	80,643

City of Busselton Capital Acquisitions & Construction Report For Period Ending July 2023						
Project	Project Description	2023/24	2023/24	2023/24	2023/24	2023/24
		Actual	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
11199	Bussell Highway(C)	(400,311)	169,559	169,559	2,034,712	2,034,712
11987	Caves Road - Median Crossing(C)	-	-	-	17,043	17,043
11991	Commonage & Hayes Road intersection Safety works(C)	226	-	-	-	-
11997	Gifford Road Reconstruction(C)	1,057	-	-	-	-
12005	Payne Road(C)	-	73,172	73,172	878,066	878,066
12573	Abbey's Farm Road(C)	282	-	-	-	-
12609	Geographe Bay Road - Gifford Road to Elmore Road(C)	9,181	-	-	-	-
12611	North Jindong Road(C)	-	34,050	34,050	792,600	792,600
12643	Vasse Yallingup Siding Road(C)	80	-	-	-	-
12645	Marine Terrace(C)	842	-	-	-	-
12678	Rendezvous Road Reseal & Rut Correction(C)	274	-	-	-	-
12824	Acton Park Road(C)	578	-	-	-	-
12827	Commonage Road(C)	-	48,125	48,125	769,500	769,500
12835	Ludlow-Hithergreen Road(C)	275	-	-	-	-
12841	Strelly Street (C)	6,144	-	-	-	-
12842	Nuttman Road (C)	-	-	-	54,724	54,724
12851	Bussell Highway(C)	104	-	-	-	-
14817	Road Access Seal - Busselton Animal care facility(C)	-	-	-	49,766	49,766
14850	Cook Street - Asphalt Overlay SLK 0.39 to 1.25 (C)	209	23,780	23,780	351,574	351,574
14851	Strelly Street - Rehabilitation SLK 0.05 to 1.2 (C)	-	60,000	60,000	720,000	720,000
14852	North Jindong Road - Prelims and Land Acq SLK 0 to 0 (C)	-	1,000	1,000	12,000	12,000
14853	Jalbarragup Road - Reseal SLK 0 to 10.75 (C)	-	50,000	50,000	600,000	600,000
14854	Boallia Road - Recon and Widening SLK 1.5 to 2.3 (C)	-	35,762	35,762	553,832	553,832
14855	Vasse Yallingup Siding Road - Design only SLK 0 to 0 (C)	-	1,375	1,375	16,500	16,500
14856	Peron Avenue - Asphalt Overlay SLK 0.17 to 0.76 (C)	-	37,503	37,503	450,030	450,030
14857	West Street - Rehabilitation SLK 1.02 to 1.15 (C)	-	15,083	15,083	181,000	181,000
14858	Artisan Street - Asphalt Overlay SLK 0.02 to 0.16 (C)	261	3,122	3,122	46,152	46,152
14859	Kershaw Street - Asphalt Overlay SLK 0 to 0.25 (C)	157	4,685	4,685	69,271	69,271
14860	Thornbill Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	1,722	1,722	20,662	20,662
14861	Grevillea Cove - Asphalt Overlay SLK 0 to 0.08 (C)	-	1,854	1,854	22,243	22,243
14862	Baudin Street - Asphalt Overlay SLK 0 to 0.1 (C)	-	7,928	7,928	95,132	95,132
14863	Cormorant Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	1,968	1,968	23,616	23,616
14864	Sugarloaf Road - Second Coat Seal SLK 0 to 0 (C)	-	4,295	4,295	66,521	66,521
14865	Yallingup Beach Road - Reseal SLK 0 to 0.19 (C)	104	2,396	2,396	30,698	30,698
14866	Old Vasse Highway - Reseal SLK 0 to 1.83 (C)	-	1,099	1,099	13,535	13,535
14867	McDonald Road - Unsealed Resheet SLK 0.02 to 0.88 (C)	-	3,786	3,786	60,534	60,534
14868	Chambers Road - Unsealed Resheet SLK 2.1 to 4.26 (C)	-	9,497	9,497	151,848	151,848
14869	Silverwood Road - Unsealed Resheet SLK 0.01 to 1.3 (C)	-	5,711	5,711	91,314	91,314
14870	Downs Road - Unsealed Resheet SLK 2.0 to 3.35 (C)	-	5,968	5,968	95,418	95,418
15085	Jalbarragup Road New Shoulders (C)	-	-	-	1,744,420	1,744,420
		(380,165)	603,439	603,439	10,093,354	10,093,354
<u>Car Parks Infrastructure</u>						
14815	Carpark Hotel Site 2(C)	7,942	96,273	96,273	192,546	192,546
14873	Forrest Beach Horse Float Carparking Area(C)	-	12,556	12,556	194,446	194,446
14874	Disabled Parking Bays BussForeshore (Old ennisCourt)(C)	-	833	833	10,000	10,000
14875	Eagle Bay Boat Ramp Parking off Fern Road(C)	-	2,500	2,500	30,000	30,000
14876	Eagle Crescent on road parking - Eagle Bay(C)	-	3,083	3,083	37,000	37,000
14877	Rotary Park Stage 1 - Design, permits and clearing(C)	-	1,667	1,667	20,000	20,000
14878	Senior Citizens Universal Access Parking(C)	-	3,271	3,271	57,893	57,893
		7,942	120,184	120,184	541,885	541,885
<u>Footpaths Infrastructure</u>						
10741	Busselton CBD Footpath Renewal(C)	-	-	-	54,585	54,585
10903	DAIP - Disability Access(C)	-	2,500	2,500	30,000	30,000
11986	Causeway Road Shared Path(C)	281	-	-	-	-
12816	Coastal Principled Shares Path (C)	-	70,488	70,488	70,488	70,488
14814	Townscape Works Busselton(C)	-	-	-	100,000	100,000
14887	Coastal Shared Path - Forth St to Holgate(C)	-	38,333	38,333	460,000	460,000
14888	Bay View Street - Bussell Hwy to Dorset Street(C)	-	7,893	7,893	126,198	126,198
14889	Queen St - Queen St & Prince St Roundabout Zebra Cross(C)	-	1,333	1,333	16,000	16,000
14890	Carey St - Kent Street and Harris to Peel(C)	-	7,123	7,123	113,886	113,886
14891	Adelaide Street - Lot 11 to Stanley St(C)	-	3,529	3,529	56,430	56,430
14892	Peron Avenue - Chester Way to Pimlea Parade(C)	-	12,250	12,250	147,000	147,000
14893	Bay View Crescent - Curtis Bay Lot 62 to Lot 4(C)	-	4,583	4,583	55,000	55,000
14894	Telstra Park - Lot 4 Naturaliste Terrace(C)	-	1,667	1,667	20,000	20,000
14895	Vincent Street to Geographe Bay Road (Reserve 44343)(C)	-	33,333	33,333	400,000	400,000
14896	Dunsborough Lakes Drive - Caves Road(C)	-	1,250	1,250	15,000	15,000
14897	Naturaliste Terrace Footbridge Renewal #6017 Lot 254(C)	-	9,167	9,167	110,000	110,000
14905	GLC Footpath NIB (C)	-	-	-	20,000	20,000
15071	Upgrade Wagin Gardens Footpath Access (C)	-	-	-	20,000	20,000
15072	Upgrade Harris Rd POS Access (C)	-	-	-	10,000	10,000
		281	193,449	193,449	1,824,587	1,824,587
Parks, Gardens and Reserves						

City of Busselton Capital Acquisitions & Construction Report For Period Ending July 2023					
Project	Project Description	2023/24	2023/24	2023/24	2023/24
		Actual	Amended Budget YTD	Original Budget YTD	Amended Budget YTD
		\$	\$	\$	\$
10613	Meelup Coastal Parking & Landscaping(C)	-	-	-	178,238
10688	Depot Washdown Facility Upgrades(C)	-	-	-	76,700
10765	Foreshore Busselton - High Street to Carey Street(C)	-	4,167	4,167	50,000
10766	Foreshore Yallingup Capital(C)	-	1,667	1,667	20,000
10767	Port Geographe General Improvements/ Foreshore(C)	182	-	-	-
10831	Rotary Park / War Memorial Relocation(C)	1,558	-	-	525,000
10951	Mitchell Park Upgrade(C)	-	-	-	37,000
10952	Possum Park Barnard East Upgrade(C)	(7,175)	-	-	30,000
10953	Youth Skate Park(C)	-	1,667	1,667	20,000
10963	Minor Capital Improvements, Fencing, Seating, Lighting et(C)	-	3,333	3,333	40,000
10966	Provence SAR Area General Improvements to the Area(C)	-	13,333	13,333	160,000
10967	New Shade Sails – multiple locations (C)	-	22,097	22,097	265,165
10969	Vasse SAR Area General Improvements to the Area(C)	-	5,833	5,833	70,000
11024	Pioneer Cemetery - Implement Conservation Plan(C)	221	1,773	1,773	21,276
11035	Park Furniture Renewals - Replace aged & unsafe Equip(C)	-	4,583	4,583	55,000
12251	Cricket Wicket Renewal(C)	-	-	-	30,000
12254	Busselton Tennis Club - Infrastructure(C)	-	1,914	1,914	46,000
12267	Busselton Townscape Street Furniture Renewals (C)	-	3,333	3,333	40,000
12333	Townscape Works Dunsborough(C)	221	-	-	-
12382	Rails to Trails - Continuation of Implementation Plan(C)	550	8,750	8,750	105,000
12407	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	-	-	-	730,000
12421	City Lined Landfill Stage 2 - Preliminary Works(C)	-	-	-	80,000
12425	Busselton Landfill Post-closure Capping, Rehab & Remediat(C)	-	-	-	2,000,000
12511	Dunsborough - BMX / Skatebowl(C)	-	833	833	10,000
12528	Dunsborough Town Centre/ Foreshore(C)	-	2,500	2,500	30,000
12780	BPACC - Landscaping (C)	-	-	-	500,000
12821	Churchill Park - Main Oval Renewal (C)	-	45,833	45,833	550,000
12846	Mitchell Park Landscape Upgrade Stage 2(C)	-	-	-	150,000
12849	Sport Oval Lighting - Vasse Ovals(C)	3,080	-	-	116,731
12850	Dunsborough Lakes Sporting Precinct (Stage 1) - Planning (C)	-	25,000	25,000	150,000
14811	RBFS Old Dunsborough Boat Ramp Scour Protection (C)	-	-	-	33,240
14816	Carpark Hotel Site 2 Land Scaping(C)	414	-	-	-
14900	Metricup Cemetery - Paths & Ashes iternment(C)	-	833	833	10,000
14901	Port Geographe POS Retaining Wall Renewals(C)	-	4,417	4,417	53,000
14903	Centennial Park Irrigation renewal(C)	-	10,417	10,417	125,000
14904	Beach Shower/Water Fountain Ren Busselton Foreshore(C)	-	1,667	1,667	20,000
14906	Dunsborough Oval Skatepark Lighting Renewal(C)	-	5,833	5,833	70,000
14907	Busselton Foreshore - Annual Renewals (C)	-	4,167	4,167	50,000
14908	Dunsborough Town Centre & Foreshore - Annual Renewals (C)	-	2,500	2,500	30,000
14909	Lou Weston Basketball System upgrades (C)	-	2,667	2,667	32,000
14910	Seymour Park - Replacement of Decking(C)	-	4,217	4,217	50,600
14911	Jarraahwood Playground Equipment Renewal(C)	-	2,167	2,167	26,000
14912	Newtown Oval New Playground Equipment(C)	-	1,250	1,250	15,000
14913	Heron Place - New New Playground Equipment(C)	-	833	833	10,000
14914	Lou Weston Playground Equipment Renewal(C)	-	5,000	5,000	60,000
14915	Busselton Foreshore disability carousel renewal(C)	-	3,750	3,750	45,000
14916	Dunsborough Foreshore disability carousel renewal(C)	-	3,750	3,750	45,000
14917	Meelup Regional Park - Capital Projects(C)	-	14,833	14,833	178,000
14918	BBQ Placement and Replacement(C)	-	2,500	2,500	30,000
14919	Beach Access stairs (C)	-	4,583	4,583	55,000
14944	Busselton Works Depot Parks & Gardens Product Bays(C)	-	1,667	1,667	20,000
		(949)	223,668	223,668	7,043,950
Drainage Infrastructure					
10692	Carey Street Drainage Upgrade(C)	(84)	-	-	-
12815	North Street Drainage Works(C)	-	-	-	231,149
14879	Busselton LIA Drainage Investigation & Design(C)	201	4,167	4,167	50,000
14880	Chapman Street Mitigate private property inundation(C)	-	20,833	20,833	250,000
14881	Dunsborough Lakes Drive No 69/71(C)	-	9,351	9,351	112,215
14882	Dunsborough Lakes Condition inspection & Design(C)	-	4,167	4,167	50,000
14883	Carey Street Drainage Renewals(C)	-	15,816	15,816	252,894
14884	Depuch Close - Eagle Bay(C)	-	4,783	4,783	76,473
14885	Heppingstone & Hale Street intersection(C)	-	2,109	2,109	33,718
14886	Hester Steet Drainage Renewal SLK0.33 (C)	-	1,127	1,127	18,027
14945	WSUD Improv Drainage Outlets and Catchements(C)	-	-	-	30,000
		117	62,353	62,353	1,104,476
Regional Airport and Industrial Park					
10583	Airport Construction Stage 2, Airfield(C)	-	-	-	337,478
12941	Airport - Other Buildings(C)	-	417	417	5,000
14836	RFDS relocation(C)	-	-	-	366,180
14838	BMRAP - Apron Lighting(C)	-	-	-	65,000
14839	BMRAP - Apron CCTV(C)	-	-	-	50,000
15060	BMRA MAGS Improvements (C)	-	-	-	17,000

City of Busselton Capital Acquisitions & Construction Report For Period Ending July 2023						
Project	Project Description	2023/24 Actual	2023/24 Amended Budget YTD	2023/24 Original Budget YTD	2023/24 Amended Budget	2023/24 Budget Original
		\$	\$	\$	\$	\$
15061	BMRA Gate 1 Replacement (C)	-	-	-	10,000	10,000
15062	BMRA GA Precinct Reseal (C)	-	-	-	437,620	437,620
		-	417	417	1,288,278	1,288,278
	Infrastructure Total	(372,774)	1,203,508	1,203,508	21,896,530	21,896,530
	Grand Total	613,232	4,675,931	4,675,931	59,461,485	59,461,485

City of Busseton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1001 - Airport Existing Terminal Building Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(456,382)	(456,382)	(456,382)
10904	Interest Earned	Other General Purpose Funding(O)	3,569	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	452,813	456,382	456,382
<i>Airport Existing Terminal Building Reserve Closing Balance</i>			-	-	-
<u>1003 - Airport Marketing & Incentive Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(4,895,380)	(4,895,380)	(4,895,380)
10904	Interest Earned	Other General Purpose Funding(O)	43,808	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	4,851,572	4,895,380	4,895,380
<i>Airport Marketing & Incentive Reserve Closing Balance</i>			-	-	-
<u>1004 - Airport New Terminal Building Reserve</u>					
			-	-	-
10904	Interest Earned	Other General Purpose Funding(O)	-	-	-
			-	-	-
			-	-	-
<i>Airport New Terminal Building Reserve Closing Balance</i>			-	-	-
<u>1005 - Barnard Park Sports Pavilion Building Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(115,031)	(115,031)	(115,031)
10904	Interest Earned	Other General Purpose Funding(O)	910	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	114,122	115,031	115,031
<i>Barnard Park Sports Pavilion Building Reserve Closing Balance</i>			-	-	-
<u>1006 - Building Asset Renewal Reserve Fund - General Buildings</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,389,334)	(3,389,334)	(3,389,334)
10904	Interest Earned	Other General Purpose Funding(O)	(40,184)	(19,582)	(234,987)
10027	Transfer To Reserve	Asset Management Administration(O)	(114,122)	(2,897,874)	(4,441,390)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(2,375,644)	-	-
10016	Transfer From Reserve	Civic and Administration Centre Minor Upgrades(C)	-	-	35,000
10025	Transfer From Reserve	Weld Theatre(C)	-	-	250,000
10027	Transfer From Reserve	Asset Management Administration(O)	-	-	21,600
10163	Transfer From Reserve	Old Fire Station Building(O)	-	-	15,000
10167	Transfer From Reserve	Dunsborough Hall(O)	-	-	5,000
10179	Transfer From Reserve	Youth Services(O)	-	-	14,000
10243	Transfer From Reserve	Depot Building-Busseton(O)	-	-	10,037
10787	Transfer From Reserve	Geographe Leisure Centre Upgrade(C)	-	-	567,464
10853	Transfer From Reserve	Asbestos Removal & Replacement(O)	-	-	50,000
11761	Transfer From Reserve	Abbey Beach Boat Ramp Toilets(O)	-	-	8,533
12331	Transfer From Reserve	Smiths Beach New Public Toilet(C)	-	-	250,000
12795	Transfer From Reserve	Busseton Depot CCTV & Electronic Gate(C)	-	-	16,259
12796	Transfer From Reserve	Depot Training Room (C)	-	-	75,000
12798	Transfer From Reserve	High Street Hall (C)	-	-	10,500
12800	Transfer From Reserve	Old Courthouse and Jail Cells (C)	-	-	102,853
12939	Transfer From Reserve	Administration Building- 2-16 Southern Drive(C)	-	-	45,000
12940	Transfer From Reserve	Depot Building-Busseton((C)	-	-	270,000
12947	Transfer From Reserve	Old Court House(O)	-	-	79,200
14942	Transfer From Reserve	Lions Park Shopping Centre Toilets (C)	-	-	250,000
14943	Transfer From Reserve	Changing Places Accessable Ablutions (C)	-	-	100,000
15063	Transfer From Reserve	NCC - Les Mills Pump Rack (C)	-	-	8,000
15064	Transfer From Reserve	GLC Cafe Double Fridge (C)	-	-	20,000
15074	Transfer From Reserve	Vasse Toilet (C)	-	-	125,000
15075	Transfer From Reserve	Vasse Toilet (O)	-	-	35,000
<i>Building Asset Renewal Reserve Fund - General Buildings Closing Balance</i>			(5,919,284)	(6,306,790)	(5,702,265)
<u>1007 - Busseton Area Drainage and Waterways Improvement Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(134,559)	(134,559)	(134,559)
10904	Interest Earned	Other General Purpose Funding(O)	1,090	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	133,469	134,559	134,559
<i>Busseton Area Drainage and Waterways Improvement Reserve Closing Balance</i>			-	-	-
<u>1008 - Busseton Community Resource Centre Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(531,460)	(531,460)	(531,460)
10904	Interest Earned	Other General Purpose Funding(O)	4,338	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	527,123	531,460	531,460
<i>Busseton Community Resource Centre Reserve Closing Balance</i>			-	-	-

City of Busselton
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Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1009 - Busselton Foreshore Maintenance Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(13,115)	(13,115)	(13,115)
10904	Interest Earned	Other General Purpose Funding(O)	106	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	13,009	13,115	13,115
<i>Busselton Foreshore Maintenance Reserve Closing Balance</i>			-	-	-
<u>1010 - Busselton Jetty Tourist Park Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,971,965)	(1,971,965)	(1,971,965)
10904	Interest Earned	Other General Purpose Funding(O)	(9,309)	(4,391)	(52,696)
10297	Transfer To Reserve	Busselton Jetty Tourist Park(O)	-	(37,828)	(453,933)
11040	Transfer From Reserve	Economic and Business Development(O)	-	-	149,344
12868	Transfer From Reserve	Busselton Jetty Tourist Park - Cabin Replacement/Upgrade (C)	-	-	540,000
12870	Transfer From Reserve	Busselton Jetty Tourist Park- Replace Holden Colorado 4x4(C)	-	-	25,000
12872	Transfer From Reserve	Busselton Jetty Tourist Park - Battery Powered Mule (C)	-	-	30,000
<i>Busselton Jetty Tourist Park Reserve Closing Balance</i>			(1,981,273)	(2,014,184)	(1,734,249)
<u>1011 - Busselton Library Building Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(155,510)	(155,510)	(155,510)
10904	Interest Earned	Other General Purpose Funding(O)	1,218	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	154,292	155,510	155,510
<i>Busselton Library Building Reserve Closing Balance</i>			-	-	-
<u>1012 - CBD Enhancement Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(9,195)	(9,195)	(9,195)
10904	Interest Earned	Other General Purpose Funding(O)	36	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	9,159	9,195	9,195
<i>CBD Enhancement Reserve Closing Balance</i>			-	-	-
<u>1013 - Cemetery Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(365,557)	(365,557)	(365,557)
10904	Interest Earned	Other General Purpose Funding(O)	2,933	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	362,623	365,557	365,557
<i>Cemetery Reserve Closing Balance</i>			-	-	-
<u>1014 - City Car Parking and Access Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,436,683)	(1,436,683)	(1,436,683)
10904	Interest Earned	Other General Purpose Funding(O)	(5,573)	(4,870)	(58,442)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(14,466)	(173,594)
10904	Transfer From Reserve	Other General Purpose Funding(O)	-	250,000	250,000
14815	Transfer From Reserve	Carpark Hotel Site 2(C)	-	-	192,546
14873	Transfer From Reserve	Forrest Beach Horse Float Carparking Area(C)	-	-	194,446
14874	Transfer From Reserve	Disabled Parking Bays BussForeshore (Old ennisCourt)(C)	-	-	10,000
14875	Transfer From Reserve	Eagle Bay Boat Ramp Parking off Fern Road(C)	-	-	30,000
14876	Transfer From Reserve	Eagle Crescent on road parking - Eagle Bay(C)	-	-	37,000
14877	Transfer From Reserve	Rotary Park Stage 1 - Design, permits and clearing(C)	-	-	20,000
14878	Transfer From Reserve	Senior Citizens Universal Access Parking(C)	-	-	57,893
<i>City Car Parking and Access Reserve Closing Balance</i>			(1,442,256)	(1,206,019)	(876,834)
<u>1015 - Civic and Administration Building Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(900,463)	(900,463)	(900,463)
10904	Interest Earned	Other General Purpose Funding(O)	7,140	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	893,322	900,463	900,463
<i>Civic and Administration Building Reserve Closing Balance</i>			-	-	-
<u>1016 - Coastal and Climate Adaptation Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,194,819)	(1,194,819)	(1,194,819)
10904	Interest Earned	Other General Purpose Funding(O)	(2,821)	(1,726)	(20,714)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(95,412)	(1,144,947)
12811	Transfer From Reserve	Sand Re-Nourishment(O)	-	-	110,000
12873	Transfer From Reserve	Coastal Protection - Beach Monitoring Year 10 (O)	-	-	53,300
12875	Transfer From Reserve	Coastal Protection - Coastal Structures Inspections and R(O)	-	-	6,664
14736	Transfer From Reserve	PACP Coastal Grant Projects(O)	-	-	1,324,521
14929	Transfer From Reserve	Coastal Adaptation and Protection Plan(O)	-	-	142,000
<i>Coastal and Climate Adaptation Reserve Closing Balance</i>			(1,197,640)	(1,291,957)	(723,994)

City of Busselton
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Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1017 - Commonage Community Facilities Dunsborough Lakes SR					
10904	Opening Balance	Other General Purpose Funding(O)	(76,996)	(76,996)	(76,996)
10904	Interest Earned	Other General Purpose Funding(O)	624	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	76,372	76,996	76,996
<i>Commonage Community Facilities Dunsborough Lakes SR Closing Balance</i>			-	-	-
1018 - Commonage Community Facilities South Biddle Precinct Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(938,928)	(938,928)	(938,928)
10904	Interest Earned	Other General Purpose Funding(O)	(3,229)	(3,564)	(42,771)
			-	-	-
			-	-	-
<i>Commonage Community Facilities South Biddle Precinct Reserve Closing Balance</i>			(942,156)	(942,492)	(981,698)
1019 - Commonage Precinct Bushfire Facilities Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(60,709)	(60,709)	(60,709)
10904	Interest Earned	Other General Purpose Funding(O)	(209)	(230)	(2,766)
			-	-	-
15067	Transfer From Reserve	Commonage Fire Facility (C)	-	-	40,000
<i>Commonage Precinct Bushfire Facilities Reserve Closing Balance</i>			(60,918)	(60,940)	(23,475)
1020 - Commonage Precinct Infrastructure Road Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(844)	(844)	(844)
10904	Interest Earned	Other General Purpose Funding(O)	7	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	837	844	844
<i>Commonage Precinct Infrastructure Road Reserve Closing Balance</i>			-	-	-
1021 - Community Facilities - Airport North					
10904	Opening Balance	Other General Purpose Funding(O)	(3,282,876)	(3,282,876)	(3,282,876)
10904	Interest Earned	Other General Purpose Funding(O)	(11,288)	(12,916)	(154,991)
11026	Transfer To Reserve	Planning Administration(O)	-	(9,892)	(118,704)
			-	-	-
<i>Community Facilities - Airport North Closing Balance</i>			(3,294,164)	(3,305,684)	(3,556,571)
1022 - Community Facilities - Broadwater					
10904	Opening Balance	Other General Purpose Funding(O)	(275,331)	(275,331)	(275,331)
10904	Interest Earned	Other General Purpose Funding(O)	(947)	(837)	(10,042)
11026	Transfer To Reserve	Planning Administration(O)	-	(1,355)	(16,263)
			-	-	-
<i>Community Facilities - Broadwater Closing Balance</i>			(276,278)	(277,523)	(301,636)
1023 - Community Facilities - Busselton					
10904	Opening Balance	Other General Purpose Funding(O)	(101,930)	(101,930)	(101,930)
10904	Interest Earned	Other General Purpose Funding(O)	(351)	(376)	(4,510)
11026	Transfer To Reserve	Planning Administration(O)	-	(1,841)	(22,097)
14909	Transfer From Reserve	Lou Weston Basketball System upgrades (C)	-	-	32,000
14914	Transfer From Reserve	Lou Weston Playground Equipment Renewal(C)	-	-	60,000
<i>Community Facilities - Busselton Closing Balance</i>			(102,281)	(104,148)	(36,538)
1024 - Community Facilities - City District					
10904	Opening Balance	Other General Purpose Funding(O)	(1,320,534)	(1,320,534)	(1,320,534)
10904	Interest Earned	Other General Purpose Funding(O)	(4,222)	(3,124)	(37,487)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(2,445)	-	-
11026	Transfer To Reserve	Planning Administration(O)	-	(29,779)	(357,348)
10642	Transfer From Reserve	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	-	-	95,350
10765	Transfer From Reserve	Foreshore Busselton - High Street to Carey Street(C)	-	-	50,000
10952	Transfer From Reserve	Possum Park Barnard East Upgrade(C)	-	-	30,000
12382	Transfer From Reserve	Rails to Trails - Continuation of Implementation Plan(C)	-	-	105,000
12850	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1) - Planning (C)	-	-	150,000
14915	Transfer From Reserve	Busselton Foreshore disability carousel renewal(C)	-	-	45,000
<i>Community Facilities - City District Closing Balance</i>			(1,327,201)	(1,353,437)	(1,240,020)
1025 - Community Facilities - Dunsborough					
10904	Opening Balance	Other General Purpose Funding(O)	(523,252)	(523,252)	(523,252)
10904	Interest Earned	Other General Purpose Funding(O)	(1,799)	(1,938)	(23,260)
11026	Transfer To Reserve	Planning Administration(O)	-	(2,917)	(35,009)
10766	Transfer From Reserve	Foreshore Yallingup Capital(C)	-	-	20,000
12528	Transfer From Reserve	Dunsborough Town Centre/ Foreshore(C)	-	-	30,000
14903	Transfer From Reserve	Centennial Park Irrigation renewal(C)	-	-	125,000
14916	Transfer From Reserve	Dunsborough Foreshore disability carousel renewal(C)	-	-	45,000
<i>Community Facilities - Dunsborough Closing Balance</i>			(525,052)	(528,108)	(361,522)

City of Busselton
Reserve Movements
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Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1026 - Community Facilities - Dunsborough Lakes</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(900,386)	(900,386)	(900,386)
10904	Interest Earned	Other General Purpose Funding(O)	(3,096)	(1,110)	(13,317)
			-	-	-
10642	Transfer From Reserve	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	-	-	375,596
12407	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	-	-	201,426
Community Facilities - Dunsborough Lakes Closing Balance			(903,482)	(901,495)	(336,681)
<u>1027 - Community Facilities - Geographe</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(156,185)	(156,185)	(156,185)
10904	Interest Earned	Other General Purpose Funding(O)	(537)	(586)	(7,030)
11026	Transfer To Reserve	Planning Administration(O)	-	(909)	(10,902)
			-	-	-
Community Facilities - Geographe Closing Balance			(156,722)	(157,680)	(174,118)
<u>1028 - Community Facilities - Port Geographe</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(364,198)	(364,198)	(364,198)
10904	Interest Earned	Other General Purpose Funding(O)	(1,252)	(1,383)	(16,590)
			-	-	-
			-	-	-
Community Facilities - Port Geographe Closing Balance			(365,451)	(365,581)	(380,789)
<u>1029 - Community Facilities - Vasse</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(108,014)	(108,014)	(108,014)
10904	Interest Earned	Other General Purpose Funding(O)	(365)	-	-
10904	Transfer To Reserve	Other General Purpose Funding(O)	-	-	(8,717)
12849	Transfer From Reserve	Sport Oval Lighting - Vasse Ovals(C)	-	-	116,731
Community Facilities - Vasse Closing Balance			(108,379)	(108,014)	0
<u>1030 - Corporate IT Systems Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(329,865)	(329,865)	(329,865)
10904	Interest Earned	Other General Purpose Funding(O)	(2,429)	(284)	(3,410)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(66,561)	(798,738)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(97,084)	(97,863)	(97,863)
12876	Transfer From Reserve	ICT Services - Equipment & Software Purchases(C)	-	-	792,506
Corporate IT Systems Reserve Closing Balance			(429,378)	(494,574)	(437,370)
<u>1031 - Debt Default Reserve</u>					
			-	-	-
10904	Interest Earned	Other General Purpose Funding(O)	857	-	-
10904	Transfer To Reserve	Other General Purpose Funding(O)	(857)	-	-
			-	-	-
Debt Default Reserve Closing Balance			-	-	-
<u>1032 - Election, Value and Corporate Expense Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(401,440)	(401,440)	(401,440)
10904	Interest Earned	Other General Purpose Funding(O)	(1,415)	(1,239)	(14,862)
10830	Transfer To Reserve	Members of Council(O)	-	(12,233)	(146,800)
10830	Transfer From Reserve	Members of Council(O)	-	-	180,000
Election, Value and Corporate Expense Reserve Closing Balance			(402,855)	(414,912)	(383,102)
<u>1033 - Emergency Disaster Recovery Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(97,863)	(97,863)	(97,863)
10904	Interest Earned	Other General Purpose Funding(O)	779	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	97,084	97,863	97,863
Emergency Disaster Recovery Reserve Closing Balance			-	-	-
<u>1034 - Energy Sustainability Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(247,224)	(247,224)	(247,224)
10904	Interest Earned	Other General Purpose Funding(O)	2,231	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	244,994	247,224	247,224
Energy Sustainability Reserve Closing Balance			-	-	-

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Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1035 - Footpath and Cycleways Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,726,463)	(1,726,463)	(1,726,463)
10904	Interest Earned	Other General Purpose Funding(O)	(4,359)	(4,893)	(58,712)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(111,872)	(1,342,459)
10027	Transfer From Reserve	Asset Management Administration(O)	-	1,800	21,599
10741	Transfer From Reserve	Busselton CBD Footpath Renewal(C)	-	-	54,585
10903	Transfer From Reserve	DAIP - Disability Access(C)	-	-	30,000
12816	Transfer From Reserve	Coastal Principled Shares Path (C)	-	-	70,488
14814	Transfer From Reserve	Townscape Works Busselton(C)	-	-	100,000
14887	Transfer From Reserve	Coastal Shared Path - Forth St to Holgate(C)	-	-	230,000
14888	Transfer From Reserve	Bay View Street - Bussell Hwy to Dorset Street(C)	-	-	126,198
14889	Transfer From Reserve	Queen St - Queen St & Prince St Roundabout Zebra Cross(C)	-	-	16,000
14890	Transfer From Reserve	Carey St - Kent Street and Harris to Peel(C)	-	-	113,886
14891	Transfer From Reserve	Adelaide Street - Lot 11 to Stanley St(C)	-	-	56,430
14892	Transfer From Reserve	Peron Avenue - Chester Way to Pimlea Parade(C)	-	-	147,000
14893	Transfer From Reserve	Bay View Crescent - Curtis Bay Lot 62 to Lot 4(C)	-	-	55,000
14894	Transfer From Reserve	Telstra Park - Lot 4 Naturaliste Terrace(C)	-	-	20,000
14895	Transfer From Reserve	Vincent Street to Geographe Bay Road (Reserve 44343)(C)	-	-	400,000
14896	Transfer From Reserve	Dunsborough Lakes Drive - Caves Road(C)	-	-	15,000
14897	Transfer From Reserve	Naturaliste Terrace Footbridge Renewal #6017 Lot 254(C)	-	-	110,000
14899	Transfer From Reserve	Feasibility Study -Dunsborough to Yallingup(O)	-	-	10,000
14905	Transfer From Reserve	GLC Footpath NIB (C)	-	-	20,000
15071	Transfer From Reserve	Upgrade Wagin Gardens Footpath Access (C)	-	-	20,000
15072	Transfer From Reserve	Upgrade Harris Rd POS Access (C)	-	-	10,000
<i>Footpath and Cycleways Reserve Closing Balance</i>			(1,730,822)	(1,841,427)	(1,501,447)
<u>1036 - Furniture and Equipment Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(483,156)	(483,156)	(483,156)
10904	Interest Earned	Other General Purpose Funding(O)	(1,415)	(211)	(2,527)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(12,236)	(146,836)
12876	Transfer From Reserve	ICT Services - Equipment & Software Purchases(C)	-	-	172,991
12878	Transfer From Reserve	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	-	-	20,000
14730	Transfer From Reserve	Geographe Leisure Centre Fitness Equipment(C)	-	-	18,160
14927	Transfer From Reserve	Dunsborough Depot(C)	-	-	21,300
14939	Transfer From Reserve	Ice Machine (C)	-	-	10,000
15082	Transfer From Reserve	Administration Building Furniture& Equipment C)	-	-	15,000
15088	Transfer From Reserve	Busselton Depot Building Furniture & Equipment (C)	-	-	10,813
<i>Furniture and Equipment Reserve Closing Balance</i>			(484,571)	(495,603)	(364,255)
<u>1037 - Geographe Leisure Centre Building (GLC) Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(232,470)	(232,470)	(232,470)
10904	Interest Earned	Other General Purpose Funding(O)	3,400	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	229,070	232,470	232,470
<i>Geographe Leisure Centre Building (GLC) Reserve Closing Balance</i>			-	-	-
<u>1038 - Jetty Maintenance Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(7,345,735)	(7,345,735)	(7,345,735)
10904	Interest Earned	Other General Purpose Funding(O)	(23,597)	(26,563)	(318,758)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(28,603)	(343,234)
10048	Transfer To Reserve	Busselton Jetty(O)	-	(71,565)	(858,776)
10160	Transfer To Reserve	Equinox Cafe(O)	-	(7,994)	(95,928)
10161	Transfer To Reserve	Goose Café(O)	-	(4,431)	(53,174)
10162	Transfer To Reserve	Micro Brewery Building(O)	-	(8,060)	(96,715)
11704	Transfer To Reserve	Busselton Tennis Club Building (Old)(O)	-	(2,165)	(25,975)
11798	Transfer To Reserve	Hotel Site 2(O)	-	(3,158)	(37,896)
10048	Transfer From Reserve	Busselton Jetty(O)	-	-	1,828,444
<i>Jetty Maintenance Reserve Closing Balance</i>			(7,369,332)	(7,498,273)	(7,347,747)
<u>1039 - Jetty Self Insurance Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(672,758)	(672,758)	(672,758)
10904	Interest Earned	Other General Purpose Funding(O)	(2,367)	(2,550)	(30,595)
10048	Transfer To Reserve	Busselton Jetty(O)	-	(6,786)	(81,429)
<i>Jetty Self Insurance Reserve Closing Balance</i>			(675,125)	(682,093)	(784,782)
<u>1040 - Joint Venture Aged Housing Reserve (Harris/Winderlup)</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,656,731)	(1,656,731)	(1,656,731)
10904	Interest Earned	Other General Purpose Funding(O)	(5,866)	(6,405)	(76,861)
11683	Transfer To Reserve	Harris Road Aged Housing(O)	-	-	(78,865)
11685	Transfer To Reserve	Winderlup Villas Aged Housing(O)	-	-	(188,862)
12231	Transfer From Reserve	Aged Housing Capital Improvements - Harris Road(C)	-	-	22,000
12233	Transfer From Reserve	Aged Housing Capital Improvements - Winderlup(C)	-	-	40,000
<i>Joint Venture Aged Housing Reserve (Harris/Winderlup) Closing Balance</i>			(1,662,597)	(1,663,136)	(1,939,318)

City of Busselton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1041 - Legal Expenses Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(579,578)	(579,578)	(579,578)
10904	Interest Earned	Other General Purpose Funding(O)	(1,337)	(2,495)	(29,943)
			-	-	-
10824	Transfer From Reserve	Legal and Compliance Services(O)	-	-	150,000
<i>Legal Expenses Reserve Closing Balance</i>			(580,915)	(582,073)	(459,521)
<u>1042 - Locke Estate Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(171,194)	(171,194)	(171,194)
10904	Interest Earned	Other General Purpose Funding(O)	(1,937)	(656)	(7,876)
10180	Transfer To Reserve	Locke Estate(O)	-	(5,333)	(64,000)
			-	-	-
<i>Locke Estate Reserve Closing Balance</i>			(173,131)	(177,184)	(243,070)
<u>1043 - Long Service Leave Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,940,671)	(3,940,671)	(3,940,671)
10904	Interest Earned	Other General Purpose Funding(O)	(8,039)	(15,026)	(180,310)
10810	Transfer To Reserve	Human Resources & Payroll(O)	-	(37,500)	(450,000)
10027	Transfer From Reserve	Asset Management Administration(O)	-	-	12,260
10041	Transfer From Reserve	Building Services(O)	-	-	9,938
10179	Transfer From Reserve	Youth Services(O)	-	-	16,685
10461	Transfer From Reserve	Geographe Leisure Centre(O)	-	-	27,412
10671	Transfer From Reserve	Compliance Services(O)	-	-	13,587
10678	Transfer From Reserve	Customer Services(O)	-	-	16,092
10704	Transfer From Reserve	Engineering & Works Services Support(O)	-	-	31,654
10705	Transfer From Reserve	Engineering Services Administration(O)	-	-	21,641
10706	Transfer From Reserve	Engineering Services Design PWOH(O)	-	-	5,566
10710	Transfer From Reserve	Environmental Health Services Administration(O)	-	-	4,155
10711	Transfer From Reserve	Environmental Management Administration(O)	-	-	25,860
10733	Transfer From Reserve	Financial Services(O)	-	-	3,059
10790	Transfer From Reserve	Governance Support Services(O)	-	-	43,569
10824	Transfer From Reserve	Legal and Compliance Services(O)	-	-	2,766
10901	Transfer From Reserve	Operations Services Admin PWOH(O)	-	-	26,903
10902	Transfer From Reserve	Operations Services Works - PWOH(O)	-	-	165,813
10905	Transfer From Reserve	Other Law, Order & Public Safety(O)	-	-	40,202
11026	Transfer From Reserve	Planning Administration(O)	-	-	10,138
11027	Transfer From Reserve	Planning Directorate Support(O)	-	-	16,151
11124	Transfer From Reserve	Public Relations(O)	-	-	4,927
11126	Transfer From Reserve	Rates Administration(O)	-	-	20,525
12258	Transfer From Reserve	Statutory Planning(O)	-	-	6,224
<i>Long Service Leave Reserve Closing Balance</i>			(3,948,710)	(3,993,197)	(4,045,854)
<u>1044 - Major Traffic Improvements Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,574,756)	(1,574,756)	(1,574,756)
10904	Interest Earned	Other General Purpose Funding(O)	12,540	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	1,562,216	1,574,756	1,574,756
<i>Major Traffic Improvements Reserve Closing Balance</i>			-	-	-
<u>1045 - Marketing & Area Promotion Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(393,497)	(393,497)	(393,497)
10904	Interest Earned	Other General Purpose Funding(O)	1,120	(951)	(11,413)
10188	Transfer To Reserve	Events(O)	-	(122,195)	(1,466,341)
10022	Transfer From Reserve	BPACC Operations(O)	-	-	100,000
10188	Transfer From Reserve	Events(O)	-	-	1,661,401
14729	Transfer From Reserve	Events Furniture & Equipment(C)	-	-	5,138
<i>Marketing & Area Promotion Reserve Closing Balance</i>			(392,377)	(516,643)	(104,712)
<u>1046 - Naturaliste Community Centre Building (NCC) Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(233,943)	(233,943)	(233,943)
10904	Interest Earned	Other General Purpose Funding(O)	1,976	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	231,967	233,943	233,943
<i>Naturaliste Community Centre Building (NCC) Reserve Closing Balance</i>			-	-	-
<u>1047 - New Infrastructure Development Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(756,384)	(756,384)	(756,384)
10904	Interest Earned	Other General Purpose Funding(O)	(2,629)	(876)	(10,516)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(2,387)	(1,602,782)	(1,602,782)
10904	Transfer From Reserve	Other General Purpose Funding(O)	-	(250,000)	(250,000)
12407	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	-	-	358,778
15073	Transfer From Reserve	Lot 9020 Dunsborough (C)	-	-	900,000
<i>New Infrastructure Development Reserve Closing Balance</i>			(761,399)	(2,610,042)	(1,360,904)

City of Busselton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1048 - Other Infrastructure (Drainage, Signage Etc) Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(721,867)	(721,867)	(721,867)
10904	Interest Earned	Other General Purpose Funding(O)	(7,146)	(2,466)	(29,586)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(66,303)	(795,639)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(403,782)	(496,980)	(496,980)
10027	Transfer From Reserve	Asset Management Administration(O)	-	-	21,600
10157	Transfer From Reserve	Busselton Cemetery(O)	-	-	72,303
10158	Transfer From Reserve	Dunsborough Cemetery(O)	-	-	25,620
10159	Transfer From Reserve	Pioneer Cemetery(O)	-	-	6,240
10251	Transfer From Reserve	LED Street Light Replacement Program(O)	-	-	90,000
10700	Transfer From Reserve	Dunsborough Cemetery(C)	-	-	21,276
11024	Transfer From Reserve	Pioneer Cemetery - Implement Conservation Plan(C)	-	-	21,276
12815	Transfer From Reserve	North Street Drainage Works(C)	-	-	231,149
14811	Transfer From Reserve	RBFS Old Dunsborough Boat Ramp Scour Protection (C)	-	-	8,310
14879	Transfer From Reserve	Busselton LIA Drainage Investigation & Design(C)	-	-	50,000
14880	Transfer From Reserve	Chapman Street Mitigate private property inundation(C)	-	-	250,000
14881	Transfer From Reserve	Dunsborough Lakes Drive No 69/71(C)	-	-	112,215
14882	Transfer From Reserve	Dunsborough Lakes Condition inspection & Design(C)	-	-	50,000
14883	Transfer From Reserve	Carey Street Drainage Renewals(C)	-	-	252,894
14884	Transfer From Reserve	Depuch Close - Eagle Bay(C)	-	-	76,473
14885	Transfer From Reserve	Heppingstone & Hale Street intersection(C)	-	-	33,718
14886	Transfer From Reserve	Hester Steet Drainage Renewal SLK0.33 (C)	-	-	18,027
14900	Transfer From Reserve	Metricup Cemetery - Paths & Ashes iternment(C)	-	-	10,000
14945	Transfer From Reserve	WSUD Improv Drainage Outlets and Catchements(C)	-	-	30,000
<i>Other Infrastructure (Drainage, Signage Etc) Reserve Closing Balance</i>			(1,132,796)	(1,287,616)	(662,972)
1049 - Parks, Gardens and Reserves Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(1,349,338)	(1,349,338)	(1,349,338)
10904	Interest Earned	Other General Purpose Funding(O)	(3,368)	(1,994)	(23,928)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(114,524)	(1,374,285)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(13,009)	(13,115)	(13,115)
10831	Transfer From Reserve	Rotary Park / War Memorial Relocation(C)	-	-	375,000
10953	Transfer From Reserve	Youth Skate Park(C)	-	-	20,000
10963	Transfer From Reserve	Minor Capital Improvements, Fencing, Seating, Lighting et(C)	-	-	40,000
10967	Transfer From Reserve	New Shade Sails – multiple locations (C)	-	-	265,165
11035	Transfer From Reserve	Park Furniture Renewals - Replace aged & unsafe Equip(C)	-	-	55,000
12251	Transfer From Reserve	Cricket Wicket Renewal(C)	-	-	30,000
12267	Transfer From Reserve	Busselton Townscape Street Furniture Renewals (C)	-	-	40,000
12511	Transfer From Reserve	Dunsborough - BMX / Skatebowl(C)	-	-	10,000
12821	Transfer From Reserve	Churchill Park - Main Oval Renewal (C)	-	-	550,000
14904	Transfer From Reserve	Beach Shower/Water Fountain Ren Busselton Foreshore(C)	-	-	20,000
14906	Transfer From Reserve	Dunsborough Oval Skatepark Lighting Renewal(C)	-	-	70,000
14907	Transfer From Reserve	Busselton Foreshore - Annual Renewals (C)	-	-	50,000
14908	Transfer From Reserve	Dunsborough Town Centre & Foreshore - Annual Renewals (C)	-	-	30,000
14910	Transfer From Reserve	Seymour Park - Replacement of Decking(C)	-	-	50,600
14911	Transfer From Reserve	Jarraewood Playground Equipment Renewal(C)	-	-	26,000
14912	Transfer From Reserve	Newtown Oval New Playground Equipment(C)	-	-	15,000
14913	Transfer From Reserve	Heron Place - New New Playground Equipment(C)	-	-	10,000
14917	Transfer From Reserve	Meelup Regional Park - Capital Projects(C)	-	-	178,000
14918	Transfer From Reserve	BBQ Placement and Replacement(C)	-	-	30,000
14919	Transfer From Reserve	Beach Access stairs (C)	-	-	55,000
14944	Transfer From Reserve	Busselton Works Depot Parks & Gardens Product Bays(C)	-	-	20,000
<i>Parks, Gardens and Reserves Reserve Closing Balance</i>			(1,365,715)	(1,478,971)	(820,901)
1050 - Performing Arts and Convention Centre Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(2,467,333)	(2,467,333)	(2,467,333)
10904	Interest Earned	Other General Purpose Funding(O)	(8,484)	(9,728)	(116,739)
			-	-	-
			-	-	-
<i>Performing Arts and Convention Centre Reserve Closing Balance</i>			(2,475,816)	(2,477,061)	(2,584,071)

City of Busseton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1051 - Plant Replacement Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(2,364,209)	(2,364,209)	(2,364,209)
10904	Interest Earned	Other General Purpose Funding(O)	(4,359)	(1,791)	(21,487)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(93,477)	(1,121,722)
10448	Transfer From Reserve	Miscellaneous Plant & Equipment(O)	-	-	18,720
12881	Transfer From Reserve	HINO FD1024 Beavertail Truck (Turf) (C)	-	-	80,000
12882	Transfer From Reserve	Isuzu NPR65-190 Single Cab (Turf) (C)	-	-	80,000
12884	Transfer From Reserve	KUBOTA F3690 OUTFRONT MOWER (C)	-	-	21,200
12885	Transfer From Reserve	KUBOTA F3690 OUTFRONT MOWER (C)	-	-	21,200
12886	Transfer From Reserve	Brush / Tree Chipper (C)	-	-	100,000
12887	Transfer From Reserve	Plant Purchases (P11) - Redexim Easyspread 1600 Sand Spre(C)	-	-	19,200
12888	Transfer From Reserve	HINO FS2848 Tipper Truck (C&M) (C)	-	-	230,000
12890	Transfer From Reserve	Caterpillar CS56 Roller (C&M) (C)	-	-	130,000
12892	Transfer From Reserve	ISUZU FVZ1400 Tipper Truck (C&M) (C)	-	-	230,000
12894	Transfer From Reserve	Nissan Xtrail ST-L 2WD (Strategic Planning Coord) (C)	-	-	18,000
12895	Transfer From Reserve	NISSAN X-TRAIL ST-L 2WD SUV (ASSET MGMT COORD) (C)	-	-	18,000
12896	Transfer From Reserve	Facilities Operational Ute(C)	-	-	23,000
12897	Transfer From Reserve	ISUZU D-MAX SX 4X2 SINGLE CAB UTILITY (IRRIGATION) (C)	-	-	31,000
12898	Transfer From Reserve	MITSUBISHI TRITON 4X2 SINGLE CAB UTE (P&G) (C)	-	-	31,000
12899	Transfer From Reserve	Construction & Maintenance Ute (C)	-	-	27,000
12900	Transfer From Reserve	TOYOTA HILUX DUAL CAB 4X4 (CONST SUPERVISOR) (C)	-	-	25,000
12901	Transfer From Reserve	TOYOTA HILUX DUAL CAB 4X4 (MTCE SUPERVISOR) (C)	-	-	25,000
12902	Transfer From Reserve	Manager Governance & Corp Services Vehicle (C)	-	-	20,000
12904	Transfer From Reserve	Plant Purchases (P11) - Minor Plant (P&G) (C)	-	-	13,000
12906	Transfer From Reserve	Plant Purchases (P12) - Minor Plant (C&M) (C)	-	-	18,500
12908	Transfer From Reserve	Program 12 - Minor Plant (Workshop) (C)	-	-	10,000
12948	Transfer From Reserve	TOYOTA HILUX SR 4X4 DUAL CAB UTILITY (BMO) (C)	-	-	25,000
14744	Transfer From Reserve	MITSUBISHI PAJERO GLX 4X4 (MGR REG SERV) (C)	-	-	21,500
14818	Transfer From Reserve	Wheeled 20t excavator Inc. Accessories(C)	-	-	485,000
14819	Transfer From Reserve	Positrak (Cat 299) with Accessories (C)	-	-	250,000
14820	Transfer From Reserve	Trailer for Towing Positrak & Traffic Lights(C)	-	-	40,000
14821	Transfer From Reserve	Trailer Traffic Lights x 2 (and Sign Cones)(C)	-	-	45,000
14842	Transfer From Reserve	HINO CREW CAB TIPPER TRUCK (C)	-	-	77,540
14954	Transfer From Reserve	MITSUBISHI TRITON 4x2 SINGLE CAB (C)	-	-	25,000
15004	Transfer From Reserve	HUSQVARNA RC318T RIDE ON MOWER (C)	-	-	15,000
15006	Transfer From Reserve	HINO 917 CREW CAB (C&M) (C)	-	-	80,000
15008	Transfer From Reserve	ISUZU NPR400 CREW CAB (C&M) (C)	-	-	80,000
15013	Transfer From Reserve	HINO GH1728 AUTO TRUCK (C&M) (C)	-	-	350,000
15016	Transfer From Reserve	HINO GF1628 REAR TIPPING TRUCK (P&G) (C)	-	-	100,000
15018	Transfer From Reserve	TORO 4010D GROUNDMASTER MOWER (P&G) (C)	-	-	130,000
15023	Transfer From Reserve	ISUZU DMAX 4X2 SINGLE CAB (P&G) FORESHORE IRRIGATION (C)	-	-	31,000
15025	Transfer From Reserve	TOYOTA HILUX 4X4 EXTRA CAB UTILITY (IRRIGATION) (C)	-	-	34,000
15028	Transfer From Reserve	FORD RANGER 4X4 DUAL CAB UTE (CESM) (C)	-	-	35,000
15032	Transfer From Reserve	SUBARU OUTBACK 2.5i PREMIUM WAGON (C)	-	-	20,000
15034	Transfer From Reserve	SUBARU OUTBACK AWD WAGON (RANGERS CO-ORDINATOR) (C)	-	-	20,000
15036	Transfer From Reserve	SUBARU OUTBACK 2.5i AWD PREMIUM (MGR CULTURE & EVENTS) (C)	-	-	20,000
15038	Transfer From Reserve	MAZDA CX9 FWD SUV (Director CCS) (C)	-	-	25,000
15040	Transfer From Reserve	SUBARU OUTBACK AWD (Director PDS) (C)	-	-	25,000
15042	Transfer From Reserve	Nissan X-Trail Ti 4x4 SUV (Mgr Fin Serv) (C)	-	-	20,000
15045	Transfer From Reserve	Toyota Fortuner GX 4x4 SUV (Mgr Eng Tech Srv) (C)	-	-	20,000
15048	Transfer From Reserve	SUBARU FORESTER 2.5i-S AWD (MGR DEV SERV) (C)	-	-	20,000
15050	Transfer From Reserve	NISSAN X TRAIL STL 4X4 SUV (LIESURE CENTRES COORD) (C)	-	-	18,000
15052	Transfer From Reserve	MITSUBISHI OUTLANDER LS AWD (HR COORD) (C)	-	-	18,000
15065	Transfer From Reserve	Differential GPS (C)	-	-	20,000
Plant Replacement Reserve Closing Balance			(2,368,568)	(2,459,476)	(267,557)
1052 - Port Geographe Development Reserve (Council)					
10904	Opening Balance	Other General Purpose Funding(O)	(67,299)	(67,299)	(67,299)
10904	Interest Earned	Other General Purpose Funding(O)	106	(152)	(1,825)
10325	Transfer To Reserve	Port Geographe(O)	-	(8,747)	(104,962)
10086	Transfer From Reserve	Pedestrian Bridge (Port Geographe)(O)	-	7,788	93,451
14901	Transfer From Reserve	Port Geographe POS Retaining Wall Renewals(C)	-	-	53,000
Port Geographe Development Reserve (Council) Closing Balance			(67,193)	(68,410)	(27,635)
1053 - Port Geographe Waterways Management Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(3,051,049)	(3,051,049)	(3,051,049)
10904	Interest Earned	Other General Purpose Funding(O)	(7,766)	(11,406)	(136,876)
10325	Transfer To Reserve	Port Geographe(O)	-	(20,638)	(247,651)
10325	Transfer From Reserve	Port Geographe(O)	-	-	406,169
Port Geographe Waterways Management Reserve Closing Balance			(3,058,814)	(3,083,093)	(3,029,407)
1054 - Professional Development Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(161,395)	(161,395)	(161,395)
10904	Interest Earned	Other General Purpose Funding(O)	(555)	(611)	(7,333)
			-	-	-
10810	Transfer From Reserve	Human Resources & Payroll(O)	-	-	50,000
Professional Development Reserve Closing Balance			(161,950)	(162,006)	(118,728)

City of Busselton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1055 - Provence Landscape Maintenance Reserve (SAR)					
10904	Opening Balance	Other General Purpose Funding(O)	(1,524,829)	(1,524,829)	(1,524,829)
10904	Interest Earned	Other General Purpose Funding(O)	(5,036)	(5,345)	(64,136)
10966	Transfer To Reserve	Provence SAR Area General Improvements to the Area(C)	-	(17,160)	(205,921)
10289	Transfer From Reserve	Almond Green Park (Provence)(O)	-	-	43,168
10291	Transfer From Reserve	Avignon Park (Provence)(O)	-	-	15,203
10311	Transfer From Reserve	Lavender Park (Provence)(O)	-	-	11,949
10429	Transfer From Reserve	Streetscape Medians (Provence)(O)	-	-	26,544
10966	Transfer From Reserve	Provence SAR Area General Improvements to the Area(C)	-	-	160,000
11725	Transfer From Reserve	Yalyalup Half Court(O)	-	-	770
Provence Landscape Maintenance Reserve (SAR) Closing Balance			(1,529,865)	(1,547,334)	(1,537,252)
1056 - Public Art Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(272,933)	(272,933)	(272,933)
10904	Interest Earned	Other General Purpose Funding(O)	(1,080)	(183)	(2,197)
15059	Transfer From Reserve	Sculpture By The Bay (C)	-	-	12,000
Public Art Reserve Closing Balance			(274,013)	(273,116)	(263,130)
1057 - Railway House Building Reserve (50%)					
10904	Opening Balance	Other General Purpose Funding(O)	(89,585)	(89,585)	(89,585)
10904	Interest Earned	Other General Purpose Funding(O)	710	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	88,875	89,585	89,585
Railway House Building Reserve (50%) Closing Balance			-	-	-
1058 - Road Asset Renewal Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(2,164,710)	(2,164,710)	(2,164,710)
10904	Interest Earned	Other General Purpose Funding(O)	(27,688)	(6,882)	(82,583)
10027	Transfer To Reserve	Asset Management Administration(O)	-	(307,406)	(3,688,870)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(1,562,216)	(1,574,756)	(1,574,756)
11193	Transfer From Reserve	Wilyabrup Road Resheet(C)	-	-	80,643
11199	Transfer From Reserve	Bussell Highway(C)	150,000	-	678,321
11987	Transfer From Reserve	Caves Road - Median Crossing(C)	-	-	17,043
12005	Transfer From Reserve	Payne Road(C)	150,000	-	638,055
12611	Transfer From Reserve	North Jindong Road(C)	-	-	292,600
12827	Transfer From Reserve	Commonage Road(C)	-	-	269,500
12842	Transfer From Reserve	Nuttman Road (C)	-	-	54,724
12845	Transfer From Reserve	General Design / Modelling Works (O)	-	-	312,000
14817	Transfer From Reserve	Road Access Seal - Busselton Animal care facility(C)	-	-	49,766
14850	Transfer From Reserve	Cook Street - Asphalt Overlay SLK 0.39 to 1.25 (C)	-	-	351,574
14851	Transfer From Reserve	Strelly Street - Rehabilitation SLK 0.05 to 1.2 (C)	-	-	240,000
14852	Transfer From Reserve	North Jindong Road - Prelims and Land Acq SLK 0 to 0 (C)	-	-	12,000
14853	Transfer From Reserve	Jalbarragup Road - Reseal SLK 0 to 10.75 (C)	150,000	-	600,000
14854	Transfer From Reserve	Boallia Road - Recon and Widening SLK 1.5 to 2.3 (C)	150,000	-	553,832
14855	Transfer From Reserve	Vasse Yallingup Siding Road - Design only SLK 0 to 0 (C)	-	-	16,500
14856	Transfer From Reserve	Peron Avenue - Asphalt Overlay SLK 0.17 to 0.76 (C)	-	-	450,030
14857	Transfer From Reserve	West Street - Rehabilitation SLK 1.02 to 1.15 (C)	-	-	181,000
14858	Transfer From Reserve	Artisan Street - Asphalt Overlay SLK 0.02 to 0.16 (C)	-	-	46,152
14859	Transfer From Reserve	Kershaw Street - Asphalt Overlay SLK 0 to 0.25 (C)	-	-	69,271
14860	Transfer From Reserve	Thornbill Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	-	20,662
14861	Transfer From Reserve	Grevillea Cove - Asphalt Overlay SLK 0 to 0.08 (C)	-	-	22,243
14862	Transfer From Reserve	Baudin Street - Asphalt Overlay SLK 0 to 0.1 (C)	-	-	95,132
14863	Transfer From Reserve	Cormorant Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	-	23,616
14864	Transfer From Reserve	Sugarloaf Road - Second Coat Seal SLK 0 to 0 (C)	-	-	66,521
14865	Transfer From Reserve	Yallingup Beach Road - Reseal SLK 0 to 0.19 (C)	-	-	30,698
14866	Transfer From Reserve	Old Vasse Highway - Reseal SLK 0 to 1.83 (C)	-	-	13,535
15085	Transfer From Reserve	Jalbarragup Road New Shoulders (C)	-	-	200,000
Road Asset Renewal Reserve Closing Balance			(3,154,615)	(4,053,754)	(2,125,501)
1059 - Sick Pay Incentive Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(79,316)	(79,316)	(79,316)
10904	Interest Earned	Other General Purpose Funding(O)	(250)	(250)	(3,000)
10904	Interest Earned	Other General Purpose Funding(O)	-	-	-
10904	Interest Earned	Other General Purpose Funding(O)	-	-	-
Sick Pay Incentive Reserve Closing Balance			(79,566)	(79,566)	(82,316)
1060 - Strategic Projects Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(3,032,416)	(3,032,416)	(3,032,416)
10904	Interest Earned	Other General Purpose Funding(O)	(10,444)	(9,593)	(115,118)
10830	Transfer To Reserve	Members of Council(O)	-	(2,083)	(25,000)
12847	Transfer From Reserve	Purchase Sues Road(C)	-	-	500,000
Strategic Projects Reserve Closing Balance			(3,042,860)	(3,044,093)	(2,672,534)

City of Busseton
Reserve Movements
For Period Ended 31 July 2023

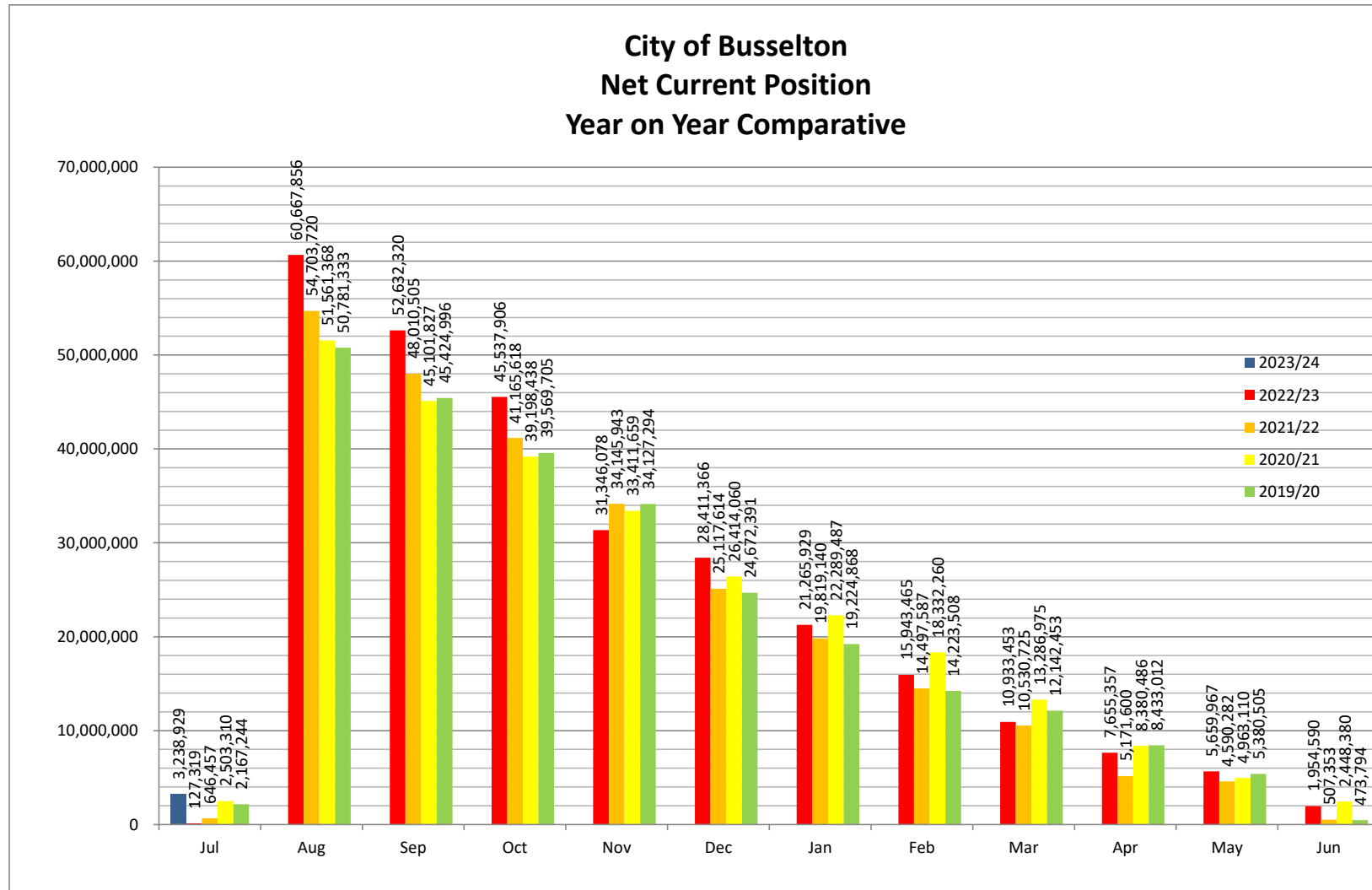
Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1061 - Vasse Newtown Landscape Maintenance Reserve (SAR)					
10904	Opening Balance	Other General Purpose Funding(O)	(615,196)	(615,196)	(615,196)
10904	Interest Earned	Other General Purpose Funding(O)	(851)	(2,045)	(24,541)
10969	Transfer To Reserve	Vasse SAR Area General Improvements to the Area(C)	-	(16,838)	(202,058)
10266	Transfer From Reserve	Southern Wetland - Bush Area Lot 2007 (Newtown)(O)	-	-	3,353
10317	Transfer From Reserve	Southern Wetland - Heritage Park Lot 2013 (Newtown)(O)	-	-	4,836
10372	Transfer From Reserve	Northern POS (Newtown)(O)	-	-	24,318
10428	Transfer From Reserve	Streetscape Medians (Newtown)(O)	-	-	25,292
10969	Transfer From Reserve	Vasse SAR Area General Improvements to the Area(C)	-	-	70,000
11541	Transfer From Reserve	East Central (Wakeham Circle Newtown)(O)	-	-	12,645
11809	Transfer From Reserve	West Central (Elijah Circle Newtown)(O)	-	-	26,342
Vasse Newtown Landscape Maintenance Reserve (SAR) Closing Balance			(616,048)	(634,080)	(675,009)
1062 - Vasse Sports Pavilion Building Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(2,406)	(2,406)	(2,406)
10904	Interest Earned	Other General Purpose Funding(O)	19	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	2,387	2,406	2,406
Vasse Sports Pavilion Building Reserve Closing Balance			-	-	-
1063 - Waste Facilities and Plant Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(8,135,574)	(8,135,574)	(8,135,574)
10904	Interest Earned	Other General Purpose Funding(O)	(38,433)	(17,155)	(205,856)
12419	Transfer To Reserve	Rubbish Sites Development(O)	-	(146,259)	(1,755,113)
10688	Transfer From Reserve	Depot Washdown Facility Upgrades(C)	-	-	76,700
12225	Transfer From Reserve	Waste and Fleet Services Admin PWOH(O)	-	-	578,501
12421	Transfer From Reserve	City Lined Landfill Stage 2 - Preliminary Works(C)	-	-	80,000
12425	Transfer From Reserve	Busseton Landfill Post-closure Capping, Rehab & Remediat(C)	1,000,000	-	2,000,000
12428	Transfer From Reserve	Re-use shop Busseton Transfer Station(C)	-	-	125,000
12911	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	-	-	424,660
12914	Transfer From Reserve	Minor Plant - Program 10 (C)	-	-	10,000
13654	Transfer From Reserve	CATERPILLAR LANDFILL COMPACTOR REFURBISHED (DUNSB. TIP)(P)	-	-	130,000
14823	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	-	-	438,545
14960	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	-	-	480,000
14962	Transfer From Reserve	WATER TANK FOR DUST SUPPRESSION (C)	-	-	25,000
14966	Transfer From Reserve	DIESEL TANK DWF (C)	-	-	50,000
14968	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	-	-	18,000
14970	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	-	-	18,000
14972	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	-	-	18,000
14974	Transfer From Reserve	HOOKLIFT BIN (C)	-	-	18,000
14976	Transfer From Reserve	HOOKLIFT BIN (C)	-	-	18,000
14978	Transfer From Reserve	ABLE GL3013 GENERATOR (C)	-	-	50,000
14980	Transfer From Reserve	WASTE COORDINATOR VEHICLE (C)	-	-	35,000
14982	Transfer From Reserve	TOYOTA HILUX 4x2 SINGLE CAB (C)	-	-	26,000
14984	Transfer From Reserve	ISUZU D-MAX 4x4 DUAL CAB (C)	-	-	30,000
14986	Transfer From Reserve	HOLDEN COLORADO 4x4 DUAL CAB (C)	-	-	26,000
15066	Transfer From Reserve	Dunsborough Groundwater Investigation (O)	-	-	200,000
15077	Transfer From Reserve	Lunch / Meeting Room for Transfer Station(C)	-	-	50,000
15078	Transfer From Reserve	HAZMET and Dangerous Goods Storage(C)	-	-	108,500
Waste Facilities and Plant Reserve Closing Balance			(7,174,006)	(8,298,988)	(5,062,637)
1064 - Winderlup Aged Housing Reserve (City Controlled)					
10904	Opening Balance	Other General Purpose Funding(O)	(463,208)	(463,208)	(463,208)
10904	Interest Earned	Other General Purpose Funding(O)	(1,882)	(1,445)	(17,340)
11684	Transfer To Reserve	Winderlup Court Aged Housing(O)	-	-	(85,086)
12234	Transfer From Reserve	Aged Housing Capital Improvements - Winderlup Court (City(C)	-	-	49,000
Winderlup Aged Housing Reserve (City Controlled) Closing Balance			(465,089)	(464,653)	(516,634)
1065 - Workers Compensation and Extended Sick Leave					
10904	Opening Balance	Other General Purpose Funding(O)	(4,281)	(4,281)	(4,281)
10904	Interest Earned	Other General Purpose Funding(O)	(15)	(22)	(265)
			-	-	-
			-	-	-
Workers Compensation and Extended Sick Leave Closing Balance			(4,296)	(4,304)	(4,546)
1066 - Youth and Community Activities Building Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(216,652)	(216,652)	(216,652)
10904	Interest Earned	Other General Purpose Funding(O)	1,720	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	214,931	216,652	216,652
Youth and Community Activities Building Reserve Closing Balance			-	-	-

City of Busselton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
1067 - Prepaid Grants and Deferred Works & Services Reserves					
10904	Opening Balance	Other General Purpose Funding(O)	(2,843,445)	(2,843,445)	(2,843,445)
10904	Interest Earned	Other General Purpose Funding(O)	6	-	-
10904	Transfer To Reserve	Other General Purpose Funding(O)	-	(351,808)	(351,808)
10613	Transfer From Reserve	Meelup Coastal Parking & Landscaping(C)	-	-	178,238
10653	Transfer From Reserve	Community Assistance Program (Governance)(O)	-	-	50,000
10904	Transfer From Reserve	Other General Purpose Funding(O)	2,843,438	2,843,445	2,843,445
11040	Transfer From Reserve	Economic and Business Development(O)	-	-	20,000
11128	Transfer From Reserve	Community and Recreation Administration(O)	-	-	31,235
12648	Transfer From Reserve	Rural-Tree Pruning(O)	-	-	72,335
<i>Prepaid Grants and Deferred Works & Services Reserves Closing Balance</i>			-	(351,808)	-
1068 - Airport Development Reserve					
10904	Interest Earned	Other General Purpose Funding(O)	-	-	-
			-	-	-
			-	-	-
<i>Airport Development Reserve Closing Balance</i>			-	-	-
1069 - Airport Infrastructure Renewal and Replacement Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(3,210,167)	(3,210,167)	(3,210,167)
10904	Interest Earned	Other General Purpose Funding(O)	(88,404)	(22,178)	(266,134)
10594	Transfer To Reserve	Airport Operations(O)	(5,960,160)	(6,382,915)	(8,924,456)
10583	Transfer From Reserve	Airport Construction Stage 2, Airfield(C)	-	-	22,478
10585	Transfer From Reserve	BMRA Hangars(C)	-	-	303,790
10589	Transfer From Reserve	Airport Construction, Existing Terminal Upgrade(C)	-	-	103,847
10594	Transfer From Reserve	Airport Operations(O)	-	-	2,500,000
12804	Transfer From Reserve	Airport Terminal Building(C)	-	-	28,481
12932	Transfer From Reserve	Airport Operations - Replacement Toro Groundmaster 7200 M(C)	-	-	22,000
12941	Transfer From Reserve	Airport - Other Buildings(C)	-	-	5,000
14836	Transfer From Reserve	RFDS relocation(C)	-	-	177,515
14838	Transfer From Reserve	BMRAP - Apron Lighting(C)	-	-	65,000
14839	Transfer From Reserve	BMRAP - Apron CCTV(C)	-	-	50,000
14946	Transfer From Reserve	PERUZZO BULL SLASHER (C)	-	-	57,000
14949	Transfer From Reserve	KUBOTA MULE (C)	-	-	10,000
14951	Transfer From Reserve	1500L SELF BUNDED DIESEL FUEL TANK (C)	-	-	14,500
15060	Transfer From Reserve	BMRA MAGS Improvements (C)	-	-	17,000
15061	Transfer From Reserve	BMRA Gate 1 Replacement (C)	-	-	10,000
15062	Transfer From Reserve	BMRA GA Precinct Reseal (C)	-	-	218,810
15083	Transfer From Reserve	New Airport Manager Vehicle (C)	-	-	40,000
15086	Transfer From Reserve	SWDC Airport Development Business Case (O)	-	-	67,000
<i>Airport Infrastructure Renewal and Replacement Reserve Closing Balance</i>			(9,258,731)	(9,615,260)	(8,688,336)
1070 - Airport Noise Mitigation Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(661,140)	(661,140)	(661,140)
10904	Interest Earned	Other General Purpose Funding(O)	(2,266)	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	655,775	661,140	661,140
<i>Airport Noise Mitigation Reserve Closing Balance</i>			(7,631)	-	-
1071 - LED Street Lighting Replacement Program Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(32,228)	(32,228)	(32,228)
10904	Interest Earned	Other General Purpose Funding(O)	227	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	32,000	32,228	32,228
<i>LED Street Lighting Replacement Program Reserve Closing Balance</i>			-	-	-
1072 - Lou Weston Oval Pavilion Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(12,730)	(12,730)	(12,730)
10904	Interest Earned	Other General Purpose Funding(O)	95	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	12,635	12,730	12,730
<i>Lou Weston Oval Pavilion Reserve Closing Balance</i>			-	-	-
1073 - Waterways Restoration Reserve					
10904	Opening Balance	Other General Purpose Funding(O)	(10)	(10)	(10)
10904	Interest Earned	Other General Purpose Funding(O)	442	(506)	(6,071)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(133,469)	(134,559)	(134,559)
12848	Transfer To Reserve	Vasse River - Ongoing Restoration of River Habitat(O)	-	(47,706)	(572,473)
12848	Transfer From Reserve	Vasse River - Ongoing Restoration of River Habitat(O)	-	-	572,473
<i>Waterways Restoration Reserve Closing Balance</i>			(133,037)	(182,781)	(140,640)

City of Busselton
Reserve Movements
For Period Ended 31 July 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<u>1078 - Post Office Tea Rooms Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(48,075)	(48,075)	(48,075)
10904	Interest Earned	Other General Purpose Funding(O)	(559)	(8)	(92)
10020	Transfer To Reserve	Art Geo Administration(O)	-	(1,518)	(18,215)
			-	-	-
<i>Post Office Tea Rooms Reserve Closing Balance</i>			(48,634)	(49,601)	(66,382)
<u>1079 - Peel Tce/Causeway Rd Building Reserve</u>					
10904	Opening Balance	Other General Purpose Funding(O)	(23,429)	(23,429)	(23,429)
			-	-	-
			-	-	-
10904	Transfer From Reserve	Other General Purpose Funding(O)	23,429	23,429	23,429
<i>Peel Tce/Causeway Rd Building Reserve Closing Balance</i>			-	-	-
<i>Grand Total</i>			(73,632,991)	(79,509,176)	(64,748,659)
Opening Balance			(78,138,182)	(78,138,182)	(78,138,182)
Interest Earned			(257,150)	(212,541)	(2,550,492)
Transfer To Reserve			(10,665,175)	(15,090,403)	(36,452,246)
Transfer From Reserve			15,427,515	13,931,949	52,392,260
<i>Grand Total</i>			(73,632,991)	(79,509,176)	(64,748,659)





CITY OF BUSSELTON - INVESTMENT PERFORMANCE REPORT For the month of July 2023



11am Bank Account As at 31 July 2023

INSTITUTION	RATE	AMOUNT
ANZ 11am At Call Deposit	4.00%	\$ 12,700,000

Term Deposits - Miscellaneous Funds As at 31 July 2023

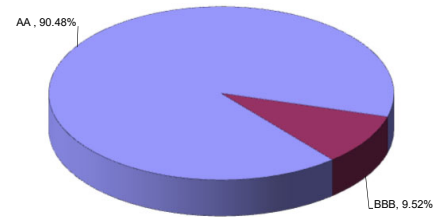
INSTITUTION	RATING	DAYS	MATURITY	RATE	AMOUNT
ANZ	AA	306	16-Feb-24	4.13%	\$ 3,500,000
WBC	AA	184	22-Jan-24	5.36%	\$ 1,500,000
WBC	AA	335	17-May-24	5.27%	\$ 1,500,000
Bendigo	BBB	366	22-Mar-24	4.50%	\$ 3,000,000
WBC	AA	245	06-Nov-23	4.84%	\$ 5,000,000
NAB	AA	301	15-Apr-24	5.45%	\$ 4,000,000
NAB	AA	179	22-Jan-24	5.45%	\$ 2,000,000
WBC	AA	181	24-Aug-23	4.71%	\$ 2,000,000
NAB	AA	152	14-Aug-23	4.45%	\$ 4,000,000
ANZ	AA	306	25-Jan-24	4.17%	\$ 3,000,000
ANZ	AA	305	25-Mar-24	4.56%	\$ 2,000,000
ANZ	AA	337	26-Feb-24	4.16%	\$ 4,000,000
WBC	AA	184	10-Jan-24	5.26%	\$ 4,000,000
NAB	AA	214	03-Oct-23	4.49%	\$ 3,000,000
NAB	AA	207	22-Dec-23	4.90%	\$ 3,000,000
NAB	AA	270	22-Apr-24	5.40%	\$ 4,000,000
ANZ	AA	153	10-Aug-23	4.13%	\$ 2,000,000
ANZ	AA	244	10-Mar-24	5.19%	\$ 3,000,000
CBA	AA	300	22-Feb-24	4.43%	\$ 5,000,000
BoQ/MeBank	BBB	365	23-Apr-24	4.75%	\$ 2,000,000
BoQ	BBB	366	02-May-24	4.55%	\$ 2,000,000
BoQ	BBB	366	30-May-24	4.95%	\$ 2,000,000
ANZ	AA	275	29-Apr-24	5.18%	\$ 4,000,000
CBA	AA	365	27-Jun-24	5.50%	\$ 3,000,000
WBC	AA	335	20-Mar-24	4.50%	\$ 4,000,000
WBC	AA	184	20-Nov-23	4.76%	\$ 4,000,000
WBC	AA	183	20-Dec-23	5.26%	\$ 4,000,000
CBA	AA	365	19-Jun-24	5.58%	\$ 5,000,000
CBA	AA	366	22-May-24	4.97%	\$ 5,000,000

Total of Term Deposits **94,500,000.00**

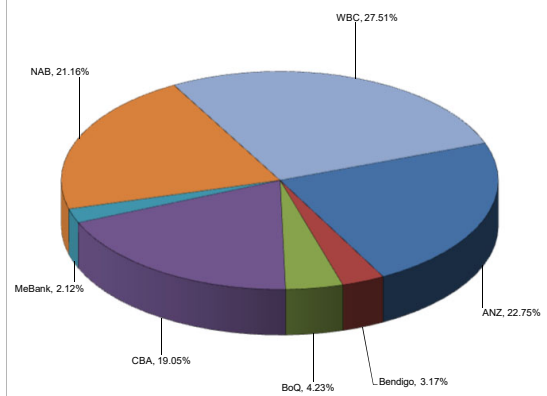
Weighted Average Annual Rate of Return **4.86%**

Investment Graphs

Summary of Term Deposits by S & P Rating
(Excludes WATC and 11am Cash Account Funds)



Summary of Term Deposits by Institution
(Excludes WATC and 11am Cash Account Funds)



Airport Redevelopment Funds As at 31 July 2023

WA Treasury Corp. - Overnight Cash Deposit Facility	4.05%	\$ 614,859
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Total of Airport Redevelopment Funds - WATC \$ 614,859

Nil

Total of Airport Redevelopment Funds - Bank Term Deposits \$0

ANZ Cash Account	AA	NA	NA	4.00%	\$ 192,747
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Total of Airport Redevelopment Funds - Other \$ 192,747

Total of Airport Redevelopment Funds \$ 807,606

(Note: Funds held with the WATC are in accordance with the Airport Redevelopment Funding Contract and the Foreshore Development Contract and are not held within the requirements of the City's Investment Policy 218)

SUMMARY OF ALL INVESTMENTS HELD

	As at 1 year ago	As at 30 June 2023	As at 31 July 2023
11am Bank Account	\$ 13,000,000	\$ 16,500,000	\$ 12,700,000
11am Bank Account Interest - not yet fully processed	-\$ 7,229.45		
Term Deposits - Misc. Funds	\$ 81,500,000	\$ 94,500,000	\$ 94,500,000
Term Deposit Interest - not yet fully processed	-\$ 28,776.18		
Airport Redevelopment - WATC Deposits	\$ 1,641,037	\$ 614,859	\$ 614,859
Airport Redevelopment - ANZ Cash A/c	\$ 784,422	\$ 191,770	\$ 192,747
Total of all Investments Held	\$ 96,889,454	\$ 111,806,629	\$ 108,007,606

TOTAL INTEREST RECEIVED AND ACCRUED \$ 7,870 \$ 3,625,530 \$ 408,666

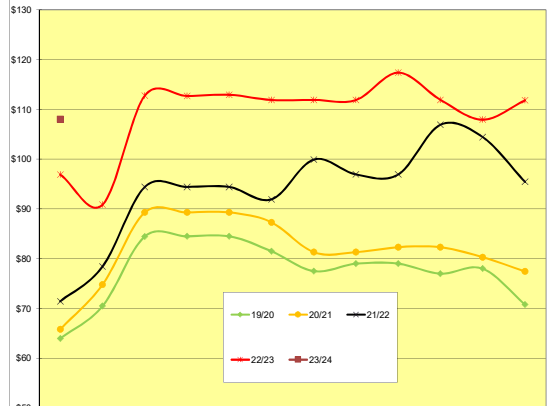
INTEREST BUDGET \$ 133,458 \$ 1,610,000 \$ 329,738

(Note: Interest figures relate to City general funds only and does not include interest allocated to specific areas such as the Airport Redevelopment)

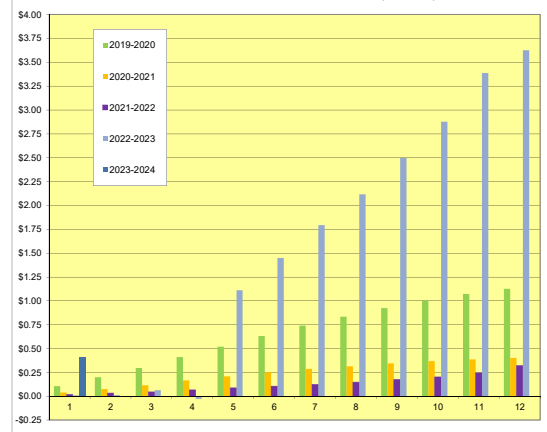
Statement of Compliance with Council's Investment Policy 218

1. All funds are to be invested within legislative limits. **Fully Compliant**
2. All individual funds held within the portfolio are not to exceed a set percentage of the total portfolio value. **Fully Compliant**
3. The amount invested based upon the Fund's Rating is not to exceed the set percentages of the total portfolio. **Fully Compliant**
4. The amount invested based upon the Investment Horizon is not to exceed the set percentages of the total portfolio. **Fully Compliant**

Balance of Investments (\$millions)

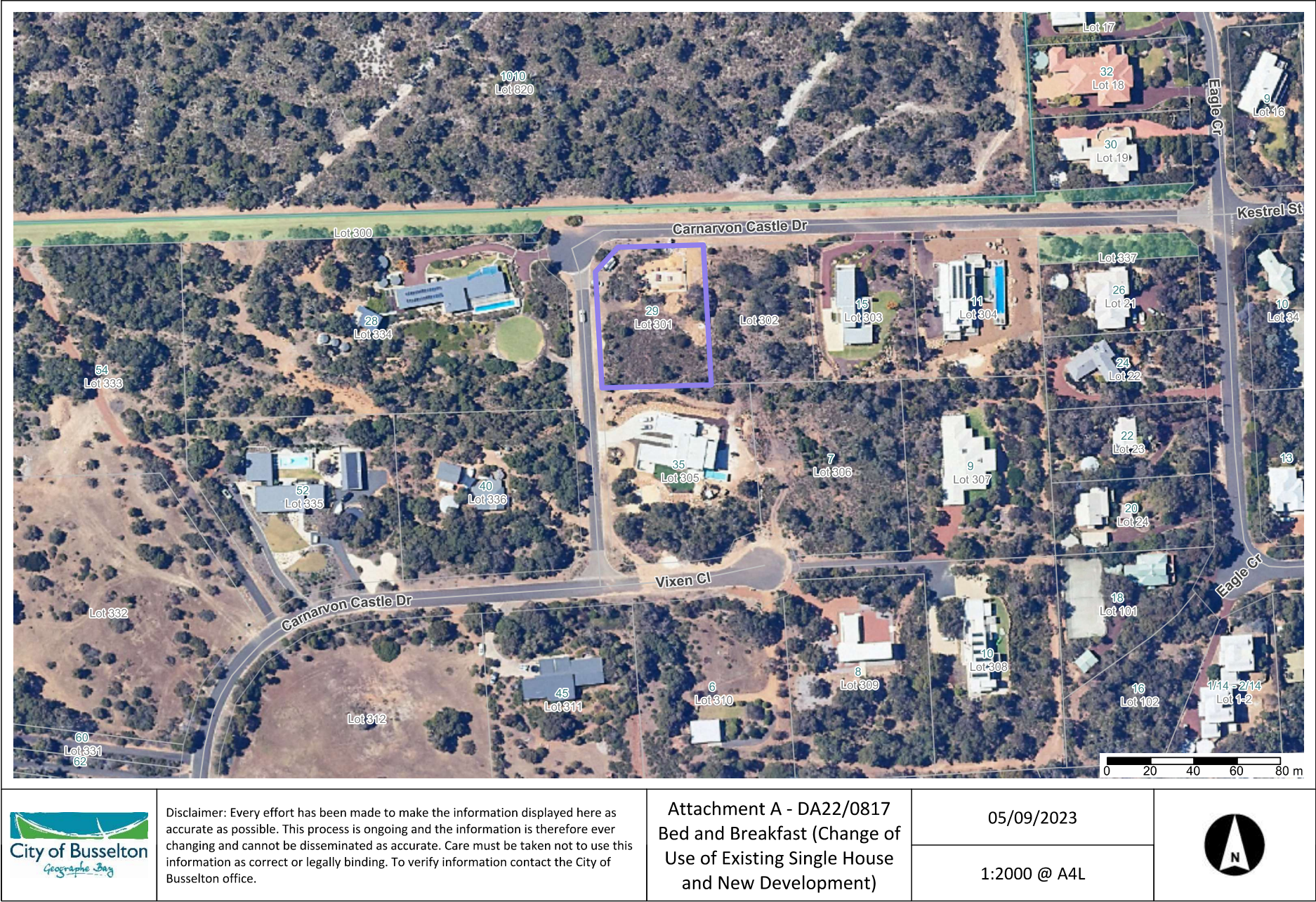


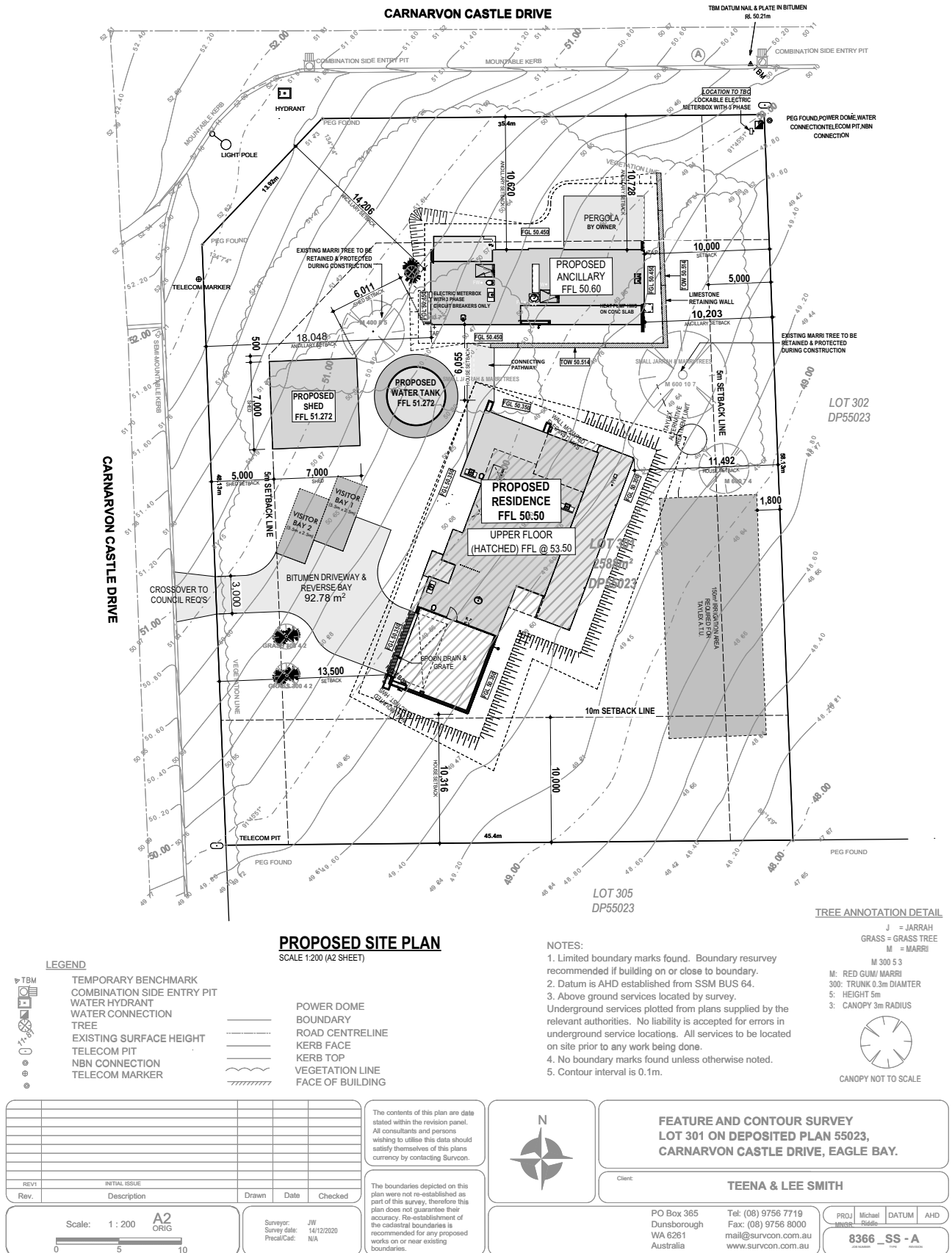
Interest Earned on Investments (\$millions)



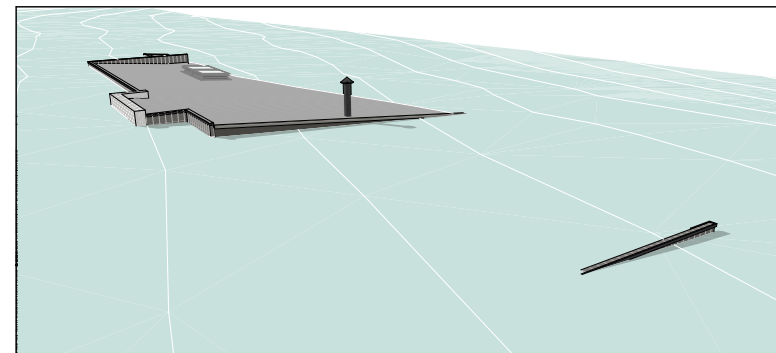
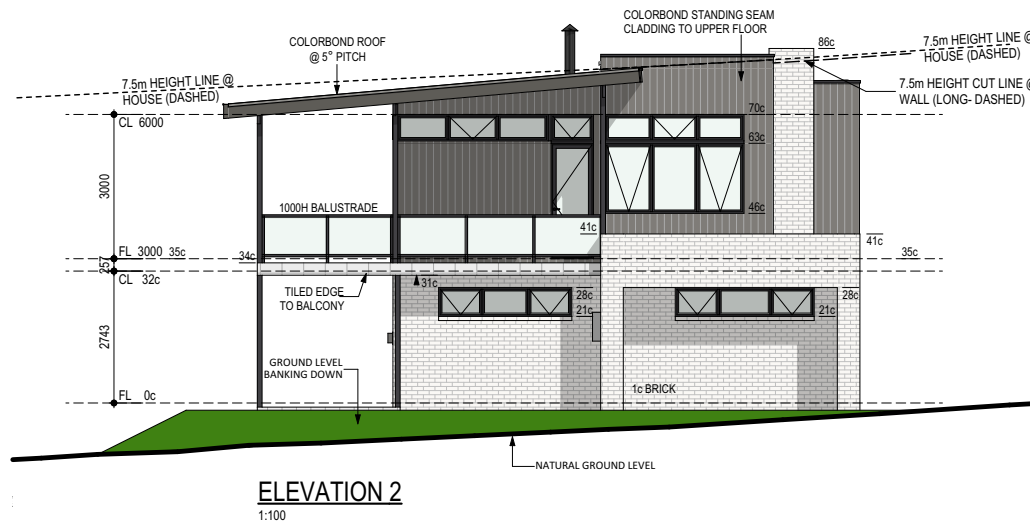
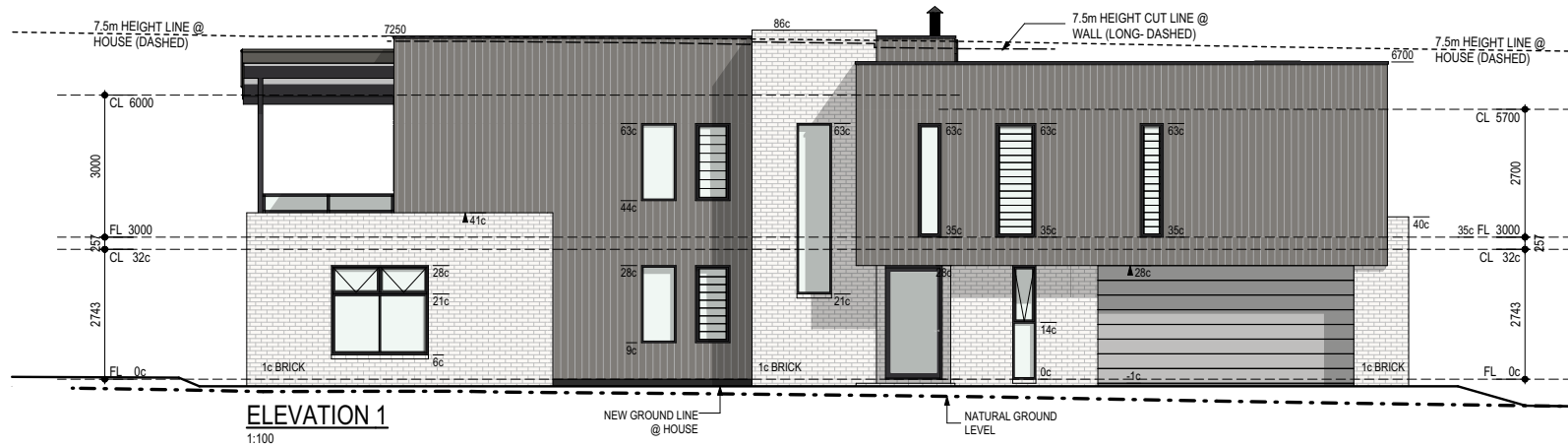
City of Busselton
Loan Schedule - as at 31st July 2023

Purpose	Loan Number	Institution	Budgeted Interest Rate	Term (Years)	Expiry	Actual Interest Rate	2023/24 Actual New Loans	2023/24 Actual Principal Repayments	2023/24 Actual Balance of Principal Owning	2023/24 Actual Interest Repayments	Budget Principal 1 July 2023	2023/24 Budget New Loans	2023/24 Budget Principal Repayments	Budget Principal Outstanding 30 June 2024	2023/24 Budget Interest Repayments
			%			%	\$	\$	\$	\$	\$	\$	\$	\$	\$
<u>Council Loans</u>															
Governance															
Civic and Administration Centre	207	WATC	4.51	20	Jun-34	4.51			11,784,637		11,784,637		847,578	10,937,059	517,286
Recreation and Culture															
Busselton Foreshore	204	WATC	4.36	15	Jun-29	4.36			529,104		529,104		78,907	450,197	21,790
GLC Extensions	205	WATC	3.92	10	Jun-24	3.92			142,648		142,648		142,648	-	3,512
Busselton Foreshore	209	WATC	3.45	12	Jun-27	3.45			2,491,572		2,491,572		590,179	1,901,393	80,879
Busselton Foreshore	211	WATC	2.55	8	Oct-24	2.55		100,047	509,881	3,888	609,928		404,029	205,899	11,710
Busselton Foreshore Jetty Precinct	215	WATC	3.25	10	Apr-28	3.25			1,350,529		1,350,529		252,977	1,097,552	41,853
Tennis Club Facility	216	WATC	3.25	10	Apr-28	3.25			1,485,581		1,485,581		278,274	1,207,307	46,039
Lot 10 Commonage Road	217	WATC	3.25	10	Apr-28	3.25			864,338		864,338		161,904	702,434	26,786
Busselton Tennis Club	218	WATC	2.21	10	Jun-29	2.21			785,242		785,242		123,770	661,472	16,333
BPACC	225	WATC	1.46	10	Dec-31	2.10			4,315,071		4,315,071		468,715	3,846,356	86,900
BPACC	226	WATC	2.02	15	Dec-36	2.39			4,576,387		4,576,387		290,922	4,285,465	106,580
BPACC	228	WATC	3.86	20	Jun-42	3.86			4,830,607		4,830,607		176,025	4,654,582	183,881
BPACC	229	WATC	3.77	17	Jun-39	3.77			4,785,749		4,785,749		222,438	4,563,311	177,199
BPACC	230	WATC	3.25	20	Dec-42	4.42			6,397,516		6,397,516		211,856	6,185,660	279,526
Transport															
Airport Jet A1 Installation	206	WATC	3.92	10	Jun-24	3.92			41,606		41,606		41,606	-	1,024
Airport Freight Hub Stage 1	219	WATC	2.21	10	Jun-29	2.21			929,726		929,726		146,544	783,182	19,339
Strategic Land Purchase	New	Unknown	4.29	10	New						-	1,750,000	106,946	1,643,054	55,137
Other Property and Services															
Lot 40 Vasse Highway	210	WATC	3.61	10	Dec-25	3.61			850,000		850,000			850,000	30,685
							-	100,047	46,670,197	3,888	46,770,244	1,750,000	4,545,318	43,974,925	1,706,459
<u>Self-Supporting Loans</u>															
Recreation and Culture															
Busselton Football and Sportsman's Club	208	WATC	2.93	10.25	Apr-25	2.93			6,564		6,564		3,234	3,330	157
Dunsborough and Districts Country Club	212	WATC	3.04	10	May-27	3.04			49,761		49,761		11,883	37,878	1,423
Geographe Bay Yacht Club	213	WATC	3.04	10	May-27	3.04			43,650		43,650		10,424	33,226	1,248
Dunsborough and Districts Country Club	214	WATC	3.19	10	Sep-27	3.19			53,822		53,822		11,307	42,515	1,627
Busselton Tennis Club	220	WATC	1.37	7	Sep-26	1.37			23,782		23,782		7,205	16,577	289
Busselton Hockey Club Stadium	221	WATC	1.31	10	Jun-30	1.31			32,158		32,158		4,416	27,742	400
Busselton Golf Club	222	WATC	1.45	10	Jun-31	1.45			89,256		89,256		10,600	78,656	1,238
Dunsborough Bay Yacht Club	223	WATC	2.77	5	Dec-26	1.57			17,704		17,704		4,960	12,744	248
Geographe Bay Yacht Club	224	WATC	2.77	10	Dec-31	2.42			43,246		43,246		4,639	38,607	1,004
MRBTA - Ancient Lands Discovery Park	227	WATC	2.77	10	Mar-32	2.77			1,111,965		1,111,965		113,910	998,055	29,639
Community Groups 23/24 \$250K	New	Unknown	3.00	10	New				-		-	250,000	10,804	239,196	3,710
							-	-	1,471,909	-	1,471,909	250,000	193,382	1,528,527	40,983
Total - Council and Self-supporting Loans															
							-	100,047	48,142,106	3,888	48,242,153	2,000,000	4,738,700	45,503,453	1,747,442



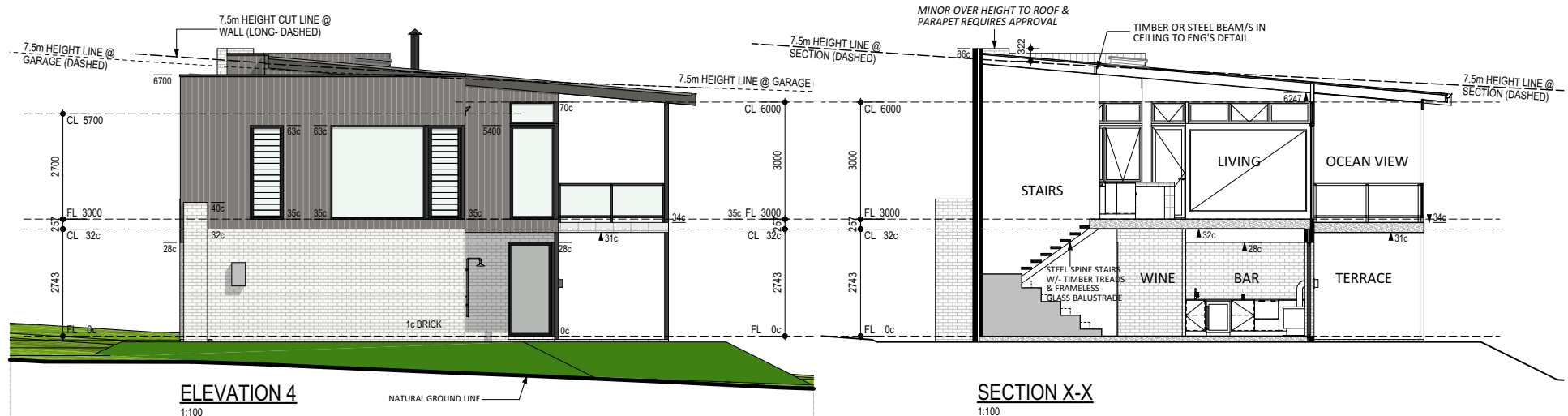
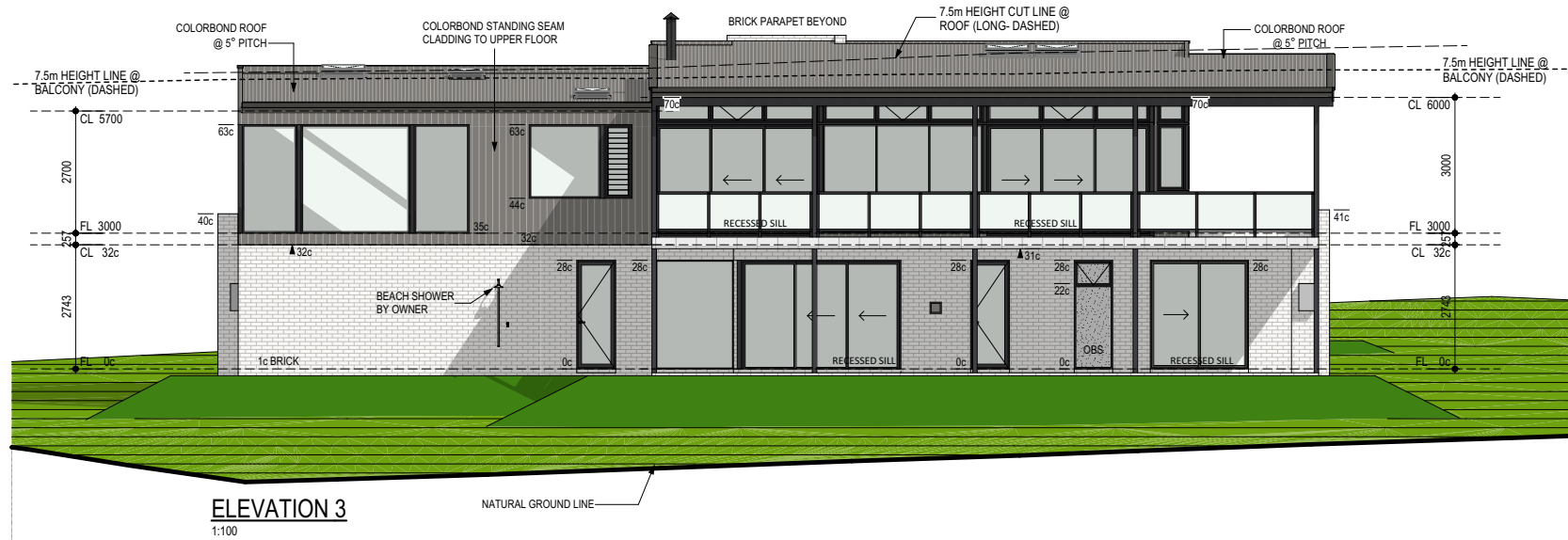


UPPER FLOOR PLAN
1:100



EXTENT OF PARAPET WALLS & ROOF BEYOND 7.5m HEIGHT PLANE

SMITH RESIDENCE
 LOT 301, CARNARVON CASTLE DRIVE, EAGLE BAY
 Consultant :Gaynor Designer :Franco Date :16/06/2023
W:\JOBS MASTER\300000 - 399999 (Framework)\302128 Smith\Working Drawings\01 Sketch\07 Franco 2022\Drawings\SMITH_302128_Franco Rev 1.3.pln



SMITH RESIDENCE

LOT 301, CARNARVON CASTLE DRIVE, EAGLE BAY

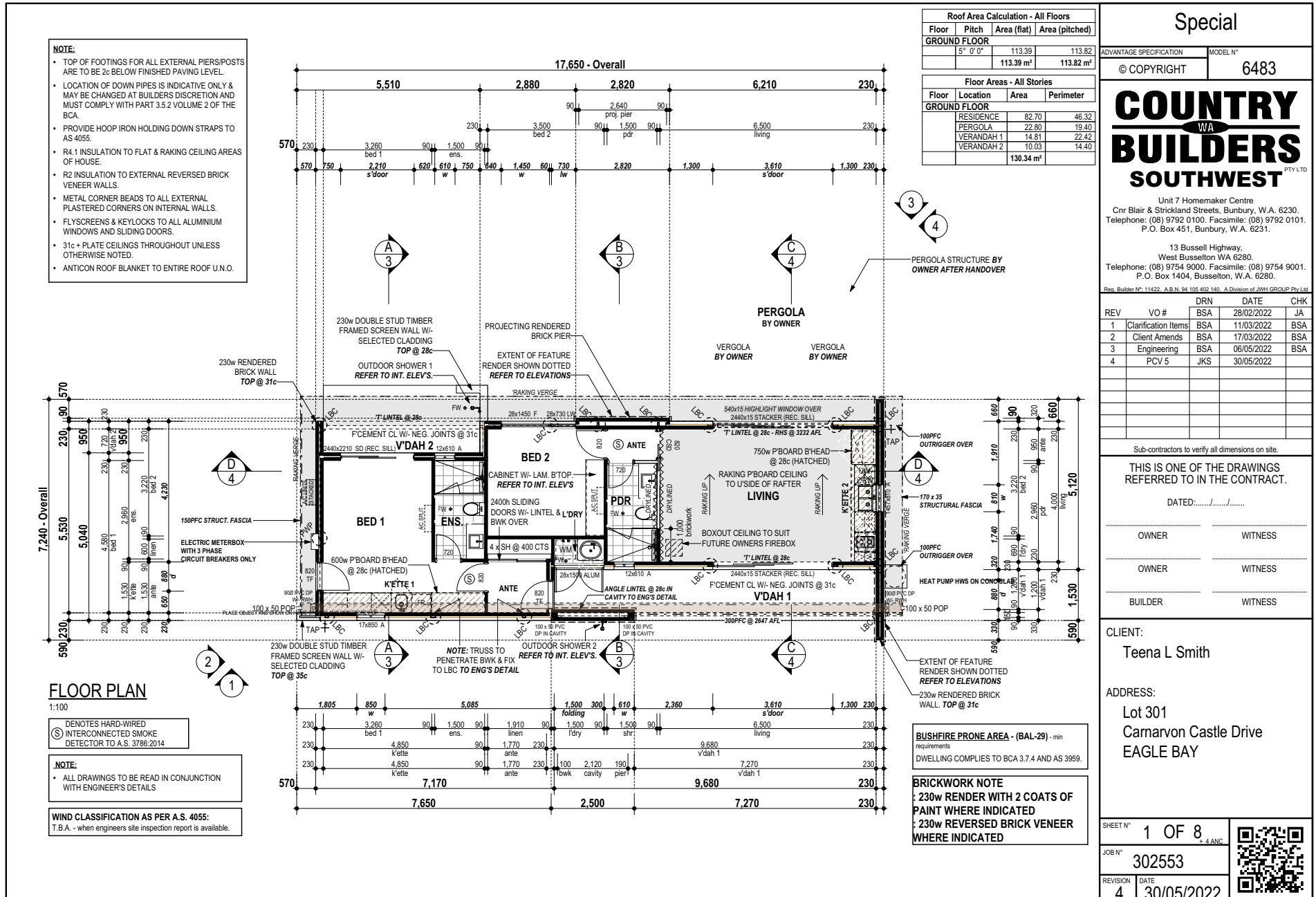
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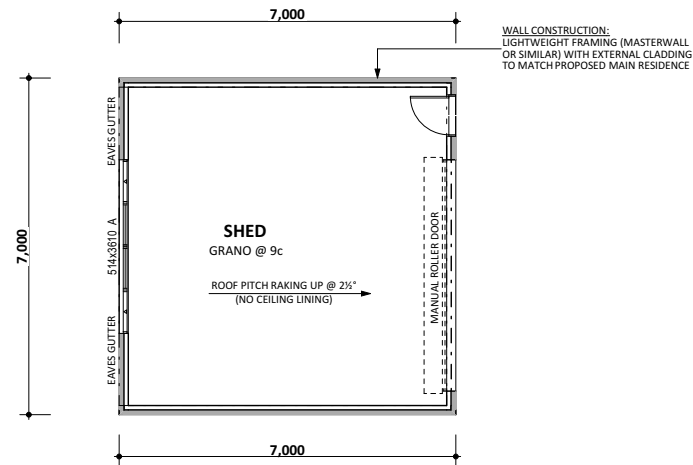
PAGE 4 OF 9

47 of 313

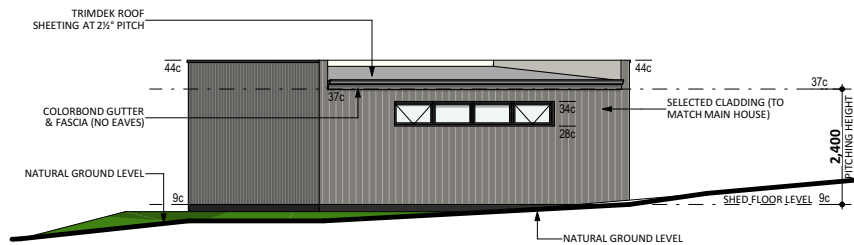
ATT::11.1.2 Attachment 2 Development Plans



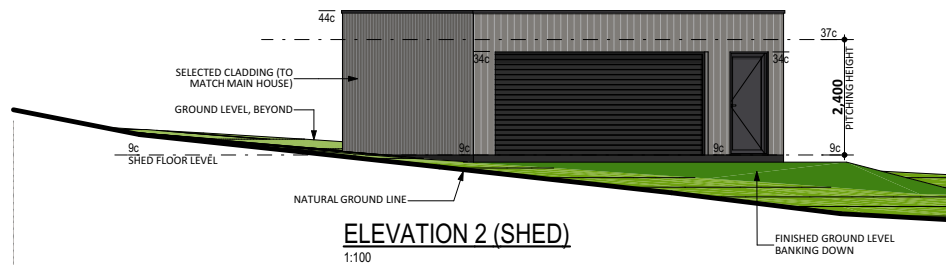




SHED FLOOR PLAN
1:100

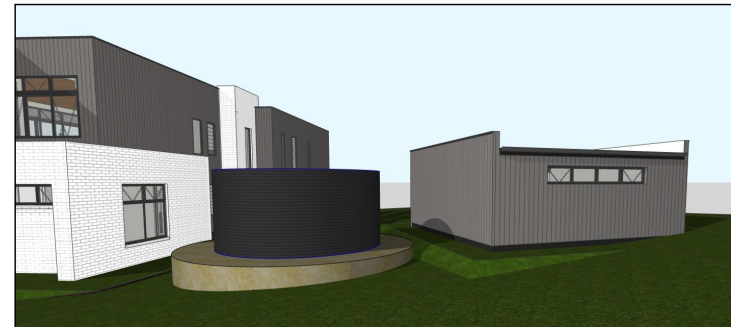


ELEVATION 1 (SHED)
1:100



ELEVATION 2 (SHED)
1:100

SMITH RESIDENCE
LOT 301, CARNARVON CASTLE DRIVE, EAGLE BAY
Consultant :Gaynor Designer :Franco Date :16/06/2023
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Window Schedule													
Home Story Name	Ground Floor												
ID	SW-01	W-01	W-02	W-03	W-04	W-05	W-06	W-07	W-08	W-09	W-10	W-11	W-12
From Room	SHED	POR	ENTRY	RUMPUS	RUMPUS	GUEST 1 ENS	GUEST 1	GUEST 1	GUEST 2	GUEST 2	GUEST 2 ENS	LIFT	STUDY
Elevation View (from exterior)													
Frame type	Awning window	Awning window	Fixed window	Fixed window	Sliding stacker door	Special window	Sliding glass door	Awning window	Awning window	Awning window	Awning window	Special window	Special window
Frame Height	0.51	2.40	2.40	2.40	2.80	2.40	2.14	0.60	0.60	1.89	1.20	1.63	1.63
size Width	3.61	0.73	1.69	1.15	3.55	0.85	2.17	2.89	2.89	2.17	0.61	0.73	0.73
Glazing type	Clear glazing	Reeded glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing
Notes			Narrow frame / frameless style	Corner window	Corner stacker								

Window Schedule													
Home Story Name	Upper Floor												
ID	W-14	W-15	W-16	W-17	W-18	W-19	W-20	W-21	W-22	W-23	W-24	W-25	W-26
From Room	PORCH	PORCH	SITTING	ENSUITE	ENSUITE	MASTER SUITE	MASTER SUITE	TEENA	LIVING	LIVING	LIVING	LIVING	DINING
Elevation View (from exterior)													
Frame type	Fixed window	Fixed window	Louvered window	Fixed window	Louvered window	Awning window	Awning window	Awning window	Fixed window	Awning window	Sliding stacker door	Fixed window	Fixed window
Frame Height	1.20	2.40	2.40	0.43	2.40	2.40	2.40	1.63	2.40	0.55	3.00	0.55	2.40
size Width	0.90	0.85	0.85	2.48	0.85	1.93	2.41	1.45	1.21	1.21	3.58	3.60	3.58
Glazing type	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing
Notes													

Window Schedule											
Home Story Name	Upper Floor										
ID	W-27	W-28	W-29	W-30	W-31	W-32	W-33	W-34	W-35	W-36	W-37
From Room	DINING	DINING	DINING	DINING	KITCHEN	SCULLERY	SCULLERY	SCULLERY	SCULLERY	LIFT	POR 2
Elevation View (from exterior)											
Frame type	Fixed window	Sliding stacker door	Fixed window	Awning window	Awning window	Fixed window	Fixed window	Awning window	Awning window	Fixed window	Louvered window
Frame Height	0.55	3.00	0.55	0.55	0.55	1.46	0.55	1.46	0.55	1.63	1.63
size Width	3.60	3.58	3.60	3.14	0.88	0.61	0.61	2.40	2.39	0.73	0.73
Glazing type	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing	Clear glazing
Notes				MOTORISED (LINKED WITH W-31 & W-35)	MOTORISED			SERVERY WINDOW	MOTORISED		

REV	VO #	DRN	DATE	CHK
1	WORK'G DRAW'G	TW	30/07/2023	

ANCILLARY DRAWINGS

THESE DRAWINGS DO NOT FORM PART OF THE CONTRACT DOCUMENTATION

TO BE USED FOR REFERENCE PURPOSES ONLY

CLIENT:
SMITH

ADDRESS:
Lot 301
Carnarvon Castle Drive
Eagle Bay

ANC SHEET N° A6 OF 7

JOB N°

REVISION DATE
1 30/07/2023

Door Schedule - Upper Floor											
ID	D-19	D-20	D-21	D-22	D-23	D-24	D-25	D-26	D-27	D-28	
From Room	KITCHEN	ENSUITE	DRESSING	ENSUITE	MASTER SUITE	SITTING	SITTING	LIVING	LIFT	LIFT	
To Room	UPPER TERRACE	WC	ENSUITE	MASTER SUITE	DRESSING	MASTER SUITE	TEENA	SITTING	KITCHEN	PDR 2	
Plan View	 28x880 AL [D-19]	 NOT TO SCALE [D-20]	 OSD [D-21]	 820 OSD [D-22]	 820 OSD [D-23]	 P1 [D-24]	 820 [D-25]	 P1 [D-26]	 LIFT [D-27]	 LIFT [D-28]	
Elevation View (from door side)											
Frame type	Aluminium door	Internal Aluminium - LCH	Cavity sliding door	Cavity sliding door	Cavity sliding door	Internal Aluminium	Internal Aluminium	Internal Aluminium	Cavity sliding door	Cavity sliding door	
Frame size	Height 2.40 Width 0.88	Height 2.70 Width 0.78	Height 2.70 Width 0.72	Height 2.70 Width 0.82	Height 2.70 Width 0.82	Height 2.70 Width 0.88	Height 2.70 Width 0.88	Height 2.70 Width 1.70	Height 2.70 Width 0.82	Height 2.70 Width 0.72	
Glazing type	Clear glazing	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	
Door hand	Right	Right	Right	Right	Right	Left	Right	Both	Left	Left	
Notes	External door		Platinum 9000	Platinum 9000	Platinum 9000				Platinum 9000	Platinum 9000	

Sub-contractors to verify all dimensions on site.	
<h1 style="text-align: center;">ANCILLARY DRAWINGS</h1> <p style="text-align: center;">THESE DRAWINGS DO NOT FORM PART OF THE CONTRACT DOCUMENTATION</p> <p style="text-align: center;">TO BE USED FOR REFERENCE PURPOSES ONLY</p>	
<p>CLIENT:</p> <p style="text-align: center;">SMITH</p>	
<p>ADDRESS:</p> <p style="text-align: center;">Lot 301 Carnarvon Castle Drive Eagle Bay</p>	
<p>ANC SHEET N°</p> <p style="text-align: center;">A7 OF 7</p>	
<p>JOB N°</p>	
<p>REVISION</p> <p style="text-align: center;">1</p>	<p>DATE</p> <p style="text-align: center;">30/07/2023</p>

Bushfire management plan/Statement addressing the Bushfire Protection Criteria coversheet

Site address:

Site visit: Yes ☐ No ☐

Date of site visit (if applicable): Day Month Year

Report author or reviewer:

WA BPAD accreditation level (please circle):

Not accredited ☐ Level 1 BAL assessor ☐ Level 2 practitioner ☐ Level 3 practitioner ☐

If accredited please provide the following.

BPAD accreditation number: Accreditation expiry: Month Year

Bushfire management plan version number:

Bushfire management plan date: Day Month Year

Client/business name:

	Yes	No
Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?	<input type="checkbox"/>	<input type="checkbox"/>
Have any of the bushfire protection criteria elements been addressed through the use of a performance principle (tick no if only acceptable solutions have been used to address all of the bushfire protection criteria elements)?	<input type="checkbox"/>	<input type="checkbox"/>

Is the proposal any of the following (see [SPP 3.7 for definitions](#))?

	Yes	No
Unavoidable development (in BAL-40 or BAL-FZ)	<input type="checkbox"/>	<input type="checkbox"/>
Strategic planning proposal (including rezoning applications)	<input type="checkbox"/>	<input type="checkbox"/>
High risk land-use	<input type="checkbox"/>	<input type="checkbox"/>
Vulnerable land-use	<input type="checkbox"/>	<input type="checkbox"/>

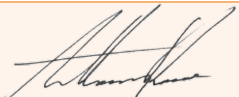
None of the above ☐

Note: Only if one (or more) of the above answers in the tables is yes should the decision maker (e.g. local government or the WAPC) refer the proposal to DFES for comment.

Why has it been given one of the above listed classifications (E.g. Considered vulnerable land-use as the development is for accommodation of the elderly, etc.)?

The information provided within this bushfire management plan to the best of my knowledge is true and correct:

Signature of report author or reviewer



Date

Bushfire Management Plan

29 Carnarvon Castle Drive Eagle Bay

November 2022





LIMITATIONS STATEMENT

This Bushfire Management Plan ('BMP') has been prepared for the assessment (*Planning and Development Act 2005*) to construct a single dwelling at 29 Carnarvon Castle Drive Eagle Bay, with State Planning Policy 3.7 (Bushfire). The site is within the City of Busselton which is the decision maker.

Envision Bushfire Protection

ABN: 90958370365

PO Box 7209 SHENTON PARK WA 6008

Ph: 0428 066 147

Email: admin@envisionbp.com.au

Version Control

29 Carnarvon Castle Drive Eagle Bay			
Version	Date	Author	
V1	04 November 2022	Anthony Rowe	submission

Copyright

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Disclaimer

In undertaking this work, the authors have made every effort to accurately apply the available information at the time of writing following the instructions of the regulatory authorities and applying best practice as described by the Fire Protection Association Australia. Any conclusions drawn or recommendations made in the report are made in good faith, and the consultants take no responsibility for how this information and the report are subsequently used.

Envision Bushfire Protection accepts no liability for a third party's use of, or reliance upon, this specific report.

Envision Bushfire Protection accepts no liability for the inaction of the owner to provide or maintain the bushfire protection measures identified in this report. Vegetation is dynamic, building materials may distort, and the accumulation and the location of flammable materials near the building may affect the potential for damage or loss of a building to occur.

Failure to maintain the property and/or building to these standards may compromise an insurance policy if currently covering any of your assets or those of any third party that may be consequentially affected due such failure. If not insured, and if you are seeking insurance, this report may not influence the decision of any insurer not to offer cover.

Importantly the measures contained in this report cannot guarantee human safety or an absence of harm or that the building will not be damaged or would survive a bushfire event on every occasion. This is due to the unpredictable nature of fire behaviour (knowledge in this field continues to develop) and the unpredictable nature of extreme weather conditions.



Scope of this report

Envision Bushfire Protection has been engaged to provide expert bushfire safety and planning advice.

The scope of the advice has been to assess the proposal for compliance with the policy measures described in State Planning Policy 3.7.

The investigations and mitigation measures identified in the BMP, has, in turn, formed the basis for the preparation of a Bushfire Emergency Evacuation Plan.

Client relationship

I was engaged to provide expert bushfire safety and planning advice. My relationship with the client is a standard commercial contract, and no private, personal, or other matter has influenced the content of the BMP or my findings.

STATEMENT OF CONFORMITY – PLANNING AND DEVELOPMENT ACT 2005

Anthony Rowe Level 3 - BPAD36690

Principal



The signatory declares that this Bushfire Management Plan meets the requirements of State Planning Policy 3.7 and the Guidelines for Planning in Bushfire Prone Areas v1.4



EXECUTIVE SUMMARY

Preface

The proposal is to construct a single dwelling at 29 Carnarvon Castle Drive Eagle Bay

The site is within a declared bushfire prone area. Accordingly, the proposal is development that is required to be assessed for its compliance with State Planning Policy 3.7 *Planning in Bushfire Prone Areas* ('SPP 3.7') and the bushfire protection criteria described in the Guidelines V1.4.

The intent of the policy is: ***"to preserve life and reduce the impact of bushfire on property and infrastructure"***.

This BMP has been prepared in accordance with SPP 3.7 and Appendix Five in the Guidelines V1.4 and the Department of Planning Lands and Heritage (DPLH) *BMP Template for a complex development application*; the following has been prepared to comply with the DPLH template.

1. Proposal details (addressed in Section 1)

The proposal comprises a single dwelling, shed (outbuilding) and paved driveway.

The site is a 2588 m² lot and located within a residential area in Eagle Bay.

The site has a consistent downward slope of 1.0° downward to the east and south.

The site is presently occupied by an Ancillary dwelling and vegetated with scrub (trees up to 6 m) and shrubland (shrubs < 2m).

2. Environmental considerations (addressed in Section 2)

The site is located within a 'built-out residential area', in the township of Eagle Bay within the City of Busselton.

The site is identified to be within an area supporting *Threatened Ecological Communities* (DBCA-038) – Western Ring Tail Possum.

The placement of the dwelling, paved driveway and outbuilding will displace vegetation on site. The development of the land to the south is compliant with the land being low threat. The lot immediately east boundary is currently classed as Shrubland; it is zoned residential and can be expected to be developed with a house and gardens and following development will become a low threat.

The clearing of vegetation to facilitate the construction of a dwelling at an established residential lot is exempt from the requirements of State Environment legislation. The advice of the Department of Water, Environment Regulation should be sought prior to any clearing of vegetation. The Department provides services to the Environmental Protection Authority and the administration of the clearing requirements under the Environment Protection Act 1986.

3. Bushfire assessment results (addressed in Section 3)

A Bushfire Attack Level assessment following **Method 1** AS 3959:2018, and the DPLH *Visual guide for bushfire risk assessment in Western Australia*, and using an FFDI of 80, has been undertaken.



Buildings and driveways will displace most of the vegetation on the site the remainder will be developed to an Asset Protection Zone Standard.

The land immediate to the south of the site is under development of single dwellings; whilst that development is not yet evident in aerial photos, the area is classified as low threat. The vacant lot immediately east of the site is currently classified as Shrubland but will become low threat following its development for the intended residential purpose.

The Indicative BAL (post development APZ) is attached at Figure 5.

The indicative BAL at the dwelling has been assessed as BAL-29 utilising Method 1.

4. Identification of bushfire hazard issues (addressed in Section 4)

The site is located within an area comprising low density residential lots. The lot to the south is now under construction with a single dwelling and a landscaped site. Immediately east is Shrubland, but that threat will be displaced when development of the residential lot occurs.

The site borders Carnarvon Castle Drive at both the west and south boundaries.

An area of contiguous Scrub is located to the west of the site but is separated from the site by Carnarvon Castle Drive. Fragmented Scrub is also located north of the site but is also separated from the site by Caravan Castle Drive.

The proposed dwelling will be sited to achieve BAL 29. The dwelling will not be subject to direct flame contact, other than the possibility resulting from the ignition of flammable materials if located near to the building.

Aside from radiant heat, the site may experience localised ember attack, from a fire in the scrub area to the north and west of the site. Ember attack from large forest areas within 5 km can also occur, but the density reduces as the distance from the firefront increases.

The construction standard (BAL 29) addresses measures to resist radiant heat and ember attack but the ignition of flammable materials if left near the building may exceed the construction standard. Ongoing site management and vigilance are required throughout the fire season to avoid the ignition of flammable materials from ember attack.

Carnarvon Castle Drive provides access to the site from the township of Eagle Bay, BAL Low, and from along the coast. It is a long no through road, but a community emergency access way has been established, as an alternate route, for the township to evacuate through to Cape Naturaliste Road.

The area is provided with a private reticulated water supply and a hydrant to Water Corporation standards is located immediate to the site. The Eagle Bay township has a volunteer fire brigade. Whilst attendance cannot be guaranteed, facilities to support fire suppression, water and the brigade, are available.

5. Assessment against the bushfire protection criteria (addressed in Section 5)

The proposal was compared with the four Bushfire Protection Criteria Elements: Location, Siting and Design, Access, and Water.



Note: The Guidelines for Planning in Bushfire Prone Area V1.4, no longer mandate compliance with the Element 3 Vehicle Access requirements that are external to the site, if the lot exists and the proposal is for a single dwelling, ancillary dwelling or minor development.

5.1 Bushfire Protection Criteria

Element 1 Location - requires development avoid areas of extreme Bushfire Hazard level or achieve BAL-29 upon completion.

The proposed dwelling is BAL-29.

Element 2 Siting and Design – requires that a planning application should demonstrate the habitable buildings will not be exposed to a BAL greater than BAL-29.

Figure 5 illustrates the proposal upon completion can achieve BAL-29.

Element 3 Vehicle Access – requires the site has access to a through road to provide alternate routes of escape and access for fire fighters.

The proposal is for a single dwelling on a residential lot within a residential built out area. The public road network servicing the site has been established.

Only the technical requirements for private driveways apply to a proposal for a single dwelling, if the driveway is longer than 70 m.

The proposed dwelling is less than 70 m from a public road. The technical requirements, for a private driveway do not apply.

Element 4 Water – requires the availability of water for firefighting purposes. The site has access to a reticulated water supply and hydrants are located in Carnarvon Castle Drive immediate to the site.

5.2 Additional Bushfire Management Strategies (addressed in section 5.2)

No additional bushfire management strategies have been identified.

5.3 Spatial representation of the bushfire management strategies (Figure EX 1)

The key features demonstrating compliance with the bushfire protection measures are identified on the *Spatial representation of the bushfire management strategies*.

These actions are reflected in the following *Responsibilities for implementation and management of the bushfire measures*.

6. Responsibilities for implementation and management of the bushfire measures

The Owner responsibilities (Guidelines 4.6.3) identify the bushfire management measures necessary to achieve compliance with the bushfire protection criteria.

The *Responsibilities for Implementation and Management of the Bushfire Measures*, addressed in section 6 of the BMP and identified at Figure EX1 supersede or are additional to the details included within the development application.

Figure Ex1: Spatial representation of the bushfire management strategies

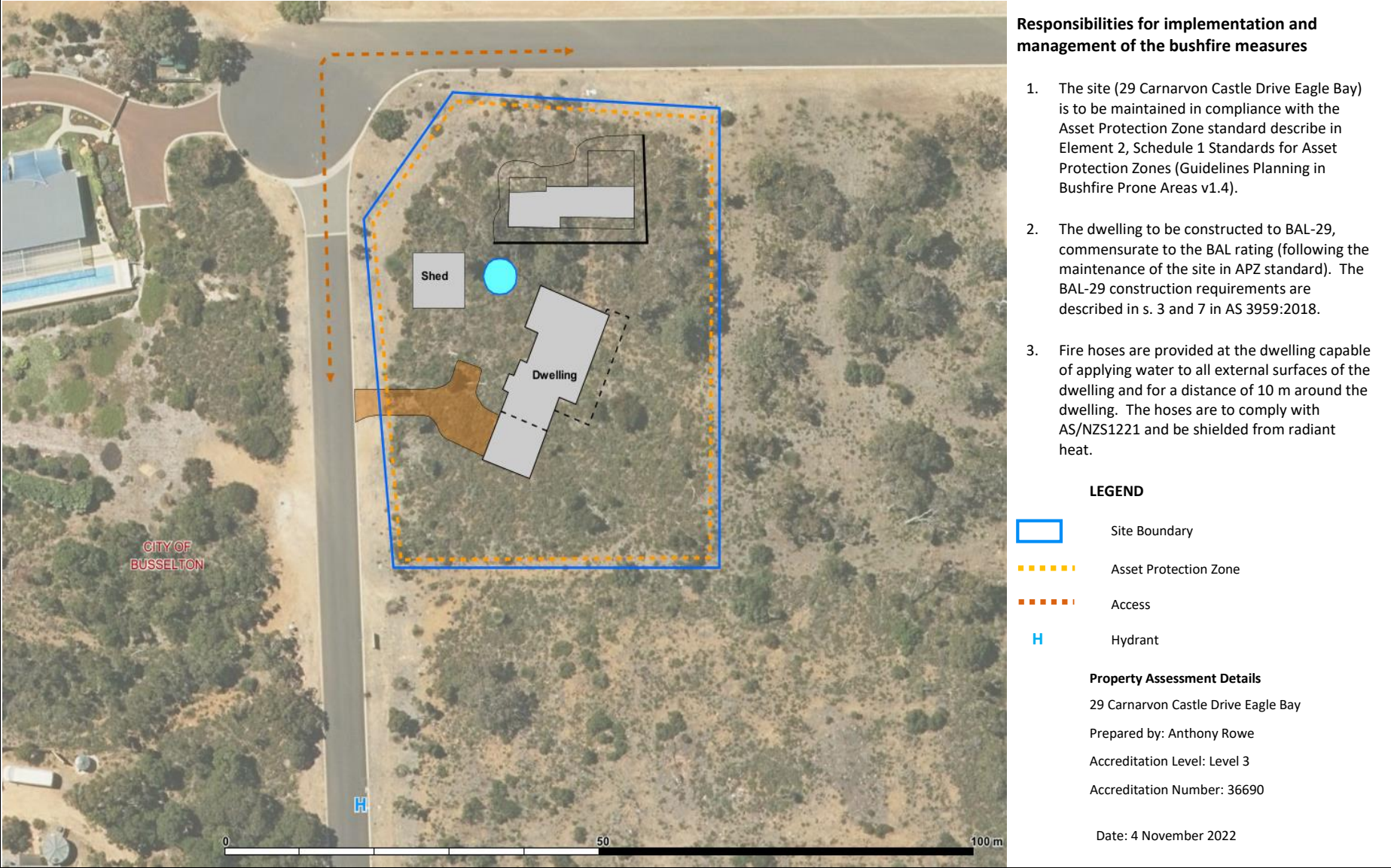




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APPENDIX 1 - APZ Guidelines

APPENDIX 2 –City Firebreak Notice

APPENDIX 3 – References



1. PROPOSAL DETAILS

1.1 Introduction

Envision Bushfire Protection has been commissioned to prepare a Bushfire Management Plan, in support of an application for construction of a single dwelling at Lot 301 Carnarvon Castle Drive Eagle Bay.

The subject land is within a declared bushfire prone area (Plate 2).

In accordance with SPP 3.7 the planning authority in determining an application in a declared bushfire prone area must be satisfied the proposal is consistent with the Policy intent, ***to preserve life and reduce the impact of bushfire on property and infrastructure.***

Purpose of this Plan

The purpose of this BMP is to assess the suitability of the proposal and its location for the intended use and identify the measures to avoid an increase in the threat of bushfire and reduce the vulnerability of people and property (to the degree necessary) from a 'significant adverse bushfire impact'.

SPP 3.7 is a risk-based framework that utilises AS 3959:2018 to determine the bushfire risk. Acceptable Solutions, or compliance through performance principle described under each Element in the Bushfire Protection Criteria, represent acceptable treatments, determined as an acceptable risk.

Site and Proposal Description

The proposal is to utilise the single dwelling.

An inspection of the locality and the site was undertaken on 7 May 2022.

The land adjoining the site to the south has a single dwelling under construction and a narrow area of retained remnant vegetation (excluded) is located at the south boundary. The residential lot to the east of the site is yet to be developed and is characterised by shrubs up to 2 m (shrubland).

Vegetation in the locality and on the site was recorded and witnessed with GPS reference photographs, and slopes recorded with a Nikon forestry Pro.

The road access routes, were traversed as part of the inspection and determined to be suitable for two wheel drive vehicles.

Hydrants were identified to be in proximity to the site, along Carnarvon Castle Drive.

Proposal details

The proposal and its context comprise:

Address	29 Carnarvon Castle Drive			
Local Government Area	City of Busselton			
Local Planning Scheme Zone	The land is zoned Residential in the City of Busselton Local Planning Scheme 21.			
Bushfire Season	November – May (precise dates vary annually)			
Development proposal	Single dwelling			
Building class	Class 1			
Lot size	2588 m ²			
Land description site	The site is currently vacant of any building			
Adjoining Land uses	North	East	South	West
	Contiguous Scrub extending north.	Residential, remnant vegetation until developed.	Residential, followed by remnant vegetation.	Residential Fragmented scrub extending west.
Road Access	The site is accessed by Carnarvon Castle Drive, it connects to Fern Road-Eagle Bay Road to offer travel into Dunsborough town centre 9 km to the south. An alternate route to Dunsborough is provided through an Emergency Access Way to Cape Naturaliste Road from Carnarvon Castle Drive (west from the site) or from Annamaria Rise by road south of the site.			
Nearest town centre	Dunsborough			
Water supply	The site has access to a reticulated water supply and a hydrant network.			
Tele communications	The site is within the Telstra 4G network			
Emergency services	The nearest rural fire brigade is the Eagle Bay Volunteer Bush Fire Brigade located on Fern Road 700 m east of the site.			
Minor Development	N/A			
Unavoidable development	N/A			
Vulnerable Development	N/A			
High risk land use	N/A			

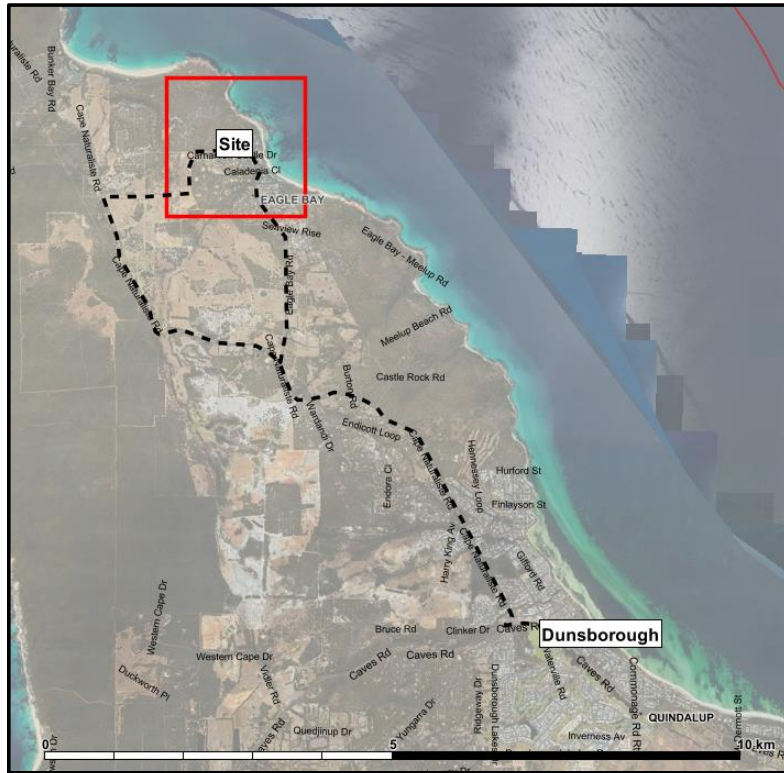


Plate 1: Site in Locality

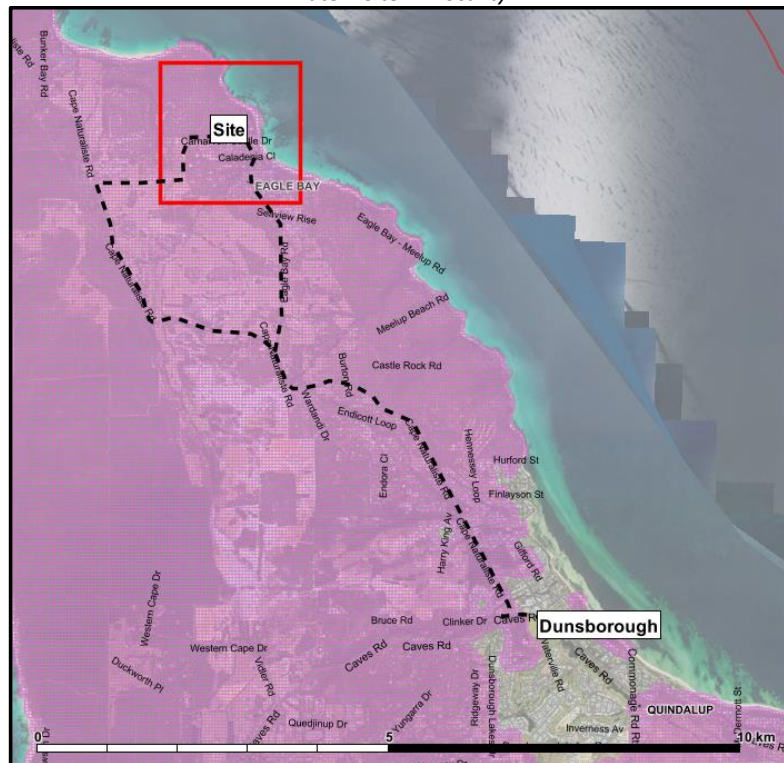


Plate 2: OBRM Bushfire Prone Area (Pink area)

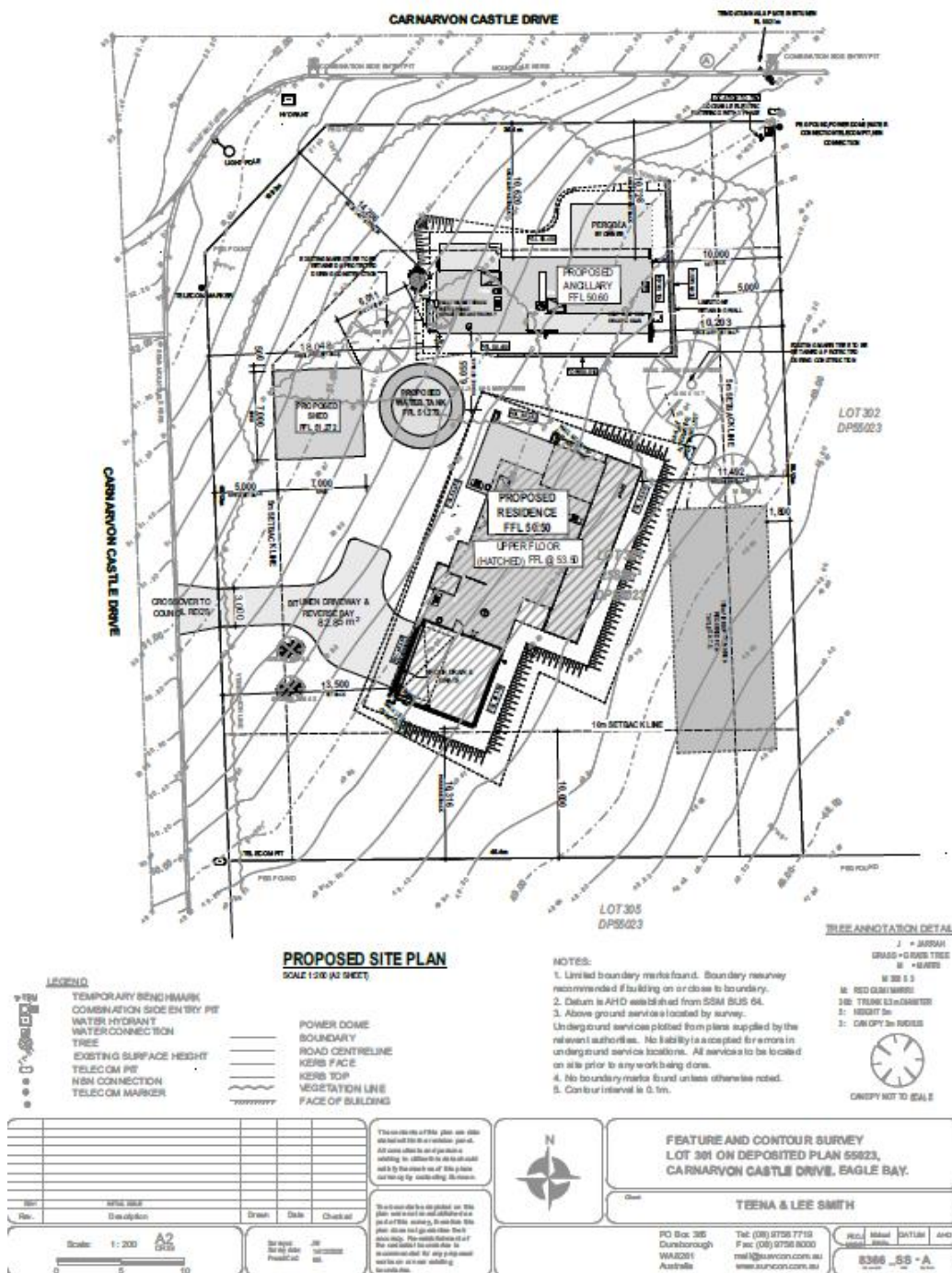


Plate 3a: Floor plan



Plate 3b: Dwelling elevations



1.2 Regulatory Compliance Requirements

Planning and Development Act 2005 - SPP 3.7

On 7 December 2015, the State Government introduced by Gazette, a state map of Bushfire Prone Areas by order under the *Fire and Emergency Services Act 1998* and introduced development controls in Bushfire Prone Areas through the *Planning and Development Act 2005*. These controls were authorised by State Planning Policy 3.7 (Planning in Bushfire Prone Areas) regulations introduced under Part 10A Schedule 2 of the *Planning and Development (Local Planning Scheme) Regulations 2015* and guided by the *Guidelines for Planning in Bushfire Prone Areas*.

The State Planning Policy, Regulations, and Guidelines now form the foundation for fire risk management planning in WA at a community and land development level. The Policy Intent of SPP 3.7 is ***to preserve life and reduce the impact of bushfire on property and infrastructure***.

Applicable clause from SPP 3.7, include:

SPP 6.2: A development application within a bushfire prone area has or will, on completion, have a moderate BHL and/or where BAL-12.5 to BAL-29 applies, may be considered for approval. *In this instance the proposal can achieve BAL 29 (refer to Figure 5).*

SPP 6.5: A development application in a bushfire protection area is to be accompanied by an assessment against the bushfire protection criteria contained within the Guidelines, demonstrating compliance within the boundary of the development. *The proposed development requires no imposition beyond its site.*

SPP 6.7: A development that will result in the introduction or intensification of development or land use in an area that has or will, on completion, have an extreme BHL and/or BAL-40 or BAL-FZ will not be supported. *The dwelling can achieve BAL 29.*

SPP 6.10: The decision-maker may impose a 'notice on title' advising that the site is located in a bushfire prone area and is subject to a Bushfire Management Plan. *This is routinely imposed as a condition of planning approval.*

Building Act 2011

The proposal is a Class 1 building (single dwelling) for the purpose of the *Building Act 2011*. The Act only applies the National Construction Code 2019 AS 3959:2018 to the construction of class 1, 2, 3, and 10a, buildings but AS 3959:2018 is used to determine the siting considerations for all habitable buildings.

Outbuildings are not required to be constructed to a BAL standard if it is located more than 6 m from a habitable building. In this instance the dwelling as the habitable building will be required to be constructed to the BAL level commensurate to its location. The Existing Ancillary Dwelling is constructed to the required BAL level. The proposed outbuilding (shed) is located more than 6 m from the habitable building and will not require a bushfire construction standard.

Bush Fires Act 1954

Section 33 of the *Bush Fires Act 1954* recognises the responsibility of all landowners to prevent the spread of bushfire. The City issues a Firebreak Notice annually. The City can issue a notice upon the landowner to act as and when specified in the notice with respect to anything which is upon the land, and which in the opinion of the local government or its duly authorised officer, is or is likely to be, conducive to the outbreak of a bushfire or the spread or extension of a bushfire.

An owner who fails to comply with a notice is guilty of an offence (Penalty: \$5,000). The local government may in addition carry out the required works of the notice and recover the costs incurred by application to a Court.

2. ENVIRONMENTAL CONSIDERATIONS

2.1 Native Vegetation – Modification and Clearing

A fundamental consideration in the assessment of development under SPP 3.7 is to avoid instances where bushfire risk management measures would conflict with or be limited by other biodiversity management measures.

Conservation class legislation

The ability to implement bushfire risk management measures may be affected by a number of conservation class vegetations: described below.

Environment Protection Act 1986 and Environmental Protection (clearing native vegetation) Regulation 2004

It is an offence to clear native vegetation without the authority of a permit or an exemption. The act of clearing native vegetation, requires a permit from either the Department of Water and Environmental Regulation (DWER) or the Department of Mines, Industry Regulation and Safety (DMIRS), unless an exemption applies.

Exemptions include:

Environment Protection Act 1986

- Clearing required by local government Section 33 *Bush Fires Act 1954*.
- **Clearing in accordance with the terms of a subdivision approval.**
- Clearing in accordance with a permit under the *Bush Fires Act 1954* (prescribed burning) and clearing by a bushfire control officer.

Environmental Protection (clearing native vegetation) Regulation 2004 (exemptions do not apply in Environmentally Sensitive Areas, and clearing > than 5 ha)

<https://www.der.wa.gov.au/your-environment/environmentally-sensitive-areas>

- Clearing to the extent necessary to construct an approved building.
- Clearing that is for fire hazard reduction burning.
- Clearing to maintain an area cleared in the last ten years.

(WA) Biodiversity Conservation Act 2016 and Bio-diversity Conservation Regulations 2018

The *Biodiversity Conservation Act, 2016*, replaces the *Wildlife Conservation Act, 1950*, and the *Sandalwood Act, 1929*, it became operational with the *Bio-diversity Conservation Regulations 2018*, on 1 January 2019.

The Act provides for listing species, threatened ecological communities (TECs), key threatening processes, and critical habitats. It introduces criteria for listing species 'endangered', 'critically endangered' or 'vulnerable,' to align with the Environment Conservation and Biodiversity Conservation Act 1999 (Cth).

The *Biodiversity Conservation Act 2016* recognises that activities approved under the *Environment Protection Act 1986* do not require further approval include clearing of native vegetation that is either exempt or done under the authority of a clearing permit or done in accordance with an implementation decision under Part IV of the *Environment Protection Act 1986*.

Commonwealth Environment Protection Biodiversity Conservation Act 1999

The Commonwealth Environment Protection Biodiversity Conservation Act 1999 provides for the protection of matters of national environmental significance. National environment law does not generally regulate fire prevention measures taken by state and territory governments, but no specific exemptions are provided.

In accordance with the Department of Planning Lands and Heritage template (BMP template to support a BAL Contour Assessment) a review of the listed databases has been undertaken as part of this assessment to identify whether restrictions or other specific considerations may apply that would affect the implementation of any bushfire protection initiatives that may otherwise be identified.

A fundamental consideration in the assessment of development under SPP 3.7 is to avoid instances where bushfire risk management measures would conflict with or be limited by other biodiversity management measures.

In accordance with the Department of Planning Lands and Heritage template (Bushfire Management Plan template to support a BAL Contour Assessment) a review of the listed databases (table 1) has been undertaken as part of this assessment to identify whether restrictions or other specific considerations may apply that would affect the implementation of any bushfire protection initiatives that may otherwise be identified.

Table 1: Ecological database assessment.

Is the land affected by:	Yes/No/NA	If yes - describe	
Conservation Wetland or buffer (DBCA-019 DBCA-017)	No		
RAMSAR Wetland (DBCA-010)	No		
Threatened and Priority Flora (DBCA-036)	No		
Threatened and Priority Fauna (DBCA-037)	Yes	The site is classified as Low WRT suitability.	
Threatened Ecological Communities (DBCA-038)	No		
Bush Forever (COP-071)	No		
Environmentally Sensitive Area (DWER-046)	No		
Regionally Significant Natural Areas (DWER-070)	No		
Conservation Covenant (DPIRD-023)	N/A		
Does the proposal require the removal of restricted vegetation?		Yes	No

No clearing of regulated vegetation is required beyond the site, but vegetation will be displaced by the building and modified to achieve the APZ within the site.

At the time of writing this report amendments to the Environment Protection Act 1986 had been proclaimed to be effective from 23 October 2021. The Department of Water Environment and



Regulation (DWER) is in the process of publishing guidance for the assessment criteria to determine whether a clearing permit is required.

The site may also be subject to other controls restricting the removal of native vegetation on the site which includes the classification of the site within the City's Landscape Value Area, and a restrictive covenant on the land title not to clear vegetation on the land except for certain exemptions. This Bushfire Management Plan and the APZ it may identify, as part of an authorisation under the *Planning and Development Act 2005*, does not direct the considerations of other policy by the decision maker or form the basis for an exemption from the approval process described by the restrictive covenant.

2.2 Re-vegetation/Landscape Plans

The vegetation at the site will be largely displaced by the building and paved surfaces. Narrow areas of remnant vegetation have been retained at the development of sites to the east and south of the site. The retained amount can be considered as part of a cultivated garden and excluded as a threat. Similarly vegetation that may be retained at the site will be narrow, less than the area displaced by buildings and paving and classified as part of a cultivated garden.

3. BUSHFIRE ASSESSMENT

3.1 Bushfire Attack Level Assessment (Inputs)

The following assessment has applied the methodologies described in AS 3959:2018, the Guidelines, and has used the Fire Protection Association Australia accredited practitioner methodology for the preparation of Bushfire Attack Level (BAL) assessments.

All vegetation within 150 m (context) of the subject building has been classified following Clause 2.2.3 (AS 3959:2018) to determine the predominant vegetation affecting the behaviour at the locality. The Bushfire Attack Level is determined by the **predominant** vegetation within 100 m of the site boundary (for subdivision), or around the development site (building envelope) or the external face from a habitable building.

The classifications of vegetation used in AS 3959:2018 are based on foliage cover, measured as a percentage of a hectare and by the fuel (vegetation) height.

Foliage cover: *The portion of the ground that would be shaded by foliage when the sun is shining directly overhead, expressed as a percentage for each stratum or identifiable layer of vegetation*

AS 3959:2018

Layer/ Stratum	Description	Hazard
Bark	Tight/fine – course/ribbon	Spotting and ember attack potential associated with forest
Canopy	Trees taller than 6 m (forest)	Influences the flame height
Elevated fuel	Trees and Shrubs up to 6 m	Influences the flame height
Near surface	Grasses and shrubs taller than 100 mm and up to 2 m	Influences the rate of spread and canopy ignition
Surface	On ground material, leaves, twigs, bark	Influences the rate of spread

From CFA (Vic) Overall fuel assessment guide 2010

AS 3959:2018 prescribes six categories of Bushfire Attack Level (BAL): BAL-LOW, BAL-12.5, BAL-19, BAL-29, BAL-40, and BAL-FZ. In addition, BAL-FZ describes only performance solutions where the separation from classified vegetation (on completion) is less than 10 m. The BAL level is used for determining the siting of development (to be less than BAL-40) and in turn the construction standard that is equivalent to the BAL at the proposed building location.

This assessment has followed the guidance of AS 3959:2018. This includes:

- A recognition of excluded vegetation types described at cl.2.2.3.2 (e) and (f), but the underlying vegetation should still be classed e.g. an orchard may be excluded but not the grassland within it.
- A separate plot is applied if there is a variation in the slope greater than 5.0°
- For various vegetation classes a representation that is less than 10%, does not constitute the predominant class. Foliage cover referred to in AS 3959:2018 for various classes is based on the foliage cover for that class as a percentage of a ha. (shadow cast is not representative of foliage cover).
- The measurement point and the most influential vegetation class (presenting the highest BAL at the building) is used for the determination of the BAL at the building (Figure 2.2 AS 3959:2018).
- Consideration of the predominant vegetation is to consider the likelihood of regeneration.
- Orchards, and single tree rows (planted in a row less than 10 m wide) is determined by underlying the near surface fuel.

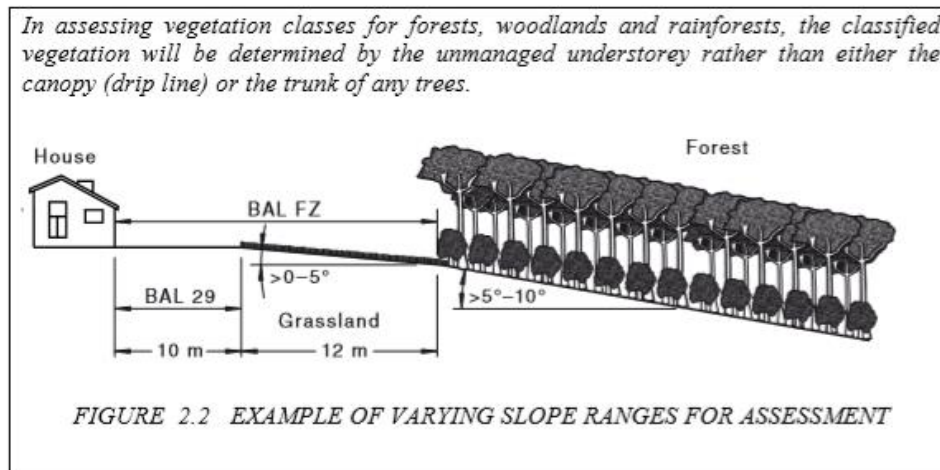


Plate 5: Effective Slope and measurement taken from AS 3959:2018

Effective slope under each vegetation plot was assessed in accordance with the methodology detailed in AS 3959:2018 Construction of buildings in bushfire prone areas (AS 3959) (Standards Australia, 2018 Bushfire Fuels). Slope data was measured on site and cross referenced with Landgate elevation data.

Photo evidence Site Assessment & Site Plans

The assessment of this site / development was undertaken on 7 May 2022 by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959:2018 Simplified Procedure (**Method 1**).

Figure 1: Location



Figure 2: Topography

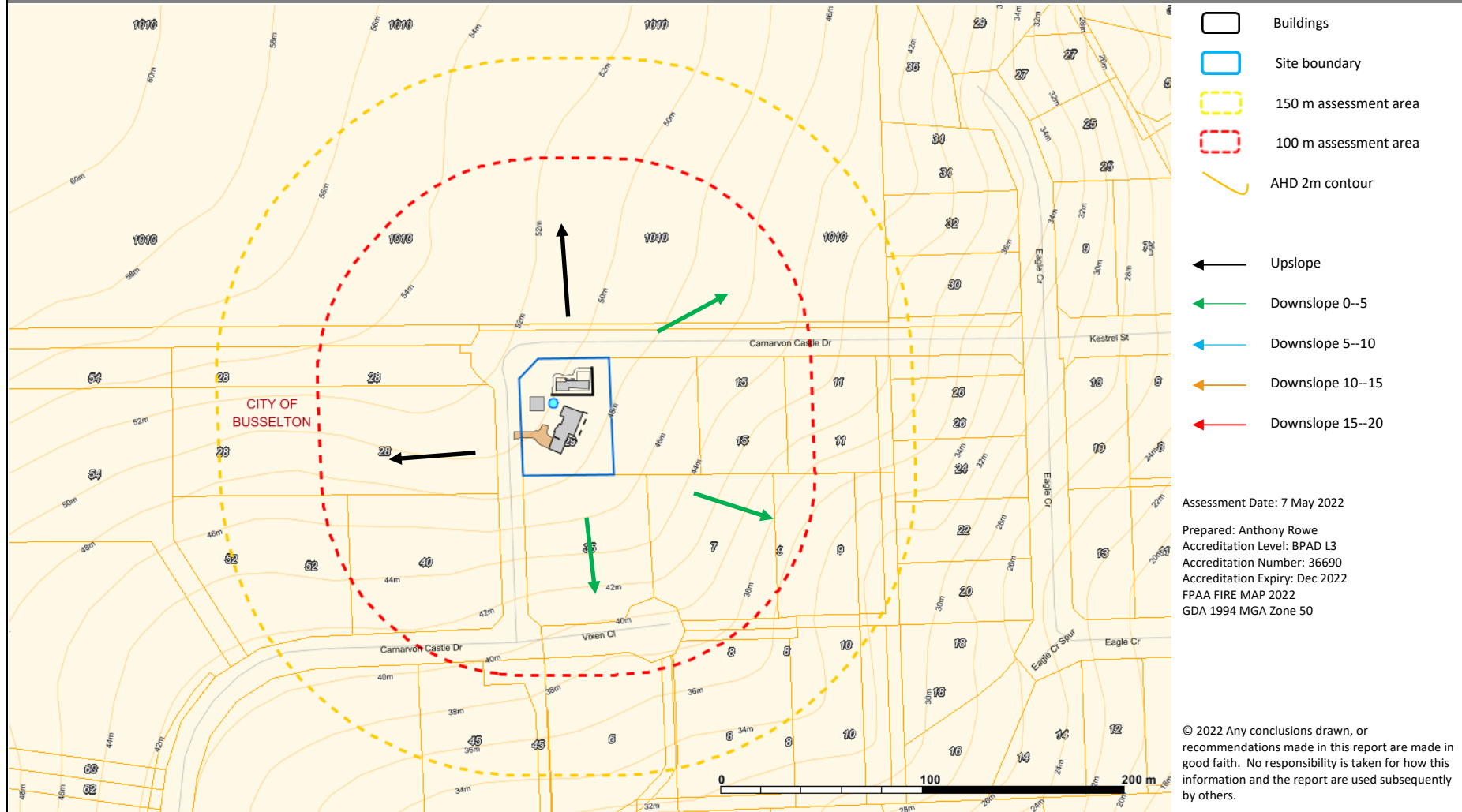


Figure 3: Vegetation Classification and photo locations – vegetation on site assumed as excluded

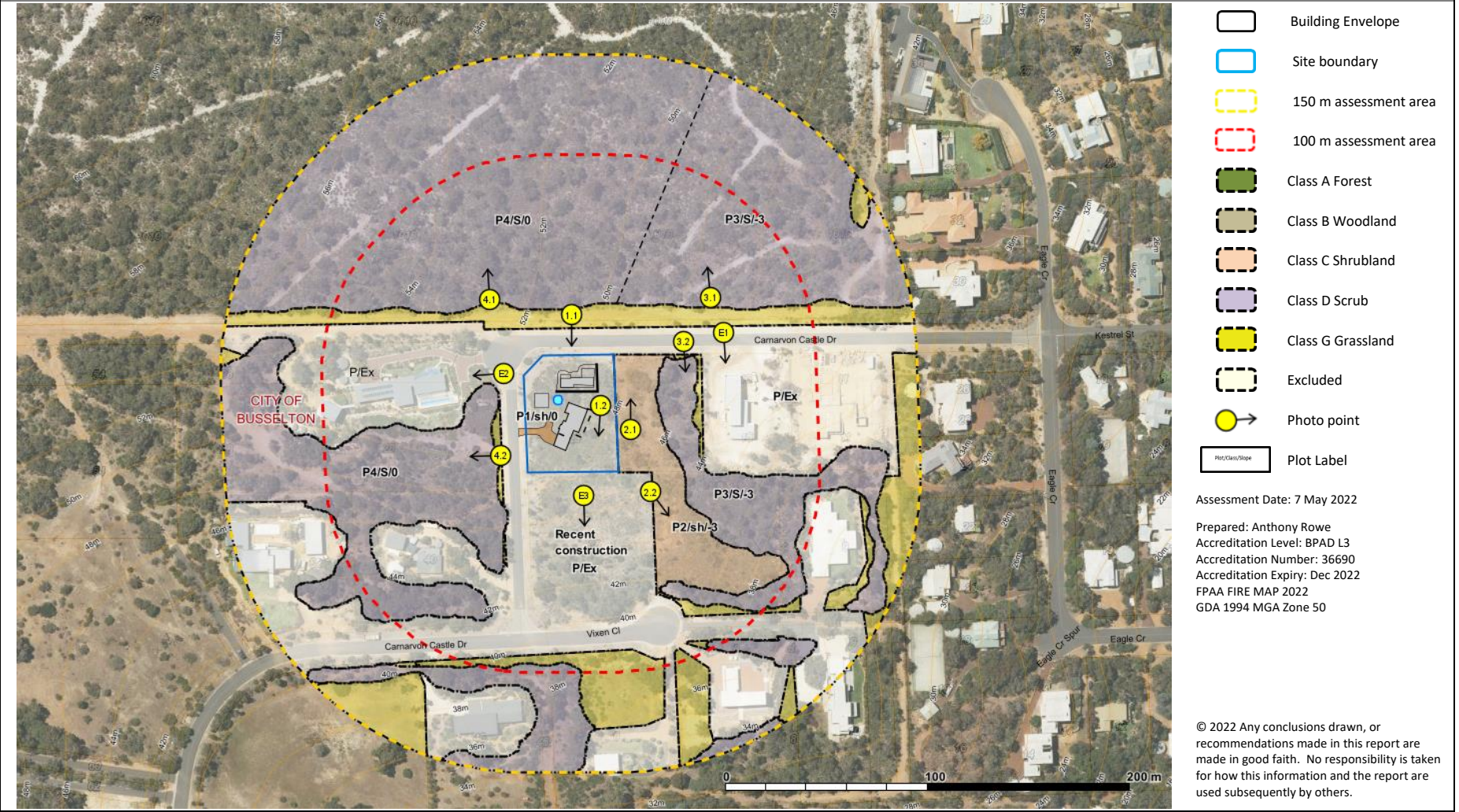
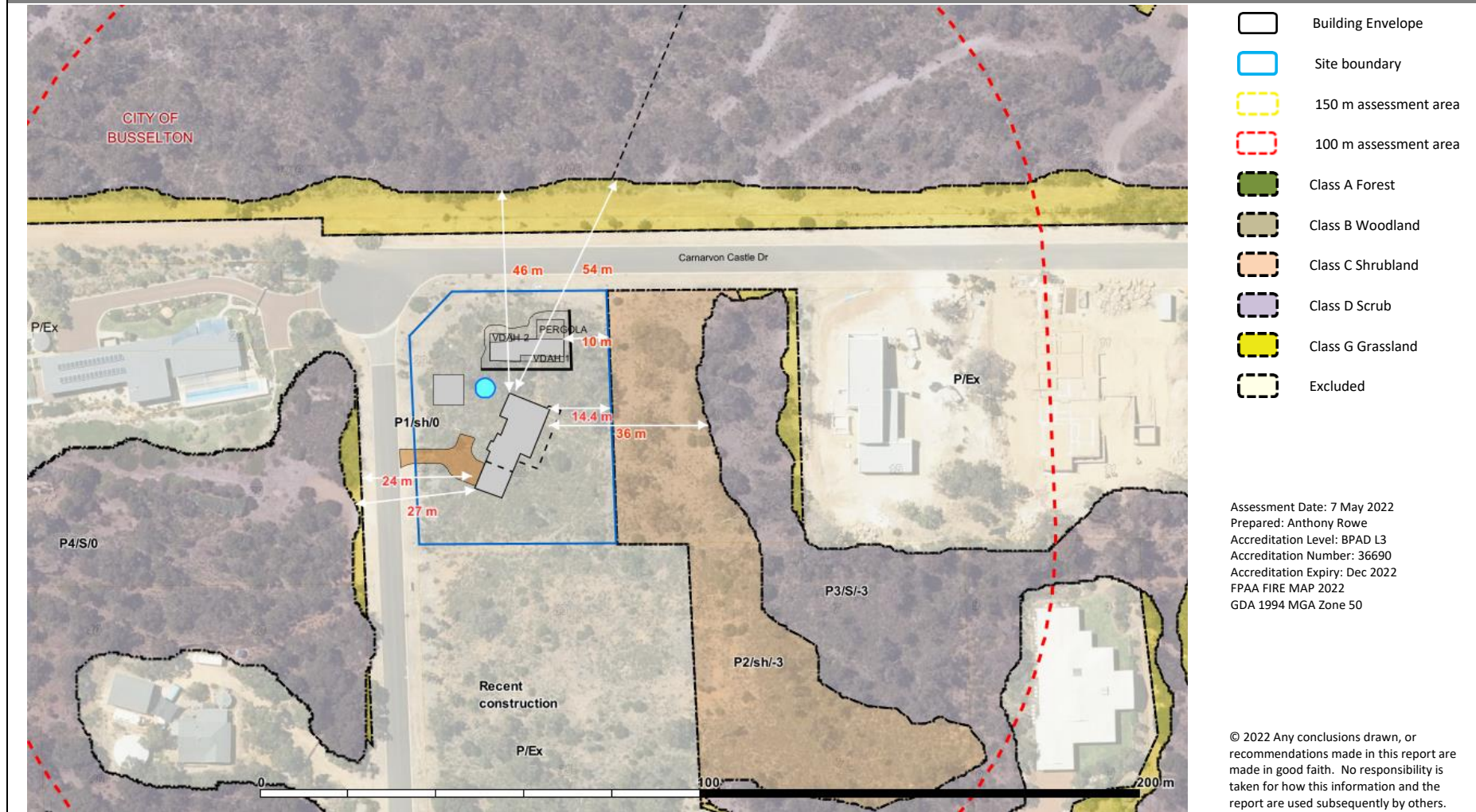






Figure 4: Vegetation Classification - Post Development –excluded site (enlarged)





PLOT: Ex					
Vegetation Classification			Vegetation Description (AS3959)		
Excludable - 2.2.3.2(e) Non Vegetated Areas			2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas: Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.		
Slope					
N/A					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface			
Low	✓	✓	✓	✓	
Moderate					
High					
Very High					
Extreme					
Post development					
Excludable - 2.2.3.2(e) Non Vegetated Areas			PHOTO ID: Ex 1		


PLOT: Ex					
Vegetation Classification			Vegetation Description (AS3959)		
Excludable - 2.2.3.2(e) Non Vegetated Areas			2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas: Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.		
Slope					
N/A					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface			
Low	✓	✓	✓	✓	
Moderate					
High					
Very High					
Extreme					
Post development					
Excludable - 2.2.3.2(e) Non Vegetated Areas			PHOTO ID: Ex 2		

PLOT: Ex					
Vegetation Classification				Vegetation Description (AS3959)	
Excludable - 2.2.3.2(e) Non Vegetated Areas				2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas: Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.	
Slope					
N/A					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated		
Low	✓	✓	✓	✓	
Moderate					
High					
Very High					
Extreme					
Post development					
Excludable - 2.2.3.2(e) Non Vegetated Areas				PHOTO ID: Ex 3	


PLOT: 1					
Vegetation Classification				Vegetation Description (AS3959)	
Class C Shrubland - Closed heath C-10				Found in wet areas and/or affected by poor soil fertility or shallow soils. Shrubs 1 m -2 m high. Wet heaths occur in sands adjoining dunes of the littoral (shore) zone. Montane heaths occur on shallow or water-logged soils.	
Slope					
Flat					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated		
Low				✓	
Moderate	✓		✓		
High					
Very High		✓			
Extreme					
Post development					
Excludable - 2.2.3.2(e) Non Vegetated Areas				PHOTO ID: 1.1 Established trees within the site, adjacent the building position.	


PLOT: 1					
Vegetation Classification				Vegetation Description (AS3959)	
Class C Shrubland - Closed heath C-10				Found in wet areas and/or affected by poor soil fertility or shallow soils. Shrubs 1 m -2 m high. Wet heaths occur in sands adjoining dunes of the littoral (shore) zone. Montane heaths occur on shallow or water-logged soils.	
Slope					
Flat					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated	Bark	
Low				✓	
Moderate	✓		✓		
High					
Very High		✓			
Extreme					
Post development					PHOTO ID: 1.2
Excludable - 2.2.3.2(e) Non Vegetated Areas					

PLOT: 2					
Vegetation Classification				Vegetation Description (AS3959)	
Class C Shrubland - Closed heath C-10				Found in wet areas and/or affected by poor soil fertility or shallow soils. Shrubs 1 m -2 m high. Wet heaths occur in sands adjoining dunes of the littoral (shore) zone. Montane heaths occur on shallow or water-logged soils.	
Slope					
Downslope 0-5					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated	Bark	
Low				✓	
Moderate	✓		✓		
High					
Very High		✓			
Extreme					
Post development					
Class C Shrubland					
				PHOTO ID: 2.1	

PLOT: 2					
Vegetation Classification				Vegetation Description (AS3959)	
Class C Shrubland - Closed heath C-10				Found in wet areas and/or affected by poor soil fertility or shallow soils. Shrubs 1 m -2 m high. Wet heaths occur in sands adjoining dunes of the littoral (shore) zone. Montane heaths occur on shallow or water-logged soils.	
Slope					
Downslope 0-5					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated	Bark	
Low				✓	
Moderate	✓		✓		
High					
Very High		✓			
Extreme					
Post development					
Class C Shrubland					PHOTO ID: 2.2

PLOT: 3					
Vegetation Classification				Vegetation Description (AS3959)	
Class D Scrub - Closed scrub D-13				Found in wet areas and/or areas affected by poor soil fertility or shallow soils; >30% foliage cover. Dry heaths occur in rocky or sandy areas. Shrubs >2 m high. Typical of coastal areas and tall heaths up to 6 m in height. May be dominated by Banksia, Melaleuca or Leptospermum with heights of up to 6 metres	
Slope					
Downslope 0-5					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated	Bark	
Low					
Moderate	✓			✓	
High			✓		
Very High		✓			
Extreme					
Post development					PHOTO ID: 3.1 Trees taller than 6 m are less than 10%. The Plot is mostly shrubs up to 2 m and trees less than 6 m.
Unchanged Scrub					

PLOT: 3					
Vegetation Classification				Vegetation Description (AS3959)	
Class D Scrub - Closed scrub D-13				Found in wet areas and/or areas affected by poor soil fertility or shallow soils; >30% foliage cover. Dry heaths occur in rocky or sandy areas. Shrubs >2 m high. Typical of coastal areas and tall heaths up to 6 m in height. May be dominated by Banksia, Melaleuca or Leptospermum with heights of up to 6 metres	
Slope					
Downslope 0-5					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated	Bark	
Low					
Moderate	✓			✓	
High			✓		
Very High		✓			
Extreme					
Post development					PHOTO ID: 3.2 Trees taller than 6 m are less than 10%. The Plot is mostly shrubs up to 2 m and trees less than 6 m.
Unchanged – Photo 3.2 is part of a residential lot that when developed will displace the present vegetation and will become 'excluded' as a bushfire threat.					

PLOT: 4					
Vegetation Classification				Vegetation Description (AS3959)	
Class D Scrub - Closed scrub D-13				<p>Found in wet areas and/or areas affected by poor soil fertility or shallow soils; >30% foliage cover. Dry heaths occur in rocky or sandy areas. Shrubs >2 m high. Typical of coastal areas and tall heaths up to 6 m in height. May be dominated by Banksia, Melaleuca or Leptospermum with heights of up to 6 metres</p>	
Slope					
Upslope					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated		
Low					
Moderate	✓			✓	
High			✓		
Very High		✓			
Extreme					
Post development					
Unchanged				<p>PHOTO ID: 4.1</p> <p>Trees taller than 6 m are less than 10%. The Plot is mostly shrubs up to 2 m and trees less than 6 m.</p>	


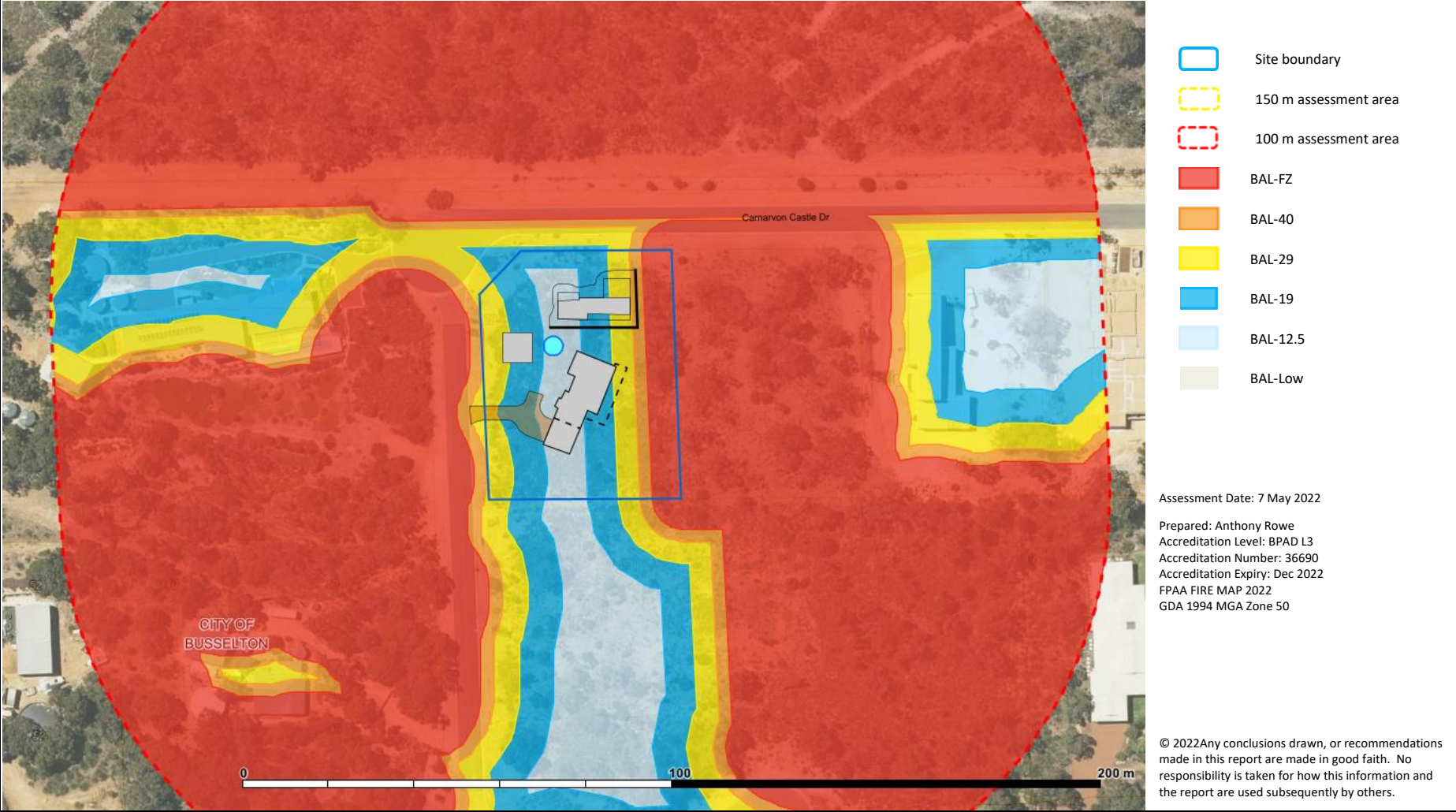
PLOT: 4					
Vegetation Classification				Vegetation Description (AS3959)	
Class D Scrub - Closed scrub D-13				Found in wet areas and/or areas affected by poor soil fertility or shallow soils; >30% foliage cover. Dry heaths occur in rocky or sandy areas. Shrubs >2 m high. Typical of coastal areas and tall heaths up to 6 m in height. May be dominated by Banksia, Melaleuca or Leptospermum with heights of up to 6 metres	
Slope					
Flat					
Observation/Justification for classification					
Fuel Hazard	Surface	Near surface	Elevated		
Low	✓				
Moderate				✓	
High			✓		
Very High		✓			
Extreme					
Post development					
Unchanged				PHOTO ID: 4.2	



Figure 5: BAL Contour - Completion APZ





3.2 Bushfire Attack Level (Outputs) Method 1

Determined BAL – Present condition

The determined Bushfire Attack Level represent the present condition at the site in relation to the proposed development without bushfire protection measures.

Table: 2.1

Plot no.	Vegetation Classification	Effective slope	Separation m	BAL
Ex	Excluded	NA	NA	NA
1	Shrubland	Flat	0	BAL - FZ
2	Shrubland	Downslope 0-5	14.4	BAL – 29
3	Scrub	Downslope 0-5	36	BAL – 19
5	Scrub	Flat/Upslope	26	BAL – 19

Indicative BAL -BAL at completion

The Indicative Bushfire Attack Level (highest BAL) for the site / proposed development is based upon the conditions and classified vegetation at the time of completion.

In this instance the building has been placed on the site to achieve BAL 29, as illustrated in Figure 5, accounting for the condition of the vegetation on adjoining land, outside of the owners control.

Note the land to the east has been classified as Shrubland in the indicative indication, but will become excluded at sometime in the future when the lot is developed for its intended purpose as a dwelling.

Indicative Bushfire Attack Level	BAL
Detached Dwelling (habitable building)	BAL - 29



4. IDENTIFICATION OF BUSHFIRE HAZARD ISSUES

Bushfire Behaviour

Sustainable fire combustion depends upon the availability of fuel, oxygen, and heat. Removal of any one of the three aspects will extinguish or not sustain a fire. Fuel management, the management of vegetation, is the most practical means of control.

Bushfire behaviour, as it increases in intensity and speed of travel, can exceed human control measures and when this occurs the risk increases to humans and property. Bushfire behaviour is a result of climate, topography, and the availability of bushfire fuel (vegetation).

- Climate (drought and season) & weather (temperature, humidity, wind, atmospheric instability).

Wind

Bushfires are influenced by the wind direction and the speed. The wind direction generally determines the direction of the fire and wind speed, along with ground slope, generally determines the speed a fire will travel over ground. As wind strength increases it increases the availability of oxygen allowing the fire intensity to increase.

Atmospheric conditions determine the potential for the uplift of embers and particles that can be distributed by the prevailing wind direction well ahead of the fire, up to 9 km, to create spot fires that can advance the location of the fire front.

Fire Danger Index FDI

FDI is an indicator of potential fire intensity and behaviour based upon weather conditions; temperature, humidity, and wind speed, together with climate measures, drought factor representing the dryness of the ground fuels.

The FDI is an indicator of the potential for house loss and fatalities.

The FDI is used as a basis for determining the required design performance of a building.

- Topography (slope of the ground, aspect) – fire travels faster uphill, and in some conditions may determine the direction of the fire. The landform can also channel and increase the windspeed at a locality and create turbulence. It is measured as 0.0° or in downslope increments of 5.0°.
- Vegetation (horizontal and vertical structure, flammability, mass, and availability). Measured as a vegetation classification, or an exclusion, in AS 3959 (Method 1). The arrangement of fuel has a greater effect upon the intensity of a fire than just its mass; its exposure to oxygen is referred to as its availability in a bushfire.

It is assumed that a bushfire will achieve a steady-state and be fully developed to maximum intensity over a 100 m (minimum) fire run. Grass fires travel faster (GFDI) than a forest canopy fire, but a forest canopy fire can eject a higher level of embers and also eject them over a greater distance, up to 5 km.

Crown fires occur when the ground fire is intense, and conversely, when ground fuels are managed, the resultant fire intensity may not be sufficient to involve the crown or sustain a fire.

Fuel reduction initiatives such as slashing and controlled burns are intended to reduce the fuel availability to a level where the intensity of the fire remains controllable.

Climate

The nearest weather station to the site is at Cape Naturaliste (16 km north of the site). The site is within an area described as having a Mediterranean climate of dry summers and mild, wet winters. The majority of rainfall is between May and September. The prohibited burning period is from mid-December to mid-March.

The Bushfire Danger Season has traditionally been between November and April each year, but recent climatic conditions have caused fire danger conditions to be present either side of this period.

Severe bushfire conditions FDI 50+, occur mostly between January and March. Extreme and Catastrophic conditions occur mostly in the afternoon and typically with south-south easterly winds (BoM Cape Naturaliste). A bushfire can however come from any direction.

Bushfires generally travel in the direction of the prevailing wind. The direction of the prevailing wind conditions can affect the options for evacuation and anticipated fire intensity depending upon the slope and fuel.

The wind roses below (Plates 5 and 6) for February (averaged) recorded at 9 am and 3 pm. illustrate the winds are strongest and most frequent from the south-east and east in the morning. Morning wind directions are predominantly from the southeast with a higher easterly component. Afternoon winds are generally stronger and of higher frequency from the south, with a higher westerly component.

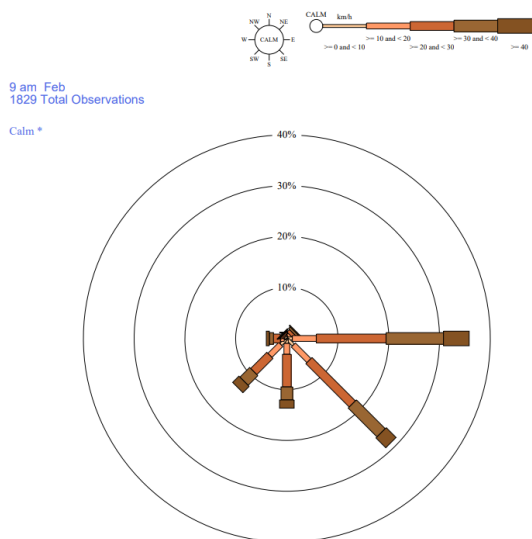


Plate 6: BoM weather data, prevailing wind directions as at 9 am

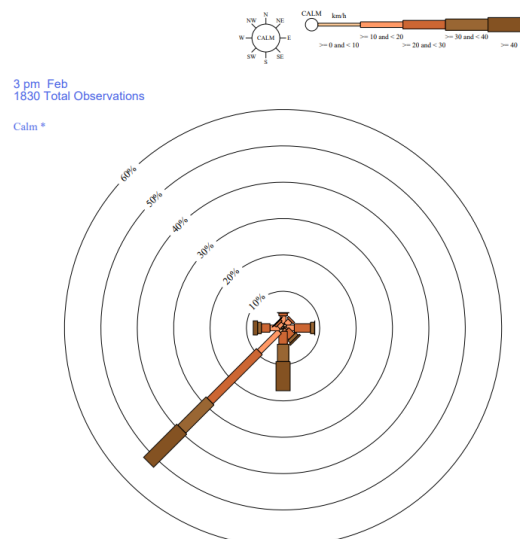


Plate 7: BoM weather data, prevailing wind directions as at 3 pm

Site Context



Plate 8: Illustrates the surrounding area within 2.5 k m is predominantly pasture with Scrub Forest north of the site.

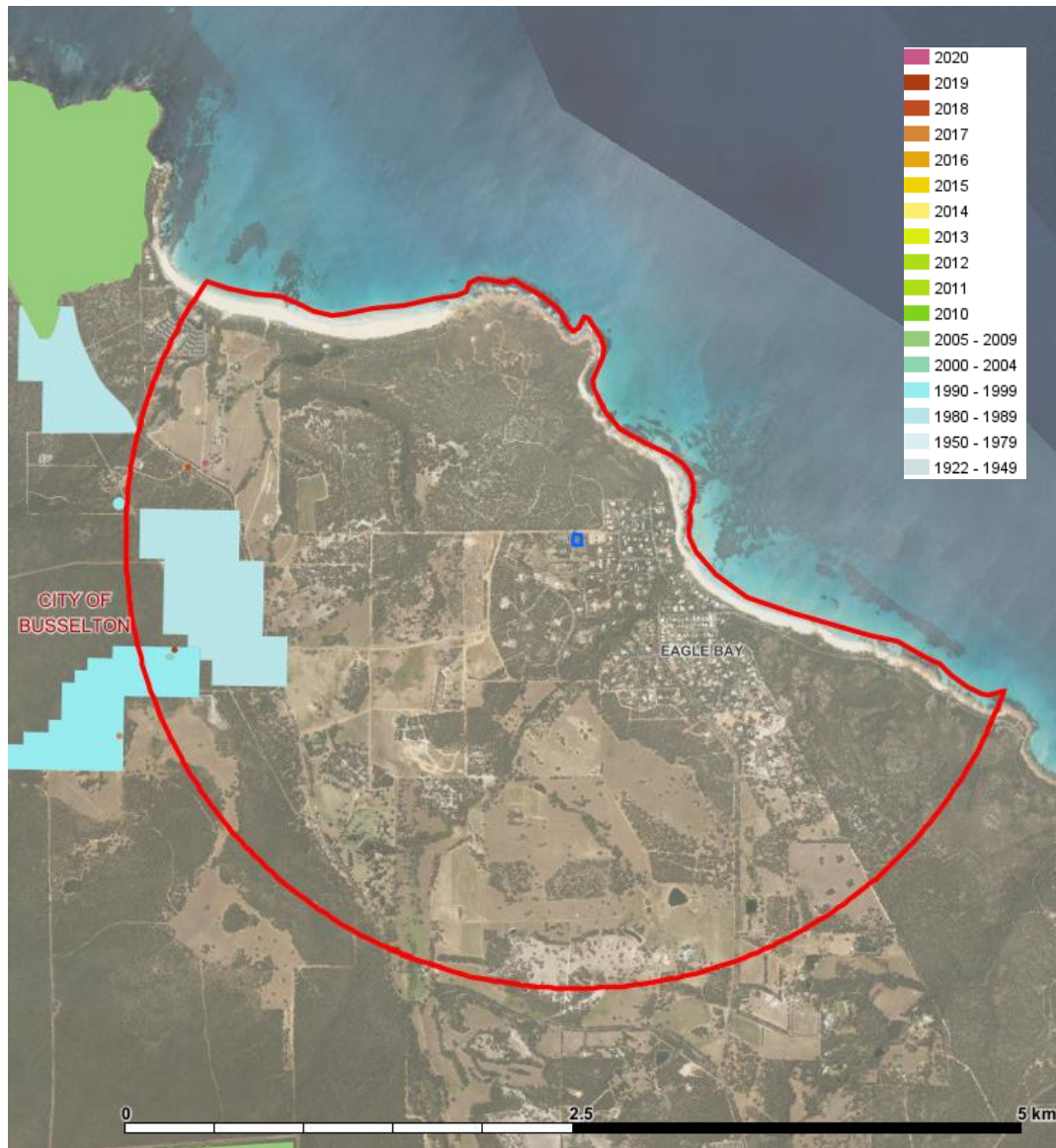


Plate 9: DBCA (indicative) landscape fire history

Plate 8; when combined with Plates 6 and 7, suggests a fire that is most likely to affect the site, will arrive from grassland, leading upslope to the western boundary (from the south west), or through fragmented forest, east and south east of the site. The extending forest could subject the site to a dispersed ember attack from a distant fire, but a concentrated ember attack can occur from the firefront at the extent of the APZ. Ember attack is responsible for the destruction of most houses, either igniting adjacent flammable materials or penetrating gaps > 2mm to reach flammable materials within a building.

The landscape fire history (Plate 9) suggests fires have not been prevalent in the area; this can be due to land management, proximity of firefighting resources, and early identification. The potential for a landscape fire however is simply a reflection of the coincidence of the availability of bushfire



fuels, climatic conditions and an ignition source. Despite the fire history in the locality the building has a likelihood to be affected that is classed as 'likely'.¹

The proposed APZ, to BAL 29, will separate the dwelling from a direct flame contact and the construction to BAL 29, is commensurate to providing resistance from radiant heat and ember attack.

The dwelling will be required to be constructed to BAL-29 standard in AS 3959:2018 (at s.3 and s.7).

The construction is not a guarantee of building survival. Factors that can undermine its resistance are poor workmanship, not fully compliant with BAL 29 and leaving gaps > 2 mm at the exterior, poor maintenance and the distortion of materials resulting in gaps > 2 mm at the exterior, and a failure to maintain the APZ and the storage or attachment of flammable materials near or on the building that may expose it to a direct flame

The site does not have access to a reticulated water supply nor are hydrants available to the site. A standalone 10,000 L water supply dedicated for emergency services is to be provided as DFES is restricted from taking water from domestic tanks.

5. BUSHFIRE PROTECTION MEASURES

5.1 Guidelines for Planning in Bushfire Prone Areas Version 1.4 (the Guidelines)

The Guidelines apply to development applications located within designated bushfire prone areas. The Guidelines provide supporting information for implementation of SPP 3.7. Specifically, they provide the Bushfire Protection Criteria to be addressed for all applications.

The bushfire risk mitigation strategies detailed in (Table 2 below) are designed to comply with the Bushfire Protection Criteria detailed in Guidelines for Planning in Bushfire Prone Areas Version 1.4 (the Guidelines) Appendix 4 (WAPC, 2021).

Where discrepancy occurs between State and Local bushfire planning provisions, the higher standard of mitigation has been selected.

¹ NERAG page 39 – 'likelihood' categories

**Table 2: Bushfire Protection Criteria assessment.**

For each of the elements listed within Appendix 4 of the Guidelines for Planning in bushfire-prone areas, the 'intent' must be achieved either by the proposal meeting the acceptable solutions; or where these acceptable solutions cannot be fully met, then by a performance-based solution that can achieve the 'intent.'

The acceptable solutions do not apply to all stages of development. Where these items are not applicable, they have been identified. Commentary may however be made but it is not a determinant.

✓	Acceptable solution provided	C	An Acceptable Solution to be conditioned
N/A	Not Applicable	P	Performance Principle solution see 5.2

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
Element 1: Location Intent: To ensure that strategic planning proposals, subdivision and development applications are located in areas with the least possible risk of bushfire to facilitate the protection of people, property and infrastructure				
P1 The strategic planning proposal, subdivision and development application is located in an area where the bushfire hazard assessment is or will, on completion, be moderate or low, or a BAL-29 or below, and the risk can be managed. For unavoidable development in areas where BAL-40 or BAL-FZ applies, demonstrating that the risk can be managed to the satisfaction of the decision-maker	A1.1 Development location The strategic planning proposal, subdivision, and development application is located in an area that is or will, on completion, be subject to either a moderate or low bushfire hazard level, or BAL-29 or below.	✓		The proposal is a development application and can achieve BAL-29 at completion through the management of land within the site.

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
Element 2: Siting and Design of Development Intent: To ensure that the siting and design of development minimises the level of bushfire impact				
P2 The siting and design of the strategic planning proposal, subdivision or development application, including roads, paths and landscaping, is appropriate to the level of bushfire threat that applies to the site. The proposal incorporates a defensible space and significantly reduces the heat intensities at the building surface thereby minimising the bushfire risk to people, property and infrastructure, including compliance with AS 3959 if appropriate.	A2.1 Asset Protection Zone Every habitable building is surrounded by, and every proposed lot can achieve, an APZ depicted on submitted plans, which meets the following requirements: <ul style="list-style-type: none"> • Width: Measured from any external wall or supporting post or column of the proposed building, and of sufficient size to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m² (BAL-29) in all circumstances. • Location: the APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity (see explanatory notes). • Management: the APZ is managed in accordance with the requirements of 'Standards for Asset Protection Zones.' (see Schedule 1). 	✓		The Acceptable solution A2.1 requires that the development site can achieve on completion a BAL not exceeding BAL-29, by an APZ within the boundaries of the lot. The site has sufficient area to achieve an Asset Protection Zone that has sufficient dimension to achieve BAL 29 at the detached dwelling.(Figure 5)

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
Element 3: Vehicular Access Intent: To ensure that the vehicular access serving a subdivision/development is available and safe during a bushfire event. Note: only certain provisions apply to a development application for a single dwelling.				
P3i The design and capacity of vehicular access and egress is to provide for the community to evacuate to a suitable destination before a bushfire arrives at the site, allowing emergency services personnel to attend the site and/or hazard vegetation.	A3.1 Public roads	N/A		A3.1 does not apply to a development application for a single dwelling.
	A3.2a Multiple access routes Public road access is to be provided in two different directions to at least two different suitable destinations with an all-weather surface (two-way access). If the public road access to the subject site is via a no-through road which cannot be avoided due to demonstrated site constraints, the road access is to be a maximum of 200 metres from the subject lot(s) boundary to an intersection where two-way access is provided. The no-through road may exceed 200 metres if it is demonstrated that an alternative access, including an emergency access way, cannot be provided due to site constraints and the following requirements are met: the no-through road travels towards a suitable destination; and the balance of the no-through road, that is greater than 200 metres from the subject site, is wholly within BAL-LOW, or is within a residential built-out area – Figure 23.	N/A		A3.2a does not apply to a development application for a single dwelling.
	A3.2b Emergency access way	N/A		A3.2b does not apply to a development application for a single dwelling.

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	A3.3 Through-roads	N/A		A3.3 applies to a subdivision but does not apply to a development application for a single dwelling.
P3ii The design of vehicular access and egress provides: <ul style="list-style-type: none"> • access and egress for emergency service vehicles while allowing the community to evacuate; • a defensible space for emergency services personnel on the interface between classified vegetation and development site; and • hazard separation between classified vegetation and the subject site to reduce the potential radiant heat that may impact a lot(s). 	A3.4a Perimeter roads	N/A		A3.4a applies to a subdivision but does not apply to a development application for a single dwelling.
	A3.4b Fire service access route	N/A		A3.4b applies to a subdivision but does not apply to a development application for a single dwelling.
	A3.5 Battle-axe access legs	NA		The site has direct frontage to Carnarvon Castle Drive.

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
P3iv Vehicular access is provided which allows emergency service vehicles to directly access all habitable buildings and water supplies and exit the lot without entrapment.	A3.6 Private driveways There are no private driveway technical requirements where the private driveway is: <ul style="list-style-type: none"> • within a lot serviced by reticulated water; • no greater than 70 metres in length between the most distant external part of the development site and the public road measured as a hose lay; and • accessed by a public road where the road speed limit is not greater than 70 km/h. In circumstances where all of the above conditions are not met, or the private driveway is in a non-reticulated water area, the private driveway is to meet all the following require: <ul style="list-style-type: none"> • requirements in Table 6, Column 4; • passing bays every 200 metres with a minimum length of 20 metres and a minimum additional trafficable width of two metres (i.e. the combined trafficable width of the passing bay and constructed private driveway to be a minimum six metres); and • turn-around area as shown in Figure 28 and within 30 metres of the habitable building. 	N/A		The dwelling and private driveway is less than 70 m from a public road. The requirements for a private driveway in Table 6, Column 4, are not applicable.

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
Element 4: Water Intent: To ensure that water is available to the subdivision, development or land use to enable people, property and infrastructure to be defended from bushfire				
P4 Provide a permanent water supply that is: – sufficient and available for firefighting purposes; – constructed from non-combustible materials (e.g. steel), or able to maintain its integrity throughout a bushfire; and – accessible, with legal access for maintenance and re-filling by tankers and emergency service vehicles.	A4.2 Provision of water for firefighting purposes <p>Where a reticulated water supply is existing or proposed, hydrant connection(s) should be provided in accordance with the specifications of the relevant water supply authority. Where these specifications cannot be met, then the following applies:</p> <p>The provision of a water tank(s), in accordance with the requirements of Schedule 2; and</p> <p>Where the provision of a strategic water tank(s) is applicable, then the following requirements apply:</p> <ul style="list-style-type: none"> – land to be ceded free of cost to the local government for the placement of the tank(s); – the lot or road reserve where the tank is to be located is identified on the plan of subdivision; – tank capacity, construction, and fittings, provided in accordance with the requirements of Schedule 2; and – a strategic water tank is to be located no more than 10 minutes from the subject site (at legal road speeds). <p>Where a subdivision includes an existing habitable building(s) that is to be retained, a water supply should be provided to this existing habitable building(s), in accordance with the requirements listed above.</p>	✓		<p>The site has access to a reticulated water supply.</p> <p>A hydrant is located within east and within 50 m of the site on Carnarvon Castle Drive.</p>



5.2 Bushfire Management Strategies

No further bushfire management strategies to those addressed under the bushfire protection criteria are required in this instance.

5.3 Spatial representation of the bushfire management strategies

Further to the assessment against the bushfire protection criteria, the key features demonstrating compliance should be represented spatially in the *Spatial representation of the bushfire management strategies*. It represents the required bushfire risk management measures that must be implemented and maintained.

The Spatial representation of the bushfire management strategies is provided in Figure EX1.

6. RESPONSIBILITIES FOR IMPLEMENTATION AND MANAGEMENT OF THE BUSHFIRE MEASURES

The responsibilities for implementation and management of the bushfire measures, summarises the measures identified to achieve compliance with the bushfire protection measures following SPP 3.7. This has been provided in the Executive Summary. The details contained within the planning application authorised by the responsible decision maker are enforceable under section 214 of the *Planning and Development Act 2005*. The items addressed in the table responsibilities for implementation and management of the bushfire measures form part of the planning authorisation and where there is conflict supersede the detail of the planning application.

The responsibilities assigned to the City reflect the current activities of the City and are not to be relied upon nor are they binding upon the City as a consequence of this Bushfire Management Plan.

1. The site (29 Carnarvon Castle Drive Eagle Bay) is to be maintained in compliance with the Asset Protection Zone standard describe in Element 2, Schedule 1 Standards for Asset Protection Zones (Guidelines Planning in Bushfire Prone Areas v1.4).

Note: The Asset Protection Zone standard is not baren land but a distribution of vegetation and is a default landscape management plan.

2. The dwelling to be constructed to BAL-29, commensurate to the BAL rating (following the maintenance of the site in APZ standard). The BAL-29 construction requirements are described in s. 3 and 7 in AS 3959:2018.

The building should be checked annually to ensure it remains in compliance with BAL-29 construction standard.

3. Fire hoses are provided at the dwelling capable of applying water to all external surfaces of the dwelling and for a distance of 10 m around the dwelling. The hoses are to comply with AS/NZS1221 and be shielded from radiant heat.

The purpose is a facility to prepare the site for an oncoming fire and to attend to any small fires after the passing of the firefront.

Advisory notes

1. The landowner acknowledges the accumulation of flammable material against the building or the placement of flammable material against or near the building, where its ignition would expose the building to direct flame contact, would exceed the design performance of the



building to resist bushfire attack, and could lead to significant damage or the loss of the building.

2. The landowner is responsible for availing themselves of any promotions and information to assist owners in preparing for and responding to a bushfire event as may be made by the City or the Department Fire and Emergency Services
3. Where there is conflict between this Bushfire Management Plan and the City Firebreak Notice the higher level of bushfire protection will prevail

The City of Busselton (existing controls)

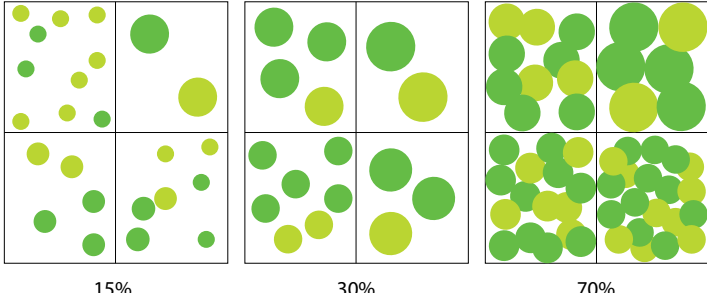
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|---|---------|
| 1. Developing and maintaining district bushfire fighting services and facilities. | Ongoing |
| 2. Administer the <i>Bushfire Act 1954</i> and monitor landowner compliance to maintain land in a state not conducive to the ignition or spread of bushfire. This is a statutory responsibility assigned to local government. | Ongoing |
| 3. Promoting education and awareness of bushfire prevention and preparation measures through the community. | Ongoing |
| 4. Administering the requirements of the <i>Planning and Development Act 2005</i> and the <i>Building Act 2011</i> . | Ongoing |

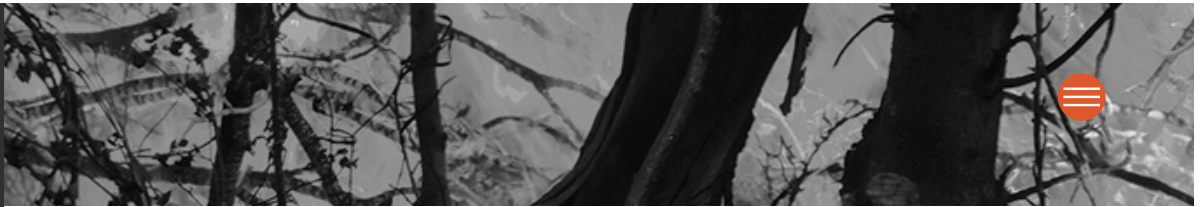


APPENDIX 1 - APZ Guidelines

ELEMENT 2: SITING AND DESIGN OF DEVELOPMENT

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Fences within the APZ	<ul style="list-style-type: none"> Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).
Fine fuel load (Combustible, dead vegetation matter <6 millimetres in thickness)	<ul style="list-style-type: none"> Should be managed and removed on a regular basis to maintain a low threat state. Should be maintained at <2 tonnes per hectare (on average). Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch >6 millimetres in thickness.
Trees* (>6 metres in height)	<ul style="list-style-type: none"> Trunks at maturity should be a minimum distance of six metres from all elevations of the building. Branches at maturity should not touch or overhang a building or powerline. Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. Canopy cover within the APZ should be <15 per cent of the total APZ area. Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ. <p>Figure 19: Tree canopy cover – ranging from 15 to 70 per cent at maturity</p>  <p>15% 30% 70%</p>
Shrub* and scrub* (0.5 metres to six metres in height). Shrub and scrub >6 metres in height are to be treated as trees.	<ul style="list-style-type: none"> Should not be located under trees or within three metres of buildings. Should not be planted in clumps >5 square metres in area. Clumps should be separated from each other and any exposed window or door by at least 10 metres.
Ground covers* (<0.5 metres in height. Ground covers >0.5 metres in height are to be treated as shrubs)	<ul style="list-style-type: none"> Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above. Can be located within two metres of a structure, but three metres from windows or doors if >100 millimetres in height.

**ELEMENT 2: SITING AND DESIGN OF DEVELOPMENT****SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES**

OBJECT	REQUIREMENT
Grass	<ul style="list-style-type: none"> Grass should be maintained at a height of 100 millimetres or less, at all times. Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.
Defendable space	<ul style="list-style-type: none"> Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-combustible mulches as prescribed above.
LP Gas Cylinders	<ul style="list-style-type: none"> Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. The pressure relief valve should point away from the house. No flammable material within six metres from the front of the valve. Must sit on a firm, level and non-combustible base and be secured to a solid structure.

* Plant flammability, landscaping design and maintenance should be considered – refer to explanatory notes



APPENDIX 2 –City Firebreak Notice

PERMITS TO BURN

Permits to Burn are required for the whole of the Restricted Burning Times and can only be obtained from the Fire Control Officer for your area

A list of Fire Control Officers is available on the **Fire and Emergency Services** page on the City's website

Most of our Fire Control Officers are volunteers, make sure you **plan ahead** if you intend to apply for a Permit to Burn

A Permit to Burn must be obtained before any burning takes place and the permit holder **must be in possession** of the permit throughout the duration of the burn

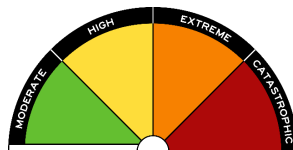
The permit holder shall ensure **all conditions** of the permit, as shown on the permit, are **fully complied with**

NOTIFY DFES COMMUNICATIONS CENTRE

DFES Communications Centre (9395 9209) are to be advised whenever the holder of a permit **commences burning**; and/or whenever a person is carrying out burning activities **outside of the Prohibited and Restricted Burning Times**

HARVEST VEHICLE MOVEMENT BANS

The City may declare **Harvest Vehicle Movement Bans** (HVMBs) at any time. For further information or to receive notification of HVMBs please visit the **Fire and Emergency Services** page on the City's website

The new Australian Fire Danger Rating System

Moderate: plan and prepare

High: be ready to act

Extreme: take action now to protect life and property

Catastrophic: for your survival, leave bushfire risk areas

GENERAL INFORMATION

Burning of Garden Refuse: pursuant to section 24G(2) of the *Bush Fires Act 1954*, the burning of garden refuse is prohibited throughout the District during Prohibited Burning Times, and prohibited in urban areas of the District during Restricted Burning Times

During Restricted Burning Times, a Permit to Burn is required for the burning of garden refuse in Rural Residential or Rural areas

Camping and/or Cooking Fires: pursuant to section 25(1a) of the *Bush Fires Act 1954*, the lighting of fires in the open for the purpose of camping and/or cooking is prohibited throughout the District during Prohibited Burning Times

The lighting of fires in the open for the purpose of camping and/or cooking is prohibited at all times when the **Fire Danger Rating** for the District is ***High or above** without the written approval of the City

Fire Pits, Chimineas, and/or Braziers: the lighting of fire pits, Chimineas and/or braziers is prohibited during Prohibited Burning Times, and otherwise prohibited if the **Fire Danger Rating** for the District is ***High or above**

Conditions for the Lighting and Extinguishing of Fires in the Open: when burning garden refuse; or lighting camping and/or cooking fires; or when lighting fire pits, Chimineas and/or braziers the space of ground around the site of the fire, having a radius of at least 3 metres from the site at the centre, shall be clear of all vegetation and other flammable materials

The person who lit the fire, or a person left in attendance at the fire as the case may be, shall completely extinguish the fire by the application of water and/or earth before that person leaves the site unattended

**The new Australian Fire Danger Rating System (AFDRS) will go live on 1 September 2022. The Australia wide system uses current science that significantly improves the ability to predict fire behaviour*

Work is underway at a State level to amend legislation to reflect the new AFDRS. Importantly, these changes will not affect the requirement for landowners or occupiers of land to fully comply with this Notice

For more information about the AFDRS visit

www.afac.com.au/initiative/afdrs

KEY DATES

Dates **may change due to seasonal fire conditions** in which case details will be published in local newspapers and on the City's website

PROHIBITED BURNING TIME
(BURNING IN THE OPEN IS PROHIBITED)

1 December 2022 to 28 February 2023

RESTRICTED BURNING TIMES
(BURNING PERMITS ARE REQUIRED)

**15 October 2022 to 30 November 2022
and 1 March 2023 to 30 April 2023**
(Burning on Public Holidays Prohibited)

COMPLIANCE DATES

Rural Residential / Urban / Industrial Land
Compliance with this Notice must be achieved no later than **15 November 2022** and maintained until **30 April 2023**

Rural Land

Compliance with this Notice must be achieved no later than **15 December 2022** and maintained until **30 April 2023**

FIREBREAK INSPECTIONS AND RIGHT OF ENTRY

The City will commence its annual firebreak inspection program on **15 November 2022**

Rangers are appointed Bush Fire Control Officers under the provisions of the *Bush Fires Act 1954* and carry out annual inspections

Under the provisions of the Act, Bush Fire Control Officers may in the performance of their duties, enter any land or building including private property

FIREBREAK VARIATIONS

Where there are valid environmental and/or on-ground considerations that prevent full compliance with this Notice, landowners may apply to the City for a firebreak variation. A variation must be lodged in writing on an Application for Variation form that is available on the City's website.

Applications for variation must be submitted by **31 October 2022**



FIREBREAK AND FUEL HAZARD REDUCTION NOTICE

2022/2023 BUSH FIRE SEASON**FIRST AND FINAL NOTICE**

Take notice that pursuant to Part 3 Division 6 Section 33 of the *Bush Fires Act 1954*, landowner(s) or occupier(s) of land shall construct firebreaks and carry out fire prevention work in accordance with this Notice

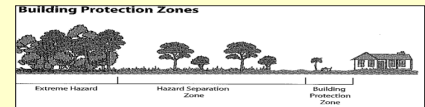
Failure to comply with this Notice may result in a fine of up to

\$5,000

This year the City will be prioritising the inspection of properties that were issued Work Orders during the 2021/2022 bush fire season

Should you require assistance or clarification of the requirements of this Notice, please contact the City's Ranger Services on 9781 0444

CATEGORY	FIREBREAK CATEGORY CODE AND SUMMARY OF REQUIREMENTS			
	A	B	C	D
<p>CATEGORY</p> <p><i>It is the land owner's responsibility to identify the category that relates to their property and to ensure the necessary fire prevention works are completed on time. Please contact the City if you are unsure of your category.</i></p>				
<p>CATEGORY 1</p> <p>RURAL</p> <p>Except plantations and vineyards (for tourist chalets, refer to Estate Fire Management Plan or Individual Fire Management Plan). Sections A, C and D apply to this category.</p>	✓		✓	✓
<p>CATEGORY 2</p> <p>URBAN RESIDENTIAL & INDUSTRIAL - COMMERCIAL</p> <p>Sections A, B, D and E1 Trees, apply to this category. Refer to section E - Interpretation and Additional Requirements (E1 Trees).</p>	✓	✓		✓
<p>CATEGORY 3 & 4</p> <p>PLANTATIONS</p> <p>Fire Management Plan applies</p>	N/A	N/A	N/A	N/A
<p>CATEGORY 5</p> <p>PROTEA PLANTATIONS / VINEYARDS</p> <p>(For tourist chalets, refer to Estate Fire Management Plan or Individual Fire Management Plan). Sections A, B, C and D apply to this category.</p>	✓	✓	✓	✓
<p>CATEGORY 6</p> <p>RURAL RESIDENTIAL - LOTS WITH INDIVIDUAL (MINERAL EARTH) BOUNDARY BREAKS</p> <p>Sections A, B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>	✓	✓	✓	✓
<p>CATEGORY 7</p> <p>RURAL RESIDENTIAL - LOTS WITH A STRATEGIC FIREBREAK ON ONE OR MORE BOUNDARIES</p> <p>Sections A, B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>	✓	✓	✓	✓
<p>CATEGORY 8</p> <p>RURAL RESIDENTIAL - LOTS WITHIN A STRATEGIC FIREBREAK AREA WITH NO STRATEGIC FIREBREAKS ON THE LOT BOUNDARIES</p> <p>Sections B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>		✓	✓	✓
<p>FIREBREAK CATEGORY CODE AND SUMMARY OF REQUIREMENTS</p> <p>ALL REQUIREMENTS IN THIS NOTICE ARE TO BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF THE FIRE SEASON</p> <p>FAILURE TO COMPLY MAY RESULT IN A \$5,000 FINE</p> <p>PLEASE BE ADVISED THAT YOUR PROPERTY MUST COMPLY WITH CATEGORY REQUIREMENTS AS NOTED BY A TICK IN COLUMN A, B, C OR D</p>				
<p>A - Firebreak – The term firebreak includes a mineral earth firebreak. A mineral earth firebreak means a 3 metre wide area of the owner(s)/occupiers(s) land, cleared and maintained totally clear of all vegetation material (living or dead) so there is only mineral earth left. Any overhanging trees and other vegetation must be pruned to a height of 5 metres above the ground level of a mineral earth firebreak.</p> <p>Category 1 – Rural: A mineral earth FIREBREAK shall be constructed 3 metres wide, except in pasture or crop areas where a FIREBREAK shall be 2 metres wide. FIREBREAKS shall be located adjacent to all external boundaries of the land. Where the land area exceeds 120 hectares, an additional FIREBREAK must divide the land into areas of not more than 120 hectares with each part completely surrounded by a FIREBREAK.</p> <p>Category 2 - Urban Residential and Industrial-Commercial: Where the area of land exceeds 2024m² (½ acre) a mineral earth FIREBREAK shall be constructed and maintained at least 3 metres wide and within 6 metres of the inside of all external boundaries of the land. Where the area of land is 2024m² (½ acre) or less, hazardous material must be removed in accordance with section B - Fuel Reduction (refer to B1).</p> <p>Category 5 - Protea Plantations/Vineyards: A mineral earth FIREBREAK shall be 3 metres wide. A low fuel area is to be maintained in accordance with section B - Fuel Reduction (refer to B2).</p> <p>Category 6 and 7 - Rural Residential: A mineral earth FIREBREAK shall be constructed 3 metres wide. On Category 6 Rural Residential land with pasture or crop, a FIREBREAK shall be 2 metres wide and located within 6 metres of all external boundaries of the land. For Category 7 Rural Residential land, free access along a Strategic FIREBREAK is to be maintained at all times and including: across the boundary of a lot, by means of a 3.5 metres wide field gate in the adjoining lot boundary fence.</p> <p>B - Fuel Reduction</p> <p>1) Category 2 - Urban Residential and Industrial-Commercial: Where the area of land is 2024m² (½ acre) or less, ALL HAZARDOUS MATERIAL must be removed from the whole of the land except living trees. In the area remaining, vegetation is to be maintained to a height of no greater than 10 centimetres; this includes piles of timber, branches and other vegetation. Trees shall be pruned in accordance with section E – Interpretation and Additional Requirements (refer to E1).</p> <p>2) Category 5 - Protea Plantations/Vineyards: A 5 metre low fuel area is to be maintained between the 3 metre FIREBREAK and the plantation/vineyard area. In this area, vegetation is to be maintained to a height of no greater than 10 centimetres; this includes piles of timber, branches and other vegetation.</p> <p>3) Category 6, 7 and 8 - Rural Residential: Parkland clearing must be carried out in all open paddocks and along the boundary of the property. Clearing means that all dead vegetation and dry grasses (excluding approved crops, pasture areas and living trees/shrubs) including piles of timber and disused materials must be maintained to a height of no greater than 10 centimetres.</p> <p>C - Building Protection Zones (BPZ) – This is a modified area of reduced fuel immediately surrounding a building. BPZ's starve the fire by reducing the fuel levels around your house. These requirements are designed to reduce the fire's intensity and minimise the likelihood of flame contact with buildings. The BPZ gives more protection to families should a fire threaten suddenly and they cannot leave. It also provides extra protection for fire fighters and property owners who may decide to stay with their property.</p> <p>A BPZ shall be provided for buildings in bush fire prone areas. The surroundings of buildings must comply with the following requirements:</p> <p>1) The BPZ for existing buildings must be at least 20 metres from any external wall of the building unless varied under an approved Fire Management Plan (FMP) in accordance with section E - Interpretation and Additional Requirements (refer to E4).</p> <p>2) The minimum BPZ for buildings constructed after 1 November 2011, in all cases shall be 25 metres.</p> <p>3) The BPZ must be located within the boundary of the lot that the building is situated on.</p> <p>4) Hazardous/flammable materials must not exceed the maximum fuel load specified in Point 5 below with grass areas not exceeding a height greater than 10 cm.</p> <p>5) Fuel loads must be reduced and maintained at 2 tonne per hectare.</p> <p>6) Isolated trees and shrubs may be retained, however, the first 5 metres around all buildings is to be clear of all hazardous/flammable materials.</p> <p>7) Reticulated gardens in the BPZ shall be maintained to a height of no greater than 500 millimetres.</p> <p>8) Wood piles must be at least 10 metres away from habitable dwellings.</p> <p>9) Trees in the BPZ must comply with section E - Interpretation and Additional Requirements (refer to E1).</p> <p>10) Where the land has an approved FMP, compliance must be achieved in accordance with the FMP. The FMP may vary the above BPZ requirements.</p> <p>11) A Hazard Separation Zone (HSZ) is also recommended in the absence of a Fire Management Plan. Section E - Interpretation and Additional Requirements (refer to E3).</p> <p>D – Fuel Storage & Haystack Protection Zones</p> <p>A 3 metre mineral earth FIREBREAK shall be located within 6 metres of fuel storage tanks, sheds, gas cylinders and haystacks. The mineral earth firebreak shall be maintained so that it is totally clear of all material (living or dead).</p> <p>E – Interpretation and Additional Requirements</p> <p>1) Trees On Urban, Industrial, Rural, and Rural Residential land, all tree branches must be removed or pruned to ensure a clear separation of at least 3 metres back from the eaves of all buildings and 5 metres above the top of the roof. Branches that may fall on the house must also be removed. In the BPZ the following is 'recommended': the spacing of individual or groups of trees should be 15 metres apart to provide for a 5 metres separation between tree crowns. There is also a requirement of 2.5 metres between trees and power lines so they do not come into contact and start a fire or bring down a power line.</p> <p>2) Hazardous and Flammable Materials means the accumulation of fuel including burn piles (living or dead) such as leaf litter, twigs, trash, bush, dead trees and scrub capable of carrying a running fire, but excludes standing living trees and isolated shrubs. NOTE: All remaining vegetation, piles of timber, branches and other living vegetation must be maintained to a height of no greater than 10 centimetres. To measure and determine fuel loads use DFES's Visual Fuel Load Guide at http://www.dfes.wa.gov.au/safety/information/fire/bushfire/pages/publications.aspx#5 and select Visual Fuel Load Guide Swan Coastal (Part 1 & 2). Surface bush fire fuels should be kept low to the ground.</p> <p>3) Hazard Separation Zones (HSZ) A HSZ is a modified area of reduced fuel load outside of the BPZ and is recommended to assist in reducing the fires intensity when flames are approaching buildings. Both the BPZ and the HSZ are essential strategies for the protection of buildings. A HSZ covers the area 75 metres outside the BPZ. The HSZ should be modified to have a maximum fuel load of 6-8 tonne per hectare. This can be implemented by fuel reduction methods such as burning, mowing and slashing to remove the hazard. This should not require the removal of living trees or shrubs. REMEMBER: reduce the fuel level of the fire to lower the intensity of the blaze. Further information on fuel loading can be found in the Visual Fuel Load Guide available by calling DFES or via their website at www.dfes.wa.gov.au</p> <p>4) Fire Management Plan (FMP) A FMP is a comprehensive plan for the prevention and control of bushfires which may apply to individual land holdings. A notification, pursuant to the Transfer of Land Act 1893 (as amended) may be placed on the Certificate(s) of Title of the land for medium to long term fire management to reduce the occurrence and minimise the impact of uncontrolled bush fires, thereby reducing the threat to life, property and the environment. The land owner must comply with the FMP. Building in bush fire prone areas, new dwellings and other forms of accommodation, as well as additions to existing buildings are to be constructed in accordance with <i>Australian Standard 3959-2009</i>. In designated bush fire prone areas, the minimum BPZ in all cases shall be 25 metres. Further information on this and other information relating to fire safety issues can be found on the City's website www.busselton.wa.gov.au</p>				





APPENDIX 3 – References



GENERAL REFERENCES

SA Department of Environment and Natural Resources, Government of South Australia, 2012 *Overall Fuel Hazard Guide for South Australia*

Standards Australia, *Australian Standard AS 3745:2010 Planning for emergencies in facilities*

Standards Australia, *AS 3959:2018 Construction of buildings in bushfire-prone areas*, Sydney

Western Australian Planning Commission (WAPC) *Position Statement: Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design* November 2019

WA Department of Planning Land and Heritage 2016, *Visual Guide for bushfire risk assessment in Western Australia*

Western Australian Planning Commission (WAPC) 2015, *State Planning Policy 3.7 Planning in Bushfire Prone Areas*, Western Australian Planning Commission, Perth, Perth

Western Australian Planning Commission and Department of Fire and Emergency Services (WAPC) 2017, *Guidelines for Planning in Bushfire Prone Areas 2021 Version 1.4*, Western Australia

Online references

Office of Bushfire Risk management (OBRM), Map of Bush Fire Prone Areas,
< <https://maps.slip.wa.gov.au/landgate/bushfireprone/> >

TOWN PLANNING ASSESSMENT – BED AND BREAKFAST (CHANGE OF USE OF EXISTING SINGLE HOUSE AND NEW DEVELOPMENT) - LOT 301 (NO. 29) CARNARVON CASTLE DRIVE, EAGLE BAY

Details: Outline of Development Application

Local Planning Scheme	City of Busselton Local Planning Scheme No. 21
Local Planning Scheme Zoning	Residential R2.5
Structure Plan/Precinct Plan	Eagle Bay Structure Plan; Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay.
Use Class and permissibility:	Single House - 'P' permitted use; Bed and Breakfast- 'D' discretionary use.
Land Use Definitions	Single House: 'A dwelling standing wholly on its own green title or survey strata lot, together with any easement over adjoining land for support of a wall or for access or services and excludes dwellings on titles with areas held in common property'. Bed and Breakfast: 'means a dwelling, used by a resident of the dwelling, to provide accommodation for persons away from their normal place of residence on a short-term commercial basis and includes the provision of breakfast'.
Lot Size:	2588m ²
Existing Land Use:	Holiday Home (Single House) four (4) people.
State Heritage Register	No
Local Heritage	<input checked="" type="checkbox"/> N/A <input type="checkbox"/> Heritage List <input type="checkbox"/> Heritage Area
Bushfire Prone Area	Yes

The proposal

The application proposes the Bed and Breakfast (Change of use of Existing Single House and New Development) - Lot 301 (No. 29) Carnarvon Castle Drive, Eagle Bay (the Subject Site). This includes a Single House and incidental development, including an outbuilding and water tank, and a change of use of the previously approved Single House on the site currently under construction. The proposal includes the Bed and Breakfast use of the site which will replace the previously approved Holiday Home short-stay accommodation use.

Background

The Council is asked to consider a development application for a proposed Bed and Breakfast (Change of use of Existing Single House and New Development).

A summary of the background is provided as follows:

Gazettal of on 7 June 2019.	Scheme amendment AMD21/0029 was gazetted. This amendment rezoned Lots 301-304 Carnarvon Castle Drive and Lots 305-310 Vixen Close Eagle Bay from Rural Residential to Residential R2.5.
21 May 2021	Approval granted for Holiday Home (Single House) 4 People under DA21/0250.
4 July 2022	Approval granted for modifications to Holiday Home (Single House) 4 People under DA21/0250.01.

Key information includes for the application includes:

1. **Landowner:** Teena and Lee Smith
2. **Applicant:** MNB Residential
3. **General description of the site:** Lot 301 (No. 29) Carnarvon Castle Drive ('the Site') is a corner lot on 90 degree bend of Carnarvon Castle Drive. The site is zoned 'Residential' under the Scheme with a density coding of R2.5. The adjoining properties to the south and east are similarly zoned 'Residential' with a density of coding of R2.5, while the properties to the west on the opposite side of Carnarvon Castle Drive are zoned 'Rural Residential'.
4. **Current development/use:** Holiday Home (Single House) 4 People
5. **Applicable zoning and special control area designations:**
 - Residential R2.5 zoning;
 - Eagle Bay Special Character Area; and
 - Landscape Value special control area.
6. **Land use Permissibility:**
 - Single House 'P'-permitted;
 - Bed and Breakfast 'D'-discretionary.
7. **The proposal seeks development approval for following discretions:**
 - a. The Subject Site is within the Landscape Value special control area in which all development requires development approval in accordance with Local Planning Scheme No. 21 (LPS21 or the Scheme) clause 5.4.1;

- b. The site is within the Eagle Bay special character area in which all development requires development approval in accordance with LPS21 clause 5.7.1;
- c. Proposed dwelling; including the change of use of existing Holiday Home (Single House). All development on the site to be a single land use 'Bed and Breakfast' accommodating a maximum of four guests; and ancillary buildings consisting of a water tank and outbuilding.
- d. Bed and Breakfast is a 'D'- discretionary use class which is not permitted unless the Local Government has exercised its discretion by granting development approval;
- e. The dwelling is proposed to reach a height of 8.45m, inclusive of the chimney height, in lieu of the Eagle Bay Structure Plan (the Structure Plan) development standard 8 and Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay (the DGP) development standard 4 permitted height of 7.5m above natural ground level;
- f. An upper storey floor area covering 89% of the ground floor building footprint in lieu of 50% permitted by the DGP development standard 4 and Structure Plan development standard 8;
- g. 1.1m high earthworks are proposed to support the slab in lieu of 0.5m permitted under Local Planning Policy 3.3 Eagle Bay Special Character Area (LPP 3.3) Element I Site Works is proposed;
- h. An outbuilding wall height wall height of 3.34m is proposed in lieu of Residential Design Codes deemed-to-comply limit of 2.4m, Local Planning Scheme No. 21 wall height of 2.7m deemed to meet the Residential Design Codes design principles, and Local Planning Policy 4.10 Outbuildings and Other Non-Habitable Buildings 3.1m wall height limit deemed to meet the Residential Design Codes Design Principles.

Legislation and Policy

Legislation

Planning and Development Act 2005

Planning and Development (Local Planning Schemes) Regulations 2015

Local Planning Scheme No. 21

State Government Policies

State Planning Policy 7.3 Residential Design Codes

State Planning Policy 3.7 Planning in Bushfire Prone Areas

Structure Plans/Development Guide Plans

Eagle Bay Structure Plan

Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay

Local Planning Policies

Local Planning Policy 2.1 Car Parking

Local Planning Policy 3.1 Reflective Building Materials

Local Planning Policy 3.3 Eagle Bay Special Character Area

Local Planning Policy 4.2 Bushfire

Local Planning Policy 4.10 Outbuildings and Other Non-Habitable Buildings

Consultation

The application was advertised with letters mailed to surrounding landowners during the period commencing on 13 March 2023 and concluding on 29 March 2023. During this period, the City received two (2) submissions objecting to the proposal. Details are provided in Attachment 4 Schedule of Submissions.

The proposal has not been referred to external government or service agencies.

OFFICER COMMENT

The Proposal will be assessed against each item of policy and legislation listed in this document. Accordingly, the officer comment will include the following subheadings:

- Local Planning Scheme No. 21 Assessment;
- State Planning Policy 7.3 Residential Design Codes Assessment;
- Residential Design Codes Design Principles Assessment
- State Planning Policy 3.7 Planning in Bushfire Prone Areas;
- State Planning Policy 3.7 Planning in Bushfire Prone Areas Table;
- Eagle Bay Structure Plan Assessment;
- Comment on Variation to the Structure Plan;
- Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay Assessment;
- Setback Assessment;
- Height Assessment;
- Comment on Building Height Discretion;
- Local Planning Policy 2.1 Car Parking Assessment;
- Local Planning Policy 3.1 Reflective Building Materials Assessment;
- Local Planning Policy 3.3 Eagle Bay Special Character Area Assessment;
- Local Planning Policy 4.10 Outbuildings and Other Non-Habitable Buildings Assessment;
- Assessment Against LPP 4.10 Objectives for the Assessment of Applications;
- Local Planning Policy 4.2 Bushfire Assessment;
- Local Planning Policy 6.1 Stormwater Management Assessment; and
- Conclusion

Local Planning Scheme No. 21 Assessment

Provision	Requirement	Proposal	Assessment
Residential Zone Objectives			
Objective (a)	To provide for a range of housing and a choice of residential densities to meet the needs of the community.	Bed and Breakfast (Change of use of Existing Single House and New Development). This includes a Single House, Outbuilding, Water Tank and Bed and Breakfast use of the site.	<p>The proposal of single house is in keeping with this objective.</p> <p>Although it is subject to the proposed Bed and Breakfast use, the option to rent out the Dwelling or to house family members on a long term basis still exists. Therefore, it provides a boost to housing supply which is considered to be of community benefit.</p>
Objective (b)	To facilitate and encourage high quality design, built form and streetscapes throughout residential areas.	Bed and Breakfast (Change of use of Existing Single House and New Development). This includes a Single House, Outbuilding, Water Tank and Bed and Breakfast use of the site.	The house is in generally compliant with development standards concerned with providing a high quality streetscape. Refer to the specific discussion of each proposed variation and the acceptability of the resulting outcome in this document.
Objective (c)	To provide for a range of non-residential uses, which are compatible with and complementary to residential development.	Bed and Breakfast (Change of use of Existing Single House and New Development). This includes a Single House, Outbuilding, Water Tank and Bed and Breakfast use of the site.	<p>The Bed and Breakfast use may only operate when residents are living on the site. This is a reduction in the intensity of the short-stay accommodation use on the site from the existing Holiday Home (Single House) approval on the site approved under DA21/0250. This is given that guests can stay at a Holiday Home unhosted.</p> <p>The Bed and Breakfast use is ancillary to the residential use of the site, as discussed above, and is therefore considered in keeping with Objective (c). This considers the Bed and Breakfast use cannot lawfully occur independently of the residential use of the site.</p>
Clause 4.3.1 Modifications of the Residential Design Codes	Notwithstanding any other provision of the Scheme, the		


	following variations and exclusions to the R-Codes apply:		
4.3.1 (e)	All Special Character areas provided for in Schedule 4 and pursuant to clause 5.7 are excluded as necessary from the provisions of the R-Codes to the extent of any conflict between the standards set out in Schedule 4 and the R-Codes.	The Site is within the Eagle Bay Special Character Area.	Application is assessed against Schedule 4 and the special character area Local Planning Policy 3.3 Eagle Bay Special Character Area (LPP 3.3). These assessments are included later in this document.
4.3.1 (f)	Notwithstanding the deemed to comply provisions of the R-Codes, outbuildings that do not exceed a wall height of 2.7 metres and ridge height of 4.5 metres are deemed to meet the relevant performance criteria.	A 3.34m outbuilding wall height is proposed.	This will assessed against the performance criteria of Local Planning Policy 4.10 Outbuildings and Other Non-Habitable Buildings (LPP 4.10) in the relevant section of this document.
4.3.1 (g)	On land coded R2, R2.5 or R5, all building development is to be contained within a building envelope area which does not exceed 1,000m ² , or as otherwise required by a plan adopted pursuant to Part 4 of the Deemed Provisions.	The site plan indicates that all proposed buildings are within the existing endorsed building envelope.	Complies. A building envelope has been endorsed through the Endorsed Building Envelope Plan associated with the DGP. All proposed buildings are contained within the designated building envelope.
Clause 4.11 Water Supply	Each dwelling shall be provided with a supply of potable water from a reticulated system, an underground bore or a rainwater storage system to the satisfaction of local government. Water tanks	Dwelling will be connected to reticulated water.	Complies.

	or other rainwater storage systems shall have a minimum capacity of 135,000 litres and shall be directly connected to a suitable means of rainfall catchment having an area of not less than 150m ² . All water tanks shall be fitted with couplings to the specification of the Department of Fire and Emergency Services.		
Clause 4.12 Effluent Disposal			
4.12.1	If no reticulated sewerage system is available, development approval shall not be granted for development in excess of a single house unless -	No sewer connection available to the site.	Refer to comments below against cl. 4.12.1 (a).
4.12.1 (a)	adequate and appropriate provision can be made for the on-site disposal of effluent, having particular regard to the comments or requirements specified by the Department of Health.	An Aerobic Treatment Unit (ATU) on site effluent disposal system is proposed to service the development.	Complies. This system will require approval by the health department at the building permit stage. This process will ensure the system provides adequate capacity and meets the relevant environmental health legislative standards.
4.12.2	If no reticulated sewerage system is available, liquid and/or solid wastes shall be disposed of on-site by means of an effluent disposal system approved by the local government. No house shall be occupied without the prior approval and installation of such a disposal system.	ATU proposed to service the site as mentioned in the comment above.	Complies, refer to comment above.
Clause 4.18 Holiday Homes and Bed and Breakfast			

4.18.2	The maximum number of rooms to be occupied by guests under the Bed and Breakfast use class is four (4) rooms for -		
4.18.2 (a)	Residential zoned lots 1,500m ² or greater; or	A maximum of Four (4) guests are proposed to be accommodated by the Bed and Breakfast.	Complies. The lot is zoned 'Residential' and is greater than 1500m ² .
Clause 4.32 Clearing of Land in Rural Areas or Land Coded R2, R2.5 or R5			
4.32.1	On land coded R2, R2.5 or R5 or located in the Rural Residential, Rural Landscape or Bushland Protection zones, vegetation may only be felled, removed or damaged when -	The lot is zoned Residential with a density coding of R2.5.	The proposal will be assessed the subclauses of 4.32 accordingly.
4.32.1 (a)	associated with implementing approved development;	Scrub vegetation will be removed to accommodate building footprint, driveway and Asset Protection Zone (APZ). Mature trees are to be retained as indicated on the site plan.	Complies. Vegetation removal is proposed within the proposed building footprints which this standard permits. All proposed buildings are proposed to be situated within the existing building envelope designated for the site.
4.32.1 (b)	essential for achieving adequate fire protection	All vegetation on the site will be managed to asset protection zone standards in accordance with the submitted Bushfire Management Plan (BMP).	Complies. The APZ is required to achieve adequate fire protection in accordance with State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP 3.7). This considers the BMP will facilitate the reduction of the initial determined Bushfire Attack Level (BAL)-Flame Zone (FZ) rating of the Single House to an acceptable BAL-29 rating in accordance with the standards of SPP 3.7 through the APZ establishment. The entire site is currently required to be managed to APZ under the existing BMP endorsed through previous



			development approval DA21/0250 and as modified in DA21/0250.01.
Clause 5.1 Operation of Special Control Areas			
5.1.1	<p>The following special control areas are shown on the Scheme map:</p> <ul style="list-style-type: none"> • Development Investigation; • Special Provision; • Landscape Value; • Wetland; • Coastal Management; • Special Character; • Airport Protection; • Port Geographe Development; • Waste Water Exclusion; • Waste Water Buffer; • Floodway; • Development Contribution; and • Drive-Through Facility Control. 	The site is situated within the Landscape Value and Special Character special control areas.	Noted.
5.1.2	In respect of a special control area shown on a Scheme map, or otherwise set out in the Scheme, the provisions applying to the special control area apply in addition to the provisions applying to any underlying zone or reserve and any general provisions of the Scheme.	As per assessment comment.	Noted. The assessment considers the standards of the special control areas additional to the previous Scheme standards.

Clause 5.4 Landscape Value Area			
5.4.1	Development within the Landscape Value Area requires the prior development approval of the local government.	Application for development approval lodged.	Development approval is applied for through this development application, which is being considered by Council.
5.4.2	The local government shall not grant development approval for the clearing or development of any land identified within a Landscape Value area on the Scheme map, unless it has considered –		
5.4.2 (a)	whether the development will be compatible with the maintenance and enhancement, as far as is practicable, of the existing rural and scenic character of the locality;	Bed and Breakfast (Change of use of Existing Single House and New Development). This includes a Single House, Outbuilding, Water Tank and Bed and Breakfast use of the site.	<p>The proposal is considered to comply.</p> <p>This notes the land uses proposed are permitted in the case of the Single House and discretionary in the case of the Bed and Breakfast use.</p> <p>The proposed Bed and Breakfast use is a reduction in the intensity of short-stay accommodation use on the site from the existing approved Holiday Home (Single House) use as mentioned previously against Objective (c) of the Residential Zone previously in this document. The Bed and Breakfast use will replace the Holiday Home use.</p> <p>Built form development standards will be assessed and discussed in their respective sections of this document.</p> <p>The entire site is currently required to be managed to APZ standards under the existing BMP endorsed with previous approval DA21/0250 on the site. Other clearing is limited to the proposed building footprints and to establish the APZ prescribed by the BMP accompanying the current development application. Clearance of vegetation for</p>

			<p>building footprints and management of vegetation for bushfire purposes is common within the established character of the area. The aerial image provided below indicates this:</p>  <p>Removal of vegetation within building footprints and for establishing an APZ is permitted elsewhere in the Scheme under clause 4.32 (a) and (b) as previously discussed.</p>
5.4.2 (b)	whether the development will materially affect any wildlife refuge, significant wetland, coastal environment or any identified site containing Aboriginal archaeological relics; and	Vegetation removal within proposed building footprints and for establishment of APZ is proposed.	<p>Considered to comply.</p> <p>Available data indicates no recognised aboriginal heritage sites are impacted by the proposal.</p> <p>The site is not within a designated wetland or coastal environment area.</p> <p>The vegetation removal and is proposed for the establishment of the APZ and the building footprints. This is deemed acceptable under clause 4.32 (a) and (b) of the</p>

			<p>Scheme as previously discussed. All buildings are contained within the existing endorsed building envelope. The site would become undevelopable if no allowance were given for vegetation removal for building footprints and for bushfire purposes in accordance with the requirements of SPP 3.7.</p> <p>It is noted the entire site is currently required to be managed to APZ standard as discussed against clause 5.4.2 (a) above.</p> <p>Mature trees on the site are proposed to be retained as indicated on the site plan in Attachment 2 which is considered a positive outcome under 5.4.2 (b) for preserving wildlife refuge.</p>
5.4.2 (c)	<p>disturbance to the natural environment, including –</p> <ul style="list-style-type: none"> i. visual effects of clearing for development; ii. maintenance of rural character; and iii. habitat disturbance. 	<ul style="list-style-type: none"> i. Removal of scrub vegetation for building footprint and vegetation management on the site to asset protection zone standard. ii. Proposal includes permitted development of Single House use and discretion sought for Bed and Breakfast use. iii. Refer to (i). No other potential impacts to habitat. 	<p>Compliant:</p> <ul style="list-style-type: none"> i. Refer to above comment in response to 5.4.2 (b) and previous discussion in response to Clause 4.32 of the Scheme. ii. Single House is a permitted use in the Residential zone and is therefore compliant. <p>The proposed Bed and Breakfast is discretionary use. The proposed Bed and Breakfast is compliant with all applicable development standards and therefore not considered to be conflict with the character of the area under (ii). This also notes that, while falling within the Landscape Value special control area, the site sits within a low density residential area rather than a rural area with respect to character.</p>

			iii. Refer to the response to (i), 5.4.2 (a), 5.4.2 (b), and clause 4.32 of the Scheme. Only permitted vegetation removal is proposed. No water courses or water bodies are impacted.
5.4.3	The local government shall not grant development approval for the carrying out of development on land within the Landscape Value area or on land on or near any ridgelines where, in the opinion of the local government, that development is likely to substantially detract from the visual amenity of the area, having regard to, among other things, the cumulative visual effect of the development related to other development that may be anticipated in the locality and in the area generally.	The Site sits on a slope with the building envelope area ranging from 51m to 49.2 Australian Height Datum (AHD).	Complies. The site is not at the top of a ridgeline given the landscape features a ridge height at 60m AHD. The lot was subdivided in 2009 with the zoning allowing for residential development within the endorsed building envelope area.
5.4.4	Before granting development approval for the erection of a building on land within the Landscape Value area, the local government shall make an assessment as to whether it should impose conditions relating to –		
5.4.4 (a)	the siting of the proposed building;	All development contained within the endorsed building envelope.	Complies.
5.4.4 (b)	the use of prescribed materials on the external surfaces of the building; and	‘Harvest’ colour brick walls are proposed. Harvest sample is shown below:	Complies. The proposed colours are non-reflective and comply with Local Planning Policy 3.1 Reflective Building Materials, as neither fall under the policy’s light or very

		 <p>Colourbond material roof is proposed.</p> <p>Exterior colourbond cladding is to be in 'Monument' colour:</p>  <p>Monument™</p>	light colour classification or designated non-permitted materials.
5.4.5	<p>In clause 5.4.4 –</p> <p>"external surfaces" means the external walls and cladding (if any), external doors, external door and window frames, columns, roofs, fences and any surface of a building or work visible from the exterior of a building or work; and</p> <p>"prescribed materials" means materials with dark tones or dark colouring and of low reflective</p>		Noted.

	quality or materials which are painted or similarly treated with dark toned or dark coloured paint or pigment of low reflective quality.		
Clause 5.7 Special Character Area			
5.7.1	Development within the Special Character Area requires the prior development approval of the local government.	Development application lodged.	Development approval is sought through this development application.
5.7.2	The local government may devise development objectives, provisions and/or controls to reinforce, retain or change the characteristics, form and nature of a designated Special Character area, with such objectives, provisions and/or controls being specified in Schedule 4.	Assessed against development the given standards in the relevant sections of this document.	Noted.
5.7.3	Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special Character area, those objectives, provisions and/or controls act in conjunction with the other provisions of this Scheme relevant to that area with the exception that the provisions of Schedule 4 will take precedence over any other provisions of this Scheme.	Assessed against the given development standards in the relevant sections of this document.	Noted.

State Planning Policy 7.3 Residential Design Codes Assessment

Deemed to Comply Standard	Requirement	Proposal	Assessment
Clause 5.1.4 Open Space			
C4	<p>Open space provided in accordance with Table 1 (refer Figure Series 6). The site of the grouped dwelling, for the purpose of calculating the open space requirement, shall include the area allocated for the exclusive use of that dwelling and the proportionate share of any associated common property.</p> <p>Note: Table 1 requires 80% of the site meet the definition of open space.</p>	86% of the site is provided as open space.	Complies.
Clause 5.2.2 Garage Width			
C2.4	A garage door and its supporting structures (or a garage wall where a garage is aligned parallel to the street) facing the primary street is not to occupy more than 50 per cent of the frontage at the setback line as viewed from the street (refer Figure 8c). This may be	The garage occupies 27.13% of the primary street frontage width at the applicable front setback line.	Complies.

	increased up to 60 per cent where an upper floor or balcony extends for more than half the width of the garage and its supporting structures (or a garage wall where a garage is aligned parallel to the street) and the entrance to the dwelling is clearly visible from the primary street.		
Clause 5.3 Street Surveillance			
C3.1	Street elevation of the dwelling to address the street with clearly definable entry points visible and accessed from the street.	The front door is clearly visible and addresses the western Carnarvon Castle Drive frontage.	Complies.
C3.2	One major opening from a habitable room of the dwelling faces the street and pedestrian or vehicular approach to the dwelling.	Guest bed 2 and upper floor balcony address the street and vehicular access with line of sight over the front entry and vehicular access.	Complies.
Clause 5.2.5 Sight Lines			
C5	Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences, or other structures adjoin:	No obstructions to the required sightlines are proposed.	Complies.

	<ul style="list-style-type: none"> i. a driveway that intersects a street, right-of-way or communal street; ii. a RoW or communal street that intersects a public street; and iii. two streets that intersect (refer Figure 9a). 		
Clause 5.3.2 Landscaping			
C2.2	<p>Landscaping of single houses, grouped dwellings and multiple dwellings to include the following:</p> <ul style="list-style-type: none"> i. the minimum number of trees and associated planting areas in the table below; and ii. Landscaping of the street setback area, with not more than 50% of the area to consist of impervious surfaces. <p>Note: under (i) the table requires a minimum of one (1) tree in a 2mx2m planting area.</p>	<ul style="list-style-type: none"> i. Multiple native trees are being retained on the site. ii. 7.76% of the front setback area is proposed to be occupied by impervious surfaces. 	Complies.
Clause 5.3.3 Car Parking			

C3.1	Two (2) parking bays required for single House.	Four (4) parking bays are provided.	Complies.
Clause 5.3.5 Vehicular Access			
C5.1	<p>Access to on-site car parking spaces to be provided:</p> <ul style="list-style-type: none"> • From a communal street or RoW if available. • From a secondary street where no Communal Street or RoW exists. • From the primary street frontage where no secondary street, communal street or RoW exists. 	Access taken from western Carnarvon Castle Drive Street frontage, which the front door is proposed to address, in lieu of the of northern Carnarvon Castle Drive frontage.	Variation. Access proposed through primary street frontage.
C5.2	<p>Driveways to primary or secondary street provided as follows:</p> <ul style="list-style-type: none"> • driveways serving four dwellings or less not narrower than 3m at the street boundary; • no driveway wider than 6m at the street boundary and driveways in 	The driveway is 3m wide at the boundary.	Complies.

	aggregate no greater than 9m for any one property.		
C5.3	<p>Driveways shall be:</p> <ul style="list-style-type: none"> • no closer than 0.5m from a side lot boundary or street pole; • no closer than 6m to a street corner as required under AS2890.1 Parking Facilities: Off street Parking (as amended); • aligned at right angles to the street alignment; • located so as to avoid street trees, or, where this is unavoidable, the street trees replaced at the applicant's expense or re-planting arrangements to be approved by the decision-maker; and • adequately paved and drained. 	<ul style="list-style-type: none"> • The driveway is setback greater than 0.5m from either side boundary. • The driveway is 25m from the nearest corner tangent point. • The driveway is aligned at a right angle to the street. • The driveway does not impact any street trees or any other public assets. • Drainage for the overall development will be addressed by a condition of approval requiring adequate management of storm water within the site at a rate of 1m³ per 65m² impervious area in keeping with the City's Local Planning Policy 6.1 Stormwater Management. 	Complies with all points subject to conditions of approval.
Clause 5.3.7 Site Works			
C7.1	Retaining walls, fill and excavation between the street boundary and the street setback, not more than 0.5m	No fill or excavation is proposed between the street boundary and the street setback.	Complies.

	above or below the natural ground level, except where necessary to provide for pedestrian, universal and/or vehicle access, drainage works or natural light to a dwelling.		
C7.2	Retaining walls, fill and excavation within the site and behind the required street setback to comply with Table 4.		Refer to separate setback assessment within this document.
Clause 5.3.9 Stormwater Management			
C9	All water draining from roofs, driveways, communal streets and other impermeable surfaces shall be directed to garden areas, sumps or rainwater tanks within the development site where climatic and soil conditions allow for the effective retention of stormwater on-site.	Refer to compliance comment.	A recommended condition will require stormwater to be managed onsite in accordance with the City's Local Planning Policy 6.1 Stormwater Management.
Clause 5.4.1			
C1.1	Major openings and unenclosed outdoor active habitable spaces, which have a floor level of more than 0.5m above natural ground level and overlook any	All areas of the dwelling are setback greater than 7.5m to all boundaries with neighbouring properties.	Complies.

	<p>part of any other residential property behind its street setback line are:</p> <p>setback, in direct line of sight within the cone of vision, from the lot boundary, a minimum distance as prescribed in the table below (refer Figure Series 10):</p> <p>Major openings to bedrooms and studies 4.5m;</p> <p>Major openings to habitable rooms other than bedrooms and studies 6m; and</p> <p>Unenclosed outdoor active habitable spaces 7.5m.</p>		
Clause 5.4.3 Outbuildings			
C3	The outbuilding addresses C3 (b) for large and multiple outbuildings which provides:	<p>i. The proposed outbuilding is 49m².</p> <p>ii. Refer to separate setback assessment within this document.</p>	Variation to (iii).

	<ul style="list-style-type: none"> i. individually or collectively does not exceed 60m² in area or 10 per cent in aggregate of the site area, whichever is the lesser; ii. Setback in accordance with Table 2a; iii. Does not exceed a wall height of 2.4m; iv. Does not exceed a ridge height of 4.2m; v. Not located within the primary or secondary street setback area; and vi. Does not reduce the open and outdoor living area requirements in Table 1. 	<ul style="list-style-type: none"> iii. A wall height of 3.34m is proposed. iv. A ridge height of 3.34m is proposed. v. The outbuilding is compliant with the applicable street setbacks. Refer to separate setback assessment in this document. vi. Proposal complies with open space requirement as noted against Clause 5.1.4. Outdoor living area requirements are not applicable to Lots with a density coding or R2.5. 	
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Residential Design Codes Design Principles Assessment

Design Principle	Requirement	Proposal	Assessment
Clause 5.3.5 P5	Vehicular access provided for each development site to provide:		
P5 bullet point 1	Vehicle access safety;	Access taken from primary street frontage in lieu of secondary frontage.	<p>Complies. The proposal is not considered to compromise vehicle access safety.</p> <p>Both street frontages provide access to the same road, being Carnarvon Castle Drive. Therefore, taking access</p>

			<p>from the primary street does not result in access being taken from a higher traffic volume road in lieu of the availability of a lower traffic volume road.</p> <p>The access is compliant with the deemed-to-comply sightline standards of R-Codes clause 5.2.5 and the deemed-to-comply standards of clause 5.3.5 C5.3 such as adequate setbacks to the nearest street intersection and to adjoining lot boundaries.</p>
P5 bullet point 2	Reduced impact of access points on the streetscape;	Access taken from primary street frontage in lieu of secondary frontage.	Complies. The Site has two frontages to the same road as mentioned above in the discussion against P5 bullet point 1. Therefore, if the crossover addressed the secondary street frontage, then it would still present to the same street.
P5 bullet point 3	Legible access;	Access taken from primary street frontage in lieu of secondary frontage.	Complies. The access is clearly visible and clearly associated with the subject Site at a glance.
P5 Bullet point 4	Pedestrian Safety	Access taken from primary street frontage in lieu of secondary frontage.	<p>Complies. There is not considered to be any increased impact to pedestrian safety compared to if access was taken from the northern Carnarvon Castle frontage. There is no footpath impacted by the crossover.</p> <p>The western street frontage is wider than the northern secondary frontage which will provide greater visibility of cars entering and exiting through the proposed access compared to the alternative on the northern street frontage.</p>

P5 bullet point 5	Minimal crossovers	Access taken from primary street frontage in lieu of secondary frontage.	Complies. A single crossover is proposed.
P5 bullet point 6	High quality landscaping features.	Access taken from primary street frontage in lieu of secondary frontage.	Complies. The landscaping plan approved through DA21/0250 will ensure a portion of the Site's frontage to Carnarvon Castle Drive will be landscaped. This standard is intended to apply to smaller lots in urban areas with less vegetation present on the site. Existing vegetation will present to much of the western Carnarvon Castle Drive frontage.
Clause 5.4.3 Outbuildings Design Principles			The variations will be assessed against the LPP 4.10 Objectives for the Assessment of Applications. LPP 4.10 guides the City's application of discretions for outbuilding proposals.

State Planning Policy 3.7 Planning in Bushfire Prone Areas Assessment

The proposal is accompanied by a Bushfire Management Plan (BMP). The BMP has been produced by an appropriately accredited level 3 bushfire planning practitioner. The proposal requires a BMP due to the dwelling being subject to a determined Bushfire Attack Level (BAL) rating of Flame Zone (FZ). In summary, the BMP demonstrates the proposal will achieve compliance with the SPP 3.7 Guidelines, including the reduction of the BAL rating to an acceptable rating of BAL-29. The assessment against the Appendix Four Bushfire Protection Criteria of the SPP 3.7 Guidelines is included below.

State Planning Policy 3.7 Assessment Table

Provision	Requirement	Proposal	Assessment
Element 1 Location			
A1.1 Development Location	The strategic planning proposal, subdivision and development application is located in an area that is or will, on completion, be subject to either a moderate or low bushfire hazard level, or BAL-29 or below.	The proposal is subject to an initial BAL-FZ rating. The BMP proposes the implementation of an APZ that will result in a rating of BAL-29.	Complies. The BMP prescribes an APZ that will result in the achievement of BAL-29 for the site. The APZ will be required to be maintained in perpetuity to maintain the BAL-29 rating.
A2.1 Asset Protection Zone	<p>Every habitable building is surrounded by, and every proposed lot can achieve, an APZ depicted on submitted plans, which meets the following requirements:</p> <ul style="list-style-type: none"> Width: Measured from any external wall or supporting post or column of the proposed building, and of sufficient size to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m² (BAL-29) in all circumstances. Location: the APZ should be contained solely within the boundaries of the lot on which the building is situated, except in 	<ul style="list-style-type: none"> The APZ width is prescribed width that is adequate to capture the vegetation responsible for the initial BAL-FZ rating. The APZ is contained within the lot boundaries. The BMP prescribes the APZ to be managed in accordance with 'Standards for Asset Protection Zones'. 	Complies with each of the three (3) points.

	<p>instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity (see explanatory notes).</p> <ul style="list-style-type: none"> • Management: the APZ is managed in accordance with the requirements of 'Standards for Asset Protection Zones. 		
A4.2 Provision of Water for Firefighting Purposes	Where a reticulated water supply is existing or proposed, hydrant connection(s) should be provided in accordance with the specifications of the relevant water supply authority.	The site has access to a reticulated water supply. A hydrant is located within 50m of the site on Carnarvon Castle Drive.	Complies.

Eagle Bay Structure Plan Assessment

Provision	Requirement	Proposal	Assessment
Planning Policy Statement 8	All buildings are restricted to a height of 7.5m above natural surface level with no more than 50% of the ground floor of the building to be two (2) storey development. Lots fronting Eagle Bay Road may require height limits of 4.5m to protect the tree canopy line.	<p>The proposed Single House reaches a maximum building height of 7.87m above natural ground level.</p> <p>The upper floor covers 89% of the ground floor footprint in lieu of 50%. This considers 214m² roofed building area covered by the upper floor relative to the total ground floor building footprint area of 240m², inclusive of the garage. No definition of 'building' is provided for the application of the Structure Plan, so unenclosed roofed outdoor living areas have been included.</p> <p>No definition of 'building' is provided for the application of the Structure Plan so all roofed areas inclusive of unenclosed roofed building areas of the Single House have been considered for the calculation.</p>	<p>Variation to 7.5m height limit and proportion of the footprint occupied by upper floor is proposed.</p> <p>The height limit variation is discussed in a separate section of this report.</p>

Comment on Variations to the Eagle Bay Structure Plan

The variation sought to Structure Plan Planning Policy Statement 8 is assessed against the relevant subclauses of clause 67 (2) of the Planning and Development (Local Planning Schemes) Regulations 2015 (the Regulations 2015).	
Clause 67 (2) of the Regulations 2015	Comment
<p>m) the compatibility of the development with its setting, including —</p> <p>(i) the compatibility of the development with the desired future character of its setting; and</p> <p>(ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development.</p>	<p>(i) The proposal is considered to comply. Structure Plan Planning Policy Statement 8 attempts to manage the scale of upper floor building bulk. The assessment of the impact will consider the enclosed building floor areas rather than roofed areas total for the purpose of discussing the true built form impact.</p> <p>The standard relies on proportions, not the absolute building floor area. As a result, the proposal includes a high proportion of second storey area relative to ground floor area. However, the high proportion is predominantly due to what is considered a reasonably modest sized ground floor area for the context of the area. This considers the proposed ground floor area is 181.82m². The upper floor enclosed building area is 162.8m. The immediate area is predominantly built-out and therefore the character is generally established. The proposal compares to other existing houses in in the area as follows:</p> <ul style="list-style-type: none"> • Approximately 260m² upper floor area at Lot 19 (no. 30) Eagle Crescent; • Although compliant with Structure Plan Planning Policy Statement 8, a total of 169m² upper floor area was approved at Lot 303 (No. 15) Carnarvon Castle;

	<ul style="list-style-type: none"> • Lot 305 Vixen Drive (No. 35 Carnarvon Castle Drive) which includes a 318.7m² dwelling footprint area exclusive of unenclosed components with an upper floor component of 187m²; and • 52 Carnarvon Castle Drive which is developed with a single storey dwelling with a footprint of approximately 428m² exclusive of incidental development and unenclosed outdoor living areas. <p>The above examples are generally compliant given the standard is based on proportions. However, they provide examples of the established pattern of development in the area for true scale of building bulk and ground floor building footprints. The proposed dwelling is of less total building scale than the above examples with respect to both ground and upper floor areas.</p> <p>(ii) This point is addressed in the discussion against (i) above. The southern adjoining property is provided in the examples of existing houses in the area, being Lot 305 Vixen Close (No. 35 Carnarvon Castle Drive). The proposal is of a more modest scale with respect to the ground and upper floor areas.</p> <p>The eastern adjoining property is vacant and the owners provided no submission during the advertising period to raise concerns.</p>
<p>n) the amenity of the locality including the following —</p> <p>(ii) the character of the locality;</p>	<p>(i) The proposal is considered in character with the established character of the area with respect to the proposed variation to the permitted portion of the upper floor coverage in relation to ground floor. Refer to the examples of existing houses built in the area in the discussion against clause 67 (i).</p>

Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay Assessment

Provision	Requirement	Proposal	Assessment
Planning Policy Statement 4	All buildings are restricted to a height of 7.5m above natural surface level with no more than 50% of the ground floor of the building to be two (2) storey development.	<p>The proposed Single House reaches a maximum building height of 8.45m including the chimney. However, excluding the chimney, the building reaches a maximum of 7.87m above natural ground level.</p> <p>The upper floor covers 89% as per calculation under Planning Policy Statement 8 of the Structure plan.</p>	<p>Variation to 7.5m height limit and proportion of the footprint occupied by upper floor is proposed. This standard is a double up of Planning Policy Statement 8 of the Structure Plan. Refer to the assessment against the Regulations clause 67 (2) for the proportion of the upper floor exceeding 50% relative to the ground floor area.</p> <p>The variation to the 7.5m height limit is assessed against clause 67 (2) of the Regulations 2015 in a later section of this report.</p>
Planning Policy Statement 5	No clearing of vegetation, including clearing for fire management purposes, will be permitted in the restricted building area.	Scrub vegetation removal is required in the restricted building area to accommodate the access.	<p>There are no alternative access options that would avoid scrub removal. The City cannot refuse access to the site.</p> <p>All vegetation on the site will be managed to asset protection zone standard in accordance with the BMP. This does not require tree removal in the building restriction area.</p>
Planning Policy Statement 7	Effluent disposal to be handled via ATU systems appropriate to the locality, with effluent disposal areas located at least 50m away from watercourses.	An ATU system is proposed to service the development. It is not within 50m of a watercourse.	
Planning Policy Statement 16	Lots 1-4 (includes the lot the subject of this application as lot 1) are subject to building setbacks of 10 metres to the	These setbacks were incorporated into the endorsed building envelope.	The setbacks are assessed separately within this document.

	northern boundary of the lots and 5 metres to all other lot boundaries, except that any building on Lot 4 must be setback 15 metres from the eastern boundary of that lot.		
Planning Policy Statement 17	A single crossover point will be permitted to the new road, being the extension of Carnarvon Castle Drive, into location 1348.	A single crossover accessing Carnarvon Castle Drive is proposed.	Complies.

The setback assessment in this document is made on the basis that the Structure Plan, DGP and the Endorsed Building Envelope Plan provide the setback standards for the site. Refer to the discussion of the setbacks in the Officer Report to Council.

The setbacks assessed in the table below respects that all buildings must be contained within the building envelope provided by the Endorsed Building Envelope Plan.

The assessment notes that the battered earthworks extending to the South of the dwelling do not include a retaining wall and therefore are not classified as a building and as a result are subject to R-Codes 5.3.7, not the building envelope setback. Similarly, the pergola fronting the northern Carnarvon Castle frontage does not fall within the classification of a building and is therefore not subject to setback requirements. This also considers that the R-Codes do not subject pergolas to any setback standards.

Setback Assessment

Boundary	Required	Proposed	Compliance
Dwelling:			
Carnarvon Castle (west)	5m	13.5m	Complies
Side (south)	10m	10.32	Complies
Carnarvon Castle (north)	10m	22.7m	Complies
Rear (East)	5m	11.5m	Complies
Outbuilding (shed)			
Carnarvon Castle (west)	5m	5m	Complies
Carnarvon Castle (north)	10m	10m to the truncation and 19m to the northern boundary	Complies
Side (south)	10m	33m	Complies
Rear (east)	5m	32m	Complies
Water Tank			
Carnarvon Castle (west)	5m	13.5m	Complies
Carnarvon Castle (north)	10m	20m	Complies
Side (south)	10m	33.5m	Complies
Rear (east)	5m	26m	Complies

Bed and Breakfast			
Carnarvon Castle Drive (west)	5m	17.65m	Complies
Carnarvon Castle Drive (north) including truncation boundary	10m	10.62m Notes: The pergola is not classified as a building and is not subject to setback standards.	Complies
Side (south)	10m	39.9m	Complies
Rear (east)	5m	10m	Complies
Earthworks			
Rear (south)	1m (R-Codes cl. 5.3.7)	8.62m	Complies

Building Height Assessment

Provision	Requirement	Proposal	Assessment
Structure Plan Planning Policy Statement 8	7.5m permitted building height.	8.45m. The Structure Plan does not exclude chimneys from the building height calculation under this provision.	0.95m variation to permitted limit.

Comment on Building Height Discretion

The proposed building height of 8.45m in lieu of the permitted 7.5m under the DGP and Structure Plan is assessed under the Regulations 2015 clause 67 (2) relevant subclauses.

Structure Plans are 'due regard' documents and may be varied through development approval. This is provided for by Schedule 2, Part 4 clause 27 (1) of the Planning and Development (Local Planning Schemes) Regulations 2015. This clause specifically provides:

27. Effect of structure plan

- (1) A decision-maker for an application for development approval or subdivision approval in an area that is covered by a structure plan that has been approved by the Commission is to have due regard to, but is not bound by, the structure plan when deciding the application.
- (2) A decision-maker for an application for development approval or subdivision approval in an area referred to in clause 15 as being an area for which a structure plan may be prepared, but for which no structure plan has been approved by the Commission, may approve the application if the decision-maker is satisfied that —
 - (a) the proposed development or subdivision does not conflict with the principles of orderly and proper planning; and
 - (b) the proposed development or subdivision would not prejudice the overall development potential of the area.

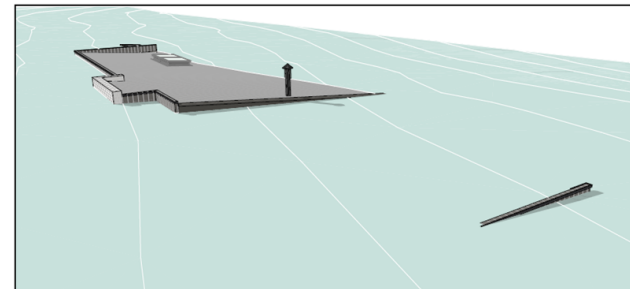
The DGP was endorsed as a structure plan in 2007. Therefore, the City can consider approving the proposed building height.

Before providing detailed assessment, the nature of the variation itself can be further clarified. 8.45m height calculated includes the chimney. The chimney is only included due to a technicality. The technicality is that neither the Structure Plan nor DGP provide an exclusion of chimneys or similar projecting features from the height calculation. Standard height assessments throughout the City based on the Scheme exclude features such as chimneys under clause 4.8.4. The maximum height of the building excluding the chimney reaches 7.87m. This is a 0.37m variation to the 7.5m permitted height with respect to the built form.

m) the compatibility of the development with its setting, including —

- (i) the compatibility of the development with the desired future character of its setting; and
- (ii) the relationship of the development to development on adjoining land or on other land in the locality including, but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development.

- (i) Considered to comply. The proposed building height is not expected to be visually perceptible in comparison to if compliance with the 7.5m height limit was achieved. The graphic below represents the scale of the dwelling exceeding the 7.5m height limit:



EXTENT OF PARAPET WALLS & ROOF BEYOND 7.5m HEIGHT PLANE

The left side of the graphic is the façade of the house that will address the western Carnarvon Castle Drive frontage. The floor level of the proposed house sits greater than 37cm below the ground level of Carnarvon Castle Drive at the west of the site. This notes the house has a finished floor level of 50.50m Relative Level (RL) and Carnarvon Castle Drive sits at 51m RL in line with the situation of western façade of the dwelling.


- (ii) As above, the scale of the proposed height variation is not expected to be visually perceptible in comparison to a compliant building height of 7.5m. Refer to the graphic provided in the discussion under (i).

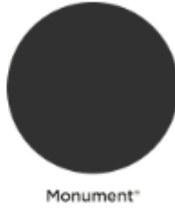
	<p>The height variation does not present directly to either the southern or eastern directly adjoining properties at the relevant elevations. The bottom of the graphic represents the southern end of the dwelling the right side the eastern side. As visually evident in the graphic, the areas of the building presenting to these boundaries are predominantly compliant with the 7.5m height limit, and will obscure view of the non-compliant areas.</p>
<p>n) the amenity of the locality including the following —</p> <p>(ii) the character of the locality.</p>	<p>(iii) The area is characterised by large dwellings, of which a number have been approved with similar or greater variations to the 7.5m height limit. Examples include:</p> <ul style="list-style-type: none"> • An 8.2m building height approved on the southern adjoining lot on the corner of Vixen Close and Carnarvon Castle. This was approved in similar circumstances with portions of the roof reaching 8.2m due to the earthworks in response to the slope of the site. • 8.6m maximum height was approved at Lot 304 (no. 11) Carnarvon Castle Drive. <p>Following the above, the proposal is considered generally in keeping with the character established by similar approved and constructed dwellings on the same street. Excluding the chimney, the height proposed is lower than both of the above examples.</p> <p>The discussion against 67 (m) (i) is also regarded as a significant relevant consideration. As per this previous discussion, the variation is not expected to be visually perceptible in comparison to if the building was compliant with the 7.5m height limit.</p>

Local Planning Policy 2.1 Car Parking Assessment

Provision	Requirement	Proposal	Assessment
Clause 4.6.1	Two (2) parking spaces required for the dwelling and one (1) parking space required to be provided for each Bed and Breakfast guest bedroom.	Four (4) parking spaces are provided on the site within the lot boundaries.	Complies. This notes two (2) guest bedrooms are proposed.

Local Planning Policy 3.1 Reflective Building Materials Assessment

Provision	Requirement	Proposal	Assessment
Clause 4.1	<p>The use of the following reflective materials is not permitted within the Landscape Value Area and the Travel Route Corridors as defined by the Scheme and these provisions, unless their use is approved in accordance with clause 3.1.2 of these provisions or it is used in a vertical installation of no greater than 18m² in cumulative area:</p> <ul style="list-style-type: none"> • Zincalume® (including any zinc or Zinc-Aluminium coated sheet or polished metal), • Light and Very Light building materials • Stainless steel, • Copper (where sealed against oxidation), 	<p>Harvest' brick is proposed for all walls. This is non-reflective, appearing as shown below:</p>  <p>The colourbond cladding on the roof and portions of the wall is proposed to be in monument colour.</p>	Compliant. 'Harvest' and 'Monument' is non-reflective. Bricks and colourbond are not prohibited materials.

	<ul style="list-style-type: none"> • Glazed terra cotta tiles (irrespective of colour), • High Gloss painted finishes with a light reflectance and/or chroma value exceeding 50%, • Large expanses of tinted or clear glass or Perspex® (transparent and translucent acrylic). 		
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Local Planning Policy 3.3 Eagle Bay Special Character Area Assessment

Provision	Requirement	Proposal	Assessment
Element A Setbacks	Not applicable. The policy explicitly provides that the DGP takes precedence.	N/A	This is noted given that setbacks are an item in contention and the LPP 3.3 setbacks were not given regard in the setbacks assessment.
Element E Single Dwelling Design			
Bullet point 1.	Residential designs will be closely scrutinised at a planning and building assessment stage to determine whether the building is designed to be used as a Single Dwelling.	Single dwelling proposed.	Complies. There are no spaces proposed that appear to be capable of use used for a purpose other than residential use.
Bullet point 2	Designs that are determined by the City to represent a layout which could reasonably be utilised as a Grouped Dwelling or a Residential Building shall be determined as a use other than a	The Single dwelling is proposed to contain one (1) laundry and one (1) kitchen.	The single dwelling contains no areas that can be occupied separately and independently from the rest of the single dwelling. All areas of the dwelling would be dependent upon the single

	Single House pursuant to the Scheme and R Codes and assessed accordingly.		laundry and kitchen proposed in the floor plan.
Element F Building Height	The Policy explicitly provides that the DGP height takes precedence.		Noted.
Bullet point 1	Remnant vegetation is to be retained in any landscaping proposals including verges.	No landscaping plan provided.	Complies. No landscaping plan is required to be provided.
Bullet point 2	A site survey showing all existing vegetation and justification for the removal of any vegetation as part of a residential design shall accompany all applications for development.	The site is covered by scrub vegetation. Vegetation removal is only required for accommodation of building footprints and to establish the prescribed APZ.	Compliant. Scrub removal is proposed to accommodate building footprints within the building envelope and to establish an APZ prescribed in the BMP to achieve an acceptable BAL-29 rating for the single house. This is compliant with the relevant clauses of the Scheme discussed previously in this document.
Bullet point 3	Clearing of vegetation shall be limited to allow construction of approved development and a reasonable private garden area. Significant vegetation, particularly along property boundaries and in front and rear setback areas, should be retained where possible.	As above.	As above.
Bullet point 4	Where possible remnant vegetation is to be retained and used to reduce the visual mass/bulk of dwellings. Applications shall be accompanied by a site survey showing all existing vegetation and a justification for	Refer to proposal details discussed in response to bullet point 2.	Compliant as per response to bullet point 2.

	removal of any vegetation proposed to be removed.		
Element H Vehicle Access Design			
Bullet point 1	One crossover per dwelling with a maximum single vehicle width plus minimal transitions which can then widen to the required internal driveway width within the lot shall apply within the Area.	One (1) 3m wide crossover is proposed.	Complies.
Element I Site Works			
Bullet point 1	Development shall be carried out so as to minimise disruption to natural ground levels outside the perimeter of any building.	Earthworks in response to the slope of the site are proposed.	Policy intent noted.
Bullet point 2	Cut and fill for the purposes of slab on the ground construction shall not exceed 0.5m at any point.	At the highest point, fill supporting the single house slab reaches 1.1m above natural ground level.	<p>0.6m variation to acceptable development standard.</p> <p>The variation is considered acceptable.</p> <p>The slope falls away by approximately 1.1m over the length of the building footprint and site works are required in response.</p> <p>Earthworks with the use of banking without retaining is proposed to support the dwelling which reduces the visual impact of the earthworks.</p>

			<p>The street of Carnarvon Castle Drive to the West of the site sits between a near equal ground level and 1.9m above the finished level of the earthworks that present to the street at AHD 50.50m.</p> <p>The eastern side of the dwelling where the earthworks reach the maximum height of 0.6m above the ground level will not be visible to the street. This mitigates the potential for the earthworks to impact the streetscape.</p>
Bullet point 3	"Brick up" to slab construction or timber/steel frame stumps shall be the preferred method of development.	Slab on ground used, not 'brick up to slab' or steel frame stumps used.	The policy provides that 'brick up' and stumps are preferred, but this does not categorically provide that these techniques are required as a development standard.
Bullet point 4	No filling, excavation or retaining walls shall be constructed within the street setback area except where the proponent has submitted an Engineers Certificate stating that such is necessary for the prevention of erosion or to ensure site stability.	Past approval included the retaining wall section extending into the street setback area of the northern Carnarvon Castle Drive frontage. The retaining supports the existing Holiday Home (Single House) that is currently proposed to undergo change of use to Bed and Breakfast use.	<p>No alterations to the past approved retaining within the northern street setback area are proposed.</p> <p>As discussed under the height assessment, the past retaining was approved as a variation to the DGP, Structure and associated Endorsed Building Envelope Plan, which are 'due regard' documents.</p>

Bullet point 5	Retaining walls along front/road boundaries or within the street setback areas are discouraged but where necessary due to topography shall have a maximum height of 1.0 metre and be stepped should the need arise for large scale retaining. Materials should be local stone and/or timber and be complemented by landscaping using local species. All proposed retaining walls shall be shown in applications together with a written technical justification.	The retaining referred to above for bullet point 4 reaches a maximum height of 0.57m.	The retaining section is subject to past approval. Technical requirements are dealt with through the building permit process.
Bullet point 6	No fencing or other construction is permitted other than low, open 'rural-style' wire or ring-lock fences with wooden posts and star picket droppers within the front setback area of each lot unless specifically approved by the City of Busselton.		

Local Planning Policy 4.10 Outbuildings and Other Non-Habitable Buildings Assessment			
Provision	Requirement	Proposal	Assessment
Clause 4.1 Outbuildings in the Residential or Centre Zones			
4.1 (a)	All Outbuildings associated with Residential Development in the Residential or Centre Zones should		Refer to R-Code Assessment.

	comply with the deemed-to-comply criteria of R-Codes Part 5.4.3.		
4.1 (b)	<p>Further to 4.1 (a) above, in assessing an application for development approval where a discretion is sought to iii, iv and/or v of Part 5.4.3 of the R-codes (indicated in bold above) and the development meets the applicable provisions within Appendix 1:</p> <p>Outbuilding and other Non-habitable Building Standards of this Policy, the application will be deemed to meet the associated Design Principles of the R-codes and therefore development approval will be granted by the City.</p>	Wall height variation as identified in the R-Codes assessment.	Refer to upcoming assessment of the wall height.
Table 1 Wall Height Criteria	Maximum wall height of 3.1m deemed to meet the relevant design principles without further assessment.	Proposed wall height of 3.34m.	0.24m variation.

Assessment Against LPP 4.10 Objectives for the Assessment of Applications

Objective	Requirement	Proposal	Assessment
(a)	Outbuildings and other Non-habitable Buildings are to be of a scale that will not unreasonably detract from the streetscape and/or the visual amenity of residents or neighbouring properties.	0.24m greater than the 3.1m height that is deemed-to-meet the R-Code design principles.	Complies. The outbuilding does not directly address any boundaries shared with a neighbouring properties. The outbuilding complies with all setbacks requirements.

			<p>Further to the above, the variation occurs due to the flat roof design. The ridge height is 3.34m only at the rear of the shed, which is significantly below the 4.5m acceptable under the policy. This occurs only due to earthworks supporting the outbuilding in response to the slope of the site, and not due to the structure of the shed. The land slopes 0.5m across the span of the outbuilding footprint.</p> <p>The floor area is proposed to be 49m² which is significantly less than the maximum permissible 120m². Therefore, the overall height and scale of the shed is significantly below the maximum permissible limits with only a minor wall height variation included.</p>
(b)	Outbuildings and other Non-habitable Buildings are to be of a form and scale consistent with the Objectives of the Zone in which they are located.	0.24m greater than the 3.1m height that is deemed-to-meet the R-Code design principles.	Complies. Refer to discussion of the building bulk scale above under (a).
(c)	Outbuildings and other Non-habitable Buildings are to be suitably located on a site with adequate setbacks and located within a Building Envelope (where applicable). Where a lot does not have a designated Building Envelope but one is applicable under the Scheme,	0.24m greater than the 3.1m height that is deemed-to-meet the R-Code design principles.	Complies. The outbuilding is situated within the existing building envelope.

	Outbuildings and other Non-habitable Buildings should be located in proximity to, or clustered with, other development (including the dwelling) on the site.		
(d)	Outbuildings and other Non-habitable Buildings are to be located with consideration given to the retention of native vegetation and/or remnant vegetation on site.	0.24m greater than the 3.1m height that is deemed-to-meet the R-Code design principles.	Complies. The type of variation proposed does not conflict with this objective.
(e)	Outbuildings and other Non-habitable Buildings are to be located such that they do not increase the threat of bushfire to habitable buildings on the site.	0.24m greater than the 3.1m height that is deemed-to-meet the R-Code design principles.	Complies. The type of variation proposed does not conflict with this objective. Additionally, the outbuilding is located greater than 6m from any habitable building, therefore not impacting their BAL ratings.

Local Planning Policy 4.2 Bushfire Assessment

Provision	Requirement	Proposal	Assessment
4 Policy Statement	<p>In addition to the requirement to satisfy the relevant provisions of SPP3.7, Guidelines and associated documents, the following provisions detail the City's expectations for applications for development in bushfire prone areas.</p> <p>While there is a presumption that the policy provisions detailed below should</p>		

	be satisfied for all relevant applications, the notes listed below each policy provision provide guidance on how the City will assess alternative solutions, should they be required, and form part of the policy.		
4.1	All supporting plans and documents relevant to consideration of bushfire risk have been endorsed by an Appropriately Accredited Professional.	BMP provided by accredited level 3 bushfire planning practitioner, including BAL rating assessment and Bushfire Emergency Evacuation Plan.	Complies.
4.2	<p>The APZ proposed to be provided:</p> <p>a. Is no greater than 25 metres from Relevant Buildings.</p> <p><i>Note: A larger APZ may be considered, but only to the extent necessary to allow the determined BAL requirement to be reduced to BAL29, and where there are considered to be no unacceptable impacts on biodiversity, landscape values or visual amenity impacts.</i></p> <p><i>In respect of visual amenity, this shall generally require a demonstration that the larger APZ will not increase the visibility of the proposed</i></p>	<p>a. The APZ extends less than 25m from relevant buildings.</p> <p>b. The APZ is accommodated entirely within the lot boundaries.</p> <p>c. Vegetation removal does not required a clearing permit as the site is not within a designated environmentally sensitive area.</p>	Complies with all points.

	<p><i>development, when viewed from locations outside the subject lot (and, in cases where the potential impact is considered significant, a visual/landscape assessment may be required, prepared using the methodology set out in the Visual Landscape Planning Manual).</i></p> <p>b. Can be accommodated entirely within the subject lot or, where the APZ cannot be accommodated entirely within the subject lot, the land involved –</p> <ul style="list-style-type: none"> i. is developed as a public road, path or is otherwise public land managed such that there is a reasonable expectation that fuel loads will be managed to the APZ standard on an ongoing basis; or ii. is part of an APZ or Firebreak already in place and/or required on an adjoining property; or 		
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	<p>iii. is otherwise Low-Threat Vegetation or Non-Vegetated Area.</p> <p>c. Can be created and maintained without need to obtain a clearing permit under the (State) Environmental Protection (Clearing of Native Vegetation) Regulations 2004, approval under the (State) Biodiversity Conservation Act 2016, and/or approval under the (Commonwealth) Environmental Protection and Biodiversity Conservation Act 1999.</p>		
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Local Planning Policy 6.1 Stormwater Management

Provision	Requirement	Proposal	Assessment
Clause 4.2 Volumetric Requirements Table 1	Stormwater runoff is retained for use and/or infiltration within the lot at a rate of 1m ³ of storage per 65m ² of Impervious Surfaces to accommodate 1 Year ARI.	Stormwater details not confirmed.	Complies, subject to conditions of approval. A condition is recommended to require demonstration of stormwater management compliant with clause 4.2 prior to commencement of the development.

Conclusion

This document provides an assessment of relevant development standards applicable to the proposal under the town planning framework and consideration of the discretions requiring approval. This assessment forms the basis of the officer recommendation for approval found in the Officer Report to Council.

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OFFICER: Devin Moltoni

No.	NAME	NATURE OF SUBMISSION	APPLICANT COMMENT	OFFICER COMMENT
Public Submissions				
1.	Name: D. Best on behalf of The Residents of Eagle Bay Association Locality: Eagle Bay	<p>We would like to make this submission expressing some concerns with certain aspects of this Development Application. Our concerns are as outlined in the following dot point summary:</p> <p>Staged DA in Order to Push the Limits:</p> <p>It would seem that a DA has been previously issued for this Lot for the development of a single holiday house. Construction of this house commenced in 2022 however once the structure reached plate height, all further construction activity seemed to stop. Presumably, to allow this second DA submission to be submitted to substantially increase the size of the proposed building development on this Lot.</p> <p>Interestingly, the new holiday house, as approved by the first DA for the Lot, has now become a proposed ancillary dwelling in the</p>	<p>Staged Development in Order to Push the Limits:</p> <p>The construction of the ancillary build is on the builder's timeframe and has nothing to do with this DA for our home.</p> <p>The indicative position of our home (showing both houses for our lot) was included in the DA granted on 4th July 2022.</p> <p>There was always going to be two builds and council has been aware of this since before the first submission for approval was made.</p> <p>The one currently under construction was always going to be an Ancillary for the block. With so many issues in the building sector and getting trades down south at the time, we decided to build the small house first.</p>	<p>Staged Development in Order to Push the Limits:</p> <p>Refer to the Planning Assessment and officer comment section in the Report.</p>

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		<p>new DA that has recently been submitted. The fact that the partly constructed house, which is now proposed to become the Ancillary Dwelling, has a plot of 82.7m² in lieu of the allowable 70m² seems like a rather preconceived method of pushing the allowable plot ratio limits.</p> <p>It is obviously not possible to modify what has already been approved and built but we would suggest that consideration of any further planning concessions, that would allow overdevelopment of this Lot, should not be allowed.</p> <p>Setback Considerations:</p> <p>The setbacks that have been shown in the proposed Site Plan submitted with DA/0817 are not correct. In April 2018, Amendment No 29 to the Town Planning Scheme was approved by City of Busselton. This amendment changed the zoning of</p>	<p>That way we could move down sooner. We hoped that the building supply shortages and additional building cost issues would correct themselves during this time.</p> <p>We used and were assessed using Local Planning Scheme No. 21 - Clause 4.32 (refers to what is now cl. 4.33 after recent Scheme amendment since the submission was received) Ancillary Accommodation in Rural Areas: which allow 80m².</p> <p>This is not overdevelopment.</p> <p>Setback Considerations:</p> <p>The setbacks shown in our DA are correct for our Lot 301 and as supplied to us when we signed the sale contract in October 2020.</p> <p>We submitted a DA for the smaller house, currently under construction, and that was</p>	<p>Setback Considerations:</p> <p>The proposed setbacks are compliant. The City Planning Department takes the position that the Development Guide Plan for Lot 50 Eagle Crescent and Portion Location 1348 Carnarvon Castle Drive, Eagle Bay (the DGP) and associated endorsed Building Envelope Plan provide the setbacks for the site. Refer to the setback assessment in</p>

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		<p>Lots 301 to 310, in Carnarvon Castle Drive and Vixen Close from "Rural Residential" to zoning "R2.5". The setbacks for any development on this Lot should therefore be in accordance with Sector 3 of Table 1 (as per Schedule 4 - Eagle Bay Special Character Area – of the Town Planning Scheme).</p> <p>The defined setbacks therefore being:</p> <p>Front: 20m</p> <p>Rear: 6m</p> <p>Secondary Street: 12m</p> <p>As the driveway and the front entry to the main house will be off the section of Carnarvon Castle Drive that runs north/south we would assume that this is considered the "front" of the Lot and the section of Carnarvon Castle Drive running east/west would be considered a secondary street.</p>	<p>approved by council based on our given setbacks as a Holiday Home for 4 people on July 4th 2022.</p> <p>Within the attached link, to the summary of submissions proposal AMD21/0029 from what we understand as being from April 2018, and relevant to the rezoning of blocks 301 -310 Carnarvon Castle Drive and Vixen Close, the council notes in a reply to L Broomhall, 40 Carnarvon Castle Drive (point 37 on page 23) that:</p> <p>'The existing Structure Plan and Building Envelope Plan that are applicable to these properties identify building exclusion areas to assist in protecting vegetation, and the amenity of residents and neighbouring properties'.</p> <p>And also:</p> <p>'The proposed rezoning will not alter or remove these requirements as they apply to the subject properties'.</p>	<p>Attachment 3 and the Officer Comment in the Report to Council discussing the City Planning Department's application of these setback standards as opposed to the 'sector 3' setback standards.</p>

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		<p>Eagle Bay has been defined in the City's overall planning strategy as a Special Character Area, in order to preserve its unique visual amenity and natural bush aspect. One of the planning tools utilized to prevent overdevelopment of building Lots and retain its special visual amenity is the defined street setback requirements.</p> <p>Based on the setback assumptions noted above the proposed, and already partly constructed, "ancillary building" has by default, already achieved setback concessions (i.e. 10.6m in lieu of the stipulated 12m). From the required front setback point of view (20m) both the proposed shed and water tank are non-compliant. Also a large proportion of the proposed new dwelling is located within the 20m front setback zone. There is potential for the house to be moved to the east to achieve compliance however the tank and the shed would need to be relocated out of</p>	<p>Note- a link has been supplied to this advice but the link is faulty.</p> <p>As per the information supplied above re the April 2018 rezoning that included Lot 301 and the setbacks we were provided at sale, and set submitted plans against, that were approved by council for the smaller first dwelling, we do not agree with the submitter's assumptions.</p> <p>We may move the water tank from that location and have not decided yet. If the council prefers we can make a separate application for the water tank at a later date.</p> <p>The shed will be clad in and architectural standing seam Colorbond in Monument which is the same material as what our main house, in this same application, will be clad in. This is also the same colour as the ancillary building, to all blend seamlessly with each other. Unlike surrounding white houses that can be seen from the top of Eagle Bay Rd, ours will sit well within the environment.</p>	

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		<p>the front setback zone to achieve compliance. Perhaps the tank could be relocated to an alternate location that is out of the front setback zone.</p> <p>We would suggest that to try and squeeze an "Ancillary Building" and a large shed onto Lot 301 will be visually imposing and not in keeping with the character of the Eagle Bay development guidelines. Perhaps if a shed is required it could be reduced in size added to the end of the proposed garage, which would then make it less visually imposing.</p> <p>Carnarvon Castle Drive is the main access road into the adjoining rural residential community and any large and bulky structures, such as a large shed (with a significant sized roller door), adjacent to the street verge will be very visually imposing and non-complaint with defined setback requirements.</p>	<p>Many homes in Eagle Bay have garage doors visible to the street, this is nothing out of character for the area. It complies with the setbacks for our block and the distances required from both buildings to comply with our BAL reports.</p> <p>The ancillary currently under construction was assessed under section 4 and the main house should be considered the same.</p>	

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		<p>Height and Bulk of Proposed House:</p> <p>The “Endorsed Structure Plan” for this subdivision area in Eagle Bay included provisions to control the visual impacts of building developments within the subdivision. These defined controls were to limit maximum building heights to 7.5m above NGL and also to limit the area of the second story of any building to be not more than 50% of the ground floor building area. However, on the smaller Lot sizes in the subdivision, such as Lot 301, it would seem reasonable to allow some concessions on the floor area of second storey.</p> <p>In terms of height limits, other new developments in this subdivision location have undertaken cut and fill earthworks to ensure they do not exceed to defined 7.5m maximum height limit above natural ground level. In comparison the Lot 301</p>	<p>Height and Bulk of Proposed House</p> <p>Re height and bulk from within Local Planning Policy No3.3 Eagle Bay Special Character Area.</p> <p>‘1. ELEMENT F - BUILDING HEIGHT</p> <p>The following provisions shall apply;</p> <ul style="list-style-type: none"> Proposals within 300mm of the maximum permissible height limit shall be required to be verified as complying with the maximum height limit by a licensed surveyor prior to the issue of a Permit to Use. Any noncompliance with the maximum height limit shall be rectified by the proponent and certified by a licensed surveyor prior to the issue of a permit to use’. Our plans are within 300mm of the maximum height if using 7.5m. 	<p>Height and Bulk of Proposed House</p> <p>Refer to the Planning Assessment and Officer comment section in the Report.</p>

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		<p>development plan has proposed fill on the site only, hence the over height building. The required 7.5m height limit could easily be achieved at Lot 301 utilizing some earthworks cut as well as fill.</p> <p>Alternatively the proposed building has ceiling heights of 3m in the over height section of the buildings which could be reduced to enable the defined 7.5m height limits to be achieved</p> <p>Parking Requirements for Ancillary Building:</p> <p>The R codes relating to an “Ancillary Building” require that parking be provided for the ancillary building. (i.e. a minimum parking area of 2 spaces for the single house plus a parking area of 1 space for the ancillary building.)</p> <p>The proposed site plan does not show any parking provisions in the vicinity of the ancillary dwelling.</p>	<ul style="list-style-type: none"> • We can engage a surveyor to verify that we comply with the maximum height limit. • ‘The applicable height limits will be 7.5m within 150 metres of the high water mark and 9.0 metres for all other areas unless otherwise determined by zoning provisions, structure plan or a DGP’. • We are well more than 150 meters clear of the high-water mark. <p>Parking Requirements for Ancillary Building</p> <p>We must provide two parking bays for the Ancillary, not one and we have complied with that.</p> <p>These bays can be relocated from the front of our home, shown on the plans, to the East side along the retaining wall that adjoins the Ancillary.</p>	<p>Parking Requirements</p> <p>The proposed car parking on the site is compliant with the Rcodes and Local Planning Policy 2.1 Car Parking (LPP 2.1).</p>

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		<p>Without some specific parking provision being provided it is pretty obvious that the street verge will become the default parking area for the ancillary building, with the associated destruction of any natural or replanted verge vegetation.</p> <p>If the large shed and the water tank are relocated from the front setback zone (as per dot point 2 above) then part of this area could be used to provide allocated parking for the ancillary dwelling.</p> <p>Closing Statement</p> <p>A principle objective of the Eagle Bay Special Character Area Plan is to protect and enhance the unique and special character of the Eagle Bay township. This being achieved through the use of residential design controls to maintain a low overall density and visual impact of developments within the residential area.</p>	<p>Response to Closing Statement</p> <p>Our home and Ancillary together are smaller in square meters than other single homes within the special character area. Our development cannot be considered as an "over development"</p>	<p>Consideration of Closing Statement</p> <p>The variations to the acceptable development standards have been assessed and determined to be in keeping with the character of the area and are not expected to result in detriment to the amenity of the area.</p> <p>Refer to the Planning Assessment and officer comment section in the Report.</p>

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		We already have an example of planning concessions allowing an over height and over bulk development at Lot 304 Carnarvon Castle Drive, that in not in keeping with the natural amenity of the area. Let's not have a repeat of this at Lot 301".		
2.	Names: C. and L. Paul Locality: Eagle Bay	<p>While we welcome measured development of Lot 301, we have serious and valid concerns about the proposed development and object to the following points:</p> <p>Proposed Short Stay Accommodation Use</p> <p>We do NOT wish to have "Bed and Breakfast Use Accommodation / four guests" so close to our home. My husband and I were under the impression that the existing holiday home single dwelling was the only construction applicable. This home was also built outside the building envelope (Balcony) which we did</p>	<p>Short Stay Accommodation Use on the Site</p> <p>The small house has already been approved as a Holiday Home. This was done on our second DA to council in July 2022. It was designed for holiday use, with a main home outlined on the plans and always part of the overall plan for Lot 301. Nothing has changed.</p> <p>Martin Bennett is a long-time good friend and associate of my family, who also own</p>	<p>Short Stay Accommodation Use on the Site</p> <p>Holiday Home (Single House) 4 People Short stay use of the site has already approved under DA21/0250.</p> <p>Changing this use to Bed and Breakfast use of the site reduces the scale of the short-stay accommodation use considering the Bed and Breakfast use can only operate while residents are occupying the Single House, in comparison to the</p>

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		<p>not oppose as we thought it was a sufficient distance from our residence.</p> <p>My husband and I vigorously oppose this application and will seek legal advice from Mr Martin Bennett (Bennett and Co) to prevent such an approval proceeding. This is an overdevelopment in regards to the proposed plot ratio in a special control area and is unacceptable. We did not build our new residence in Eagle Bay to adjoin a Bed and Breakfast facility.</p>	<p>houses at 30 Eagle Cres and 11 Eagle Cres Eagle Bay. This would be a conflict of interest for Mr Bennett.</p> <p>They are not 'adjoining' a Bed and Breakfast. Our house in this DA application will be in between their house and the Ancillary. We will be living in the Ancillary ourselves once it is completed construction early 2024 and while the big house is being built. We see elderly parents and our grown children staying and we will make it available as holiday accommodation the rest of the time.</p> <p>Once our main house, in this DA application, is completed we will be providing much needed additional holiday accommodation for the area with the Ancillary. Accommodation that is a different experience to what you would get from staying in town. Accommodation that will also support the Eagle Bay community when their homes are too full over the holiday periods during the year and they need friends and family to stay nearby. Eagle Bay is a holiday destination and this helps to support tourism and local businesses in the region.</p>	<p>Holiday Home (Single House) use which is unhosted.</p> <p>Bed and Breakfast is a 'D'- discretionary land use on the site pursuant to cl. 3.3 Table 1- Zoning Table. The proposed Bed and Breakfast use is compliant with the relevant development standards.</p>

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			<p>As an example, across the road from both of our properties at No 28 Carnarvon Castle Drive is an approved and recently operating holiday house accommodation rental. There are many more dotted throughout Eagle Bay. We should not be disadvantaged when our neighbours enjoy this use of their properties.</p> <p>The change from Holiday House to Bed and Breakfast was as per council request. We can confirm that we will be living on the property. I would also note that this is believed to be a less impactful use than a holiday house as we will be permanent residents of the main dwelling, and will be there to monitor any potential occupants of the additional accommodation. Therefore the use is believed to have less impact on the surrounding residents than that of a holiday home like the one located across the road at 28 Carnarvon Castle Drive.</p>	
		<p>Building Envelope & Setbacks</p> <p>It is our understanding from when we built that there was a building exclusion plan which is outdated.</p>	<p>Building Envelope and Setbacks</p> <p>Our setbacks have always been: 10m North and South 5m East and West</p>	<p>Building Envelope and Setbacks</p> <p>The proposal is compliant with the setbacks provided by the DGP and associated endorsed</p>

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		<p>The setbacks in this related to the original subdivision. The standard building setbacks for rural residential lots are as follows: Side = 15m, Front = 20m, Rear = 20m however a building envelope of 1500m² was required by us. Lot 301 has a proposed setback of 5m to the shed. This is with the driveway boundary & should be considered the front setback and is far too close and impactful to the road. It is not in keeping with the surrounding lots and unacceptable to us. We would also require a building envelope to contain the development on the site. We feel it is over developed with 2 dwellings, a shed and water tank.</p> <p>Height</p> <p>We feel that the first floor ceiling height of 3m is not essential. A 2.7m ceiling is more than adequate. All surrounding buildings have in some way cut into the lot to work to the height limits as best they can. This lot appears to not have any cut to</p>	<p>Not what is suggested here.</p> <p>The ancillary currently under construction was assessed under section 4 and the main house should be considered the same.</p> <p>Height</p> <p>We are not interested in how the submitter's 'feel' regarding our first-floor ceiling height.</p>	<p>Building Envelope Plan. Refer to the response to the submission 1 regarding compliance with the setback standards and which setback standards apply.</p> <p>Height</p> <p>Earthworks are required for construction on the site due to the slope.</p>

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		<p>the ground floor and as such we feel the Height limit could be reduced.</p> <p>Ancillary Dwelling</p> <p>This was never approved as short stay accommodation.</p> <p>We feel that the oversized nature of this opens up potential to higher traffic, noise and reduced amenity to the surrounding areas.</p> <p>What will be the access and egress to the short stay area? How will noise and light pollution be managed?</p> <p>We are also concerned about uneducated visitors and fire pits. Our lot was rated BAL 29 and we</p>	<p>Ancillary Dwelling</p> <p>There will be no more traffic than a neighbour having a friend over to stay.</p> <p>The statement re the ancillary dwelling having never been approved as short stay accommodation, could not be further from correct, with consciousness. The smaller house has absolutely been approved as a holiday house as detailed within this reply.</p> <p>There will be no light or noise any different to any other home in the area with short stay accommodation. We will be living in the smaller house ourselves while the</p>	<p>The applicant is permitted to apply to vary the 7.5m height standard provided by the Structure Plan.</p> <p>The proposed building height has been assessed. It has been determined that no detrimental impact to the character or amenity of the area will result as a consequence of the proposed building height.</p> <p>Ancillary Dwelling</p> <p>Refer to the Planning Assessment and Officer comment section in the Report.</p>

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OFFICER: Devin Moltoni

No.	NAME	NATURE OF SUBMISSION	APPLICANT COMMENT	OFFICER COMMENT
		<p>needed a BMP that was costly and with one exit the area is very dangerous.</p> <p>The Ancillary dwelling at 82m² is fully detached which essentially provides 2 residences onsite that we do not support, especially for short stay. Parking is also an issue.</p> <p>Vegetation & Landscaping</p>	<p>bigger house is being built and that house will be between the submitter's house and the ancillary.</p> <p>The submitter's own comment made above on the distance between the Ancillary and their house, they said our Ancillary "was a sufficient distance from our residence." And we agree it is.</p> <p>We have had three BAL reports prepared by Envision for our block to date and are fully aware of our BAL and BMP. There is no fire pit shown for guests use.</p> <p>We used and were assessed using Local Planning Scheme No. 21 - Clause 4.32 Ancillary Accommodation in Rural Areas: which allow 80m².</p> <p>It must be physically linked by form of roof cover to the single house, with the max. separation not exceeding 10m; of which we have already demonstrated on our plans.</p> <p>Vegetation and Landscaping</p>	<p>Vegetation and Landscaping</p>

SUMMARY OF SUBMISSIONS
PROPOSAL: Bed and Breakfast (Change of Use of Existing Single House and New Development) - Lot 301 (No. 29)
Carnarvon Castle Drive, Eagle Bay
SUBMISSIONS CLOSE: 29 March 2023
OFFICER: Devin Moltoni

No.	NAME	NATURE OF SUBMISSION	APPLICANT COMMENT	OFFICER COMMENT
		With such a high segment of the lot being developed, we are concerned about the limited landscaping that can be integrated into the lot, specifically to the street setbacks but also to the south which has a view to our living areas. All these seem to be setbacks reduced from the scheme. We would urge the owners to develop the lot to the Local planning scheme.	Landscaping will be completed within the council's guidelines and plant specifications. We own a corner block the whole corner will need to be landscaped.	A landscaping plan was required by a condition of approval DA21/0250.01 to screen the northern aspect. No setback variations are proposed. The proposal is compliant with the deemed-to-comply standards of R-Codes cl. 5.4.1 Visual Privacy. The proposed removal of vegetation is limited to accommodating the building footprints and establishing an asset protection zone. This is permitted.

Lawfield Legal Practice

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Friday, 18 August 2023

Mr Paul Needham
Director Planning and Development Services
City of Busselton
2 Southern Drive
BUSSELTON WA 6280

Dear Mr Needham,

Re: **DA22/0817 - 29 Carnarvon Castle Drive Eagle Bay**

I act for Ms Teena Smith and she has provided me with an email of 10 August 2023 from Mr Dónal Casey concerning the City's attitude to her development application for 29 Carnarvon Castle, Eagle Bay. The lot is lot 301 on DP 55023 and I note that the lot has been numbered differently at different times but in this letter I will call it 'the lot'.

I appreciate Mr Casey's explanation for the City's opinion that the lot is in Sector 3 of Table 1, cl 5(a) of Schedule 4 of the Scheme. I respectfully disagree with the City's opinion and I set out below several reasons why this opinion is incorrect, and respectfully request the City to re-consider its opinion. For the reasons set out below, I submit that it is clear that the lot is in sector 4 and the relevant setbacks are 10m and 5m, and the application for development should be approved.

The lot is in the Eagle Bay Special Character Area as shown in Scheme Map 7.
The Scheme Text schedule 4 page 121 identifies in item 5 an Eagle Bay Special Character Area.
In relation to setbacks, item 5 specifies:



Division and development within the Eagle Bay Special Character Area as identified on the Scheme map – (a) Other than provided for in a Structure Plan, Approved Building Envelope Plan or Structure Plan, development within the various planning sectors, as outlined in the Eagle Bay Special Character Area Local Planning Policy, shall comply with the following setback requirements:

Table 1 - Setbacks by Sector Density Minimum Setbacks for Development (in metres) Front Rear Secondary Street

Sector 1 R5 Density 9.0* 6.0 4.5

Sector 2 R5 Density 15.0 6.0 6.0 R2 Density 15.0 10.0 10.0

Sector 3 R2.5 Density 20.0 6.0 12.0 R2 Density 20.0 10.0 12.0

Sector 4 Rural Residential As per Structure Plan As per Structure Plan

*In determining the appropriate front setback, consideration shall be given to the setback of dwellings on neighbouring/nearby properties and the impact a 9.0 m front setback may have on the existing streetscape.

(b) Incidental development shall be setback from front and neighbouring boundaries, including boundaries which interface with coastal foreshore and other public reserves, to protect the prevailing amenity of the locality in accordance with Table 1.

(c) Where a lot abuts a foreshore or public open space reserve, the setback applicable to development shall be no less than the required front setback distance in order to retain the natural amenity of the Reserve and avoid the encroachment of development on the reserve area.

(d) The applicable height limits will be 7.5 metres within 150 metres of the mean high water mark and 9.0 metres for all other areas unless otherwise determined by zoning provisions, a Structure Plan. AMD 1 GG 04/08/17

The opening words of item 5 are very important – they say ‘Other than provided in a Structure Plan, Approved Building Envelope Plan, or Structure Plan, development...shall comply with the following setback requirements...’. The underlined words make it very clear that the Structure Plan and the Approved Building Envelope Plan are the first and primary documents to consider in determining the setbacks for the lot. The City’s opinion gives priority to the Table in item 5(a) of Schedule 4 of the Scheme but this is an error because the table has lower priority than the Structure Plan and the Approved Building Envelope Plan. Both the Structure Plan and the Approved Building Plan show the setbacks for the lot are 10m/5m:

1. The relevant Structure Plan for this lot is dated 27 June 2007 which has a stamp on it reading “Endorsed Structure Plan” and is signed by the Council and a delegate under the PDA [attached]. In this Structure Plan, the lot is shown as lot 1 and note 16 states that “Lots 1 to 4 are subject to building setbacks of 10 metres to the northern boundary of the lots and 5 metres to all other boundaries ... (except for lot 4) “. The Structure Plan clearly specifies the setbacks for the lot as 10m/5m and this has priority to the Table in item 5(a) of Schedule 4 of the Scheme.
2. The Approved Building Envelope Plan is dated 8 May 2007 [attached]. The note on the left hand side below the legend states: “This Building Envelope Plan is prepared pursuant to condition 24 of Subdivision Approval WAPC126880 and is to be read in conjunction with the endorsed (sic) Development Guide Plan (Ref: P708-C08 M) that applies to the subject land”. This Approved Building Envelope Plan shows the lot with a front setback of 10m and a side setback of 5m and this has priority to the Table in item 5(a) of Schedule 4 of the Scheme.

Both the Structure Plan and the Approved Building Plan show the setbacks for the lot are 10m/5m and these setbacks apply in priority to the Table in item 5(a) of Schedule 4 of the Scheme. The City’s opinion contains an error in failing to give priority to the Structure Plan and the Approved Building Envelope Plan, both of which specify the setbacks for this lot as 10m/5m.

The opening words of item 5(a) of Schedule 4 of the Scheme also make it clear that the lot is categorised by sector, and not by density. The opening words say “(a) Other than provided for in.... development within the various planning sectors, as outlined in the Eagle Bay Special Character Area Local Planning Policy, shall comply with the following setback requirements....” It is clear from these underlined words that the lot is categorised first by sector. The Table is consistent with the underlined words because the Table categorises the lots firstly by sector and secondly by density. The City’s opinion has this the wrong way around and categorises the lots first by density and secondly by sector. This is a misreading of the item 5(a) of Schedule 4 of the Scheme Text. The City should categorise the lot firstly by its sector.

The various sectors of the Eagle Bay Special Character Area are shown in the Eagle Bay Special Character Area Local Planning Policy 3.3 which was adopted by Council on 10 March 2010 (LPP3.3 and I note that LPP3.3 uses the words ‘precinct’ and ‘sector’ interchangeably). In LPP3.3,

appendix 5 shows a plan of the area and the lot is shaded pink and the legend shows pink as precinct 4. So the lot is in precinct 4.

I would like to summarise the 3 points above. The opening words of item 5(a) of Schedule 4 of the Scheme make it clear that in determining the setbacks for the lot, priority is given to the Structure Plan, the Approved Building Envelope Plan and the sector of the lot. These things take priority over the table in item 5(a) of Schedule 4. In all of these priority documents, the lot has setbacks of 10m/5m. It is incorrect for the City to give priority to the zoning and the City has made an error in coming to the opinion that the zoning determines the setbacks.

There are additional reasons why the City's opinion is incorrect.

LPP3.3 has a table which is practically identical to the Table in item 5 of schedule 4 of the Scheme but for some very minor differences in wording. The table in LPP3.3 at page 20 says:

The following Table outlines, the minimum setbacks applicable within the Eagle Bay Special Character Area

Table 1 Setbacks by Sector. Minimum Setbacks for development**

Sector Front Setback Rear Setback Secondary Street

Sector 1 R 5 9.0* 6.0 4.5

Sector 2 R5 and R2 15.0 6.0/10 6.0/10

Sector 3 R 2.5 and R2 20.0 6.0/10 12 /12

Sector 4 Rural Residential As per DGP As per DGP

* 9.0 metres is suggested as a guide. In determining the appropriate front setback, consideration shall be given to the setback of dwellings on neighbouring/nearby properties and the impact a 9.0 m front setback may have on the existing streetscape.

** The provisions of any applicable Development Guide Plan, approved Building Envelope Plan or Structure Plan shall be considered in the determination of building setback. In the event of a conflict between the provisions of a Development Guide Plan, approved Building Envelope Plan or Structure Plan and these provisions the Development Guide Plan and Building Envelope Plan and Structure Plan will prevail to the extent of that conflict.

The following provision shall apply: The minimum setbacks applicable to development on private lots within the Area shall be sufficient to retain any substantial remnant vegetation,

but in any event shall not be less than the minimums specified in Table 1. [underlining added]

I draw your attention to the ** note to this Table. The underlined passage in the ** note again makes it clear that the approved Building Envelope Plan and the Structure Plan prevail. As set out above, the approved Building Envelope Plan and the Structure Plan clearly shows the setbacks for the lot are 10m/5m. This table also shows that the lot is categorised by sector and not by density and Appendix 5 shows the lot is in sector 4. For sector 4, the setback is 'as per DGP' which we take to be the Development Guide Plan, which we do not have, but the approved Building Envelope Plan is expressed to be part of the Development Guide Plan (see the note under the legend). So it is clear from these notes and these documents that the approved Building Envelope Plan and Structure Plan have priority over the density of the lot and these things all show the setback for the lot is 10m/5m.

The City's opinion gives priority to the zoning of the lot in determining the setbacks, but this is not supported by the text of the Scheme. Clause 4.3.1 of the Scheme Text provides that notwithstanding any other provision of the Scheme, the following variations and exclusions to the R-Codes apply:

....

(e) All Special Character areas provided for in Schedule 4 and pursuant to clause 5.7 are excluded as necessary from the provisions of the R-Codes to the extent of any conflict between the standards set out in Schedule 4 and the R-Codes. [underlining added]

Clause 5.7 of the Scheme Text provides that:

5.7.2 The local government may devise development objectives, provisions and/or controls to reinforce, retain or change the characteristics, form and nature of a designated Special Character area, with such objectives, provisions and/or controls being specified in Schedule 4. 5.7.3 Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special Character area, those objectives, provisions and/or controls act in conjunction with the other provisions of this Scheme relevant to that area with the exception that the provisions of Schedule 4 will take precedence over any other provisions of this Scheme. [underlining added]

These clauses makes it clear that the provisions of Schedule 4 take priority over the R-Codes. But the effect of the City's opinion is to give priority to the R-Codes. This is not the priority specified by clauses 4.3.1 and 5.7.2 of the Scheme. The City's approach is incorrect and contrary to the priorities specified in the Scheme.


In summary, the City's opinion that for the purposes of assessing setbacks the lot falls within sector 3 because the lot was re-zoned density R2.5 in 2014 is incorrect. This is because the lot is in a Special Character Area, and for setbacks in a Special Character Area, priority is given to the Structure Plan and the approved Building Envelope Plan both of which show the lot with setbacks of 10m/5m; and because the setbacks are determined by sector not by density.

My client respectfully requests the City to review its opinion in light of these submissions and to approve the development application.

If the City maintains the opinion expressed in Mr Casey's email of 10 August 2023, please provide a formal notice of refusal of the development application setting out the City's reasons for refusal. Otherwise my client will treat the email of 10 August 2023 as a refusal and exercise her right of review accordingly.

If you have any queries please contact me.



Regards,


Stephen Hicks
Principal







	<p>Disclaimer: Every effort has been made to make the information displayed here as accurate as possible. This process is ongoing and the information is therefore ever changing and cannot be disseminated as accurate. Care must be taken not to use this information as correct or legally binding. To verify information contact the City of Busselton office.</p>		<div>29/08/2023</div> <div>1:500 @ A4L</div>	
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Medium peppermint tree to be removed

2 x replacement
Peppermint trees
to be planted -
refer Condition 3.1

Large peppermint trees to remain

JOB NO. BST053790	DATE 30/9/2023	CHECKED TMI	DRAWN FDB	STEEL BUILDING BY	(CONTACT)
				FAIR DINKUM BUILDS BUSSELTON	
				08 97554736	
				DAVE SAVILLE	
				FOR	
				AT	
				9 CAMPION WAY QUINDALUP	



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0.1m setback to side boundary

1.0m setback to rear boundary

Proposed New Outbuilding:
Shed – 6.0m x 9.0m x 3.10m high
Verandah – 3.0m x 12.5m x 3.36m high
Caravan Bay – 6.0m x 3.5m x 3.10m high
NGL: ~3.0m
FFL: +100mm NGL (enclosed shed)




Document Set ID: 5189279
Version: 2, Version Date: 14/08/2023

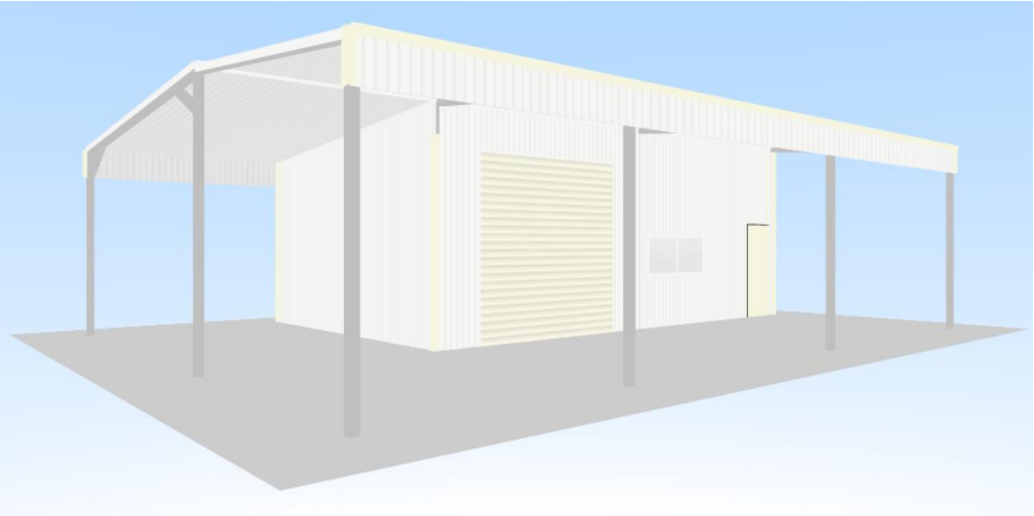
JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY	(CONTACT)
BS1053790	30/9/2023	TMI	FDB	FAIR DINKUM BUILDS BUSSELTON	08 97554736
				FOR	DAVE SAVILLE
				AT	9 CAMPION WAY QUINDALUP

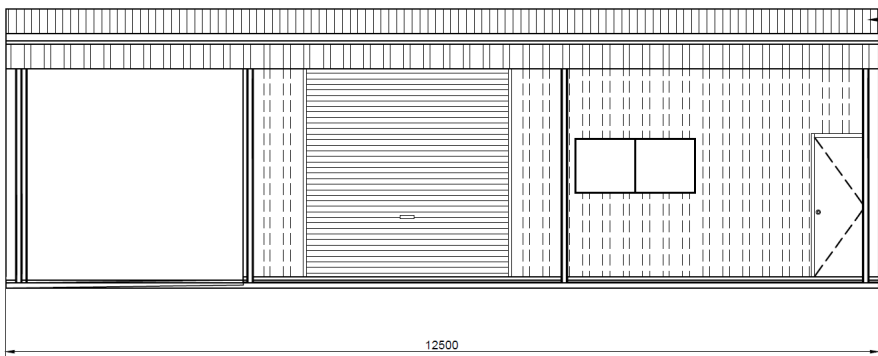


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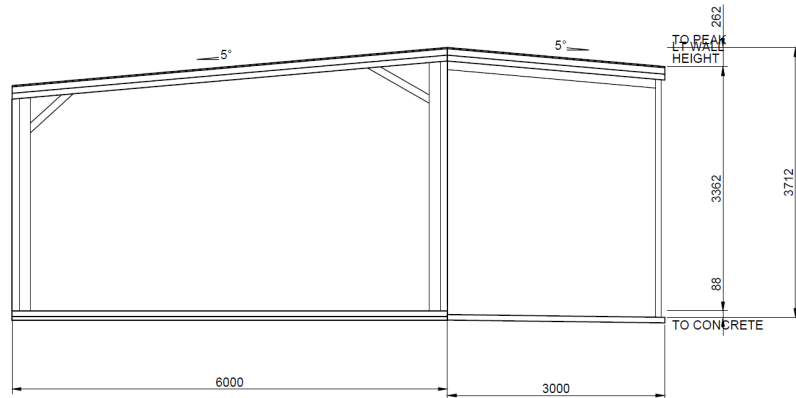


-  - Enclosed Shed:
6.0m x 9.0m (54.0m²)
-  - Open Verandah:
3.0m x 12.5m (37.5m²)
-  - Open Caravan Bay:
6.0m x 9.0m (21.0m²)

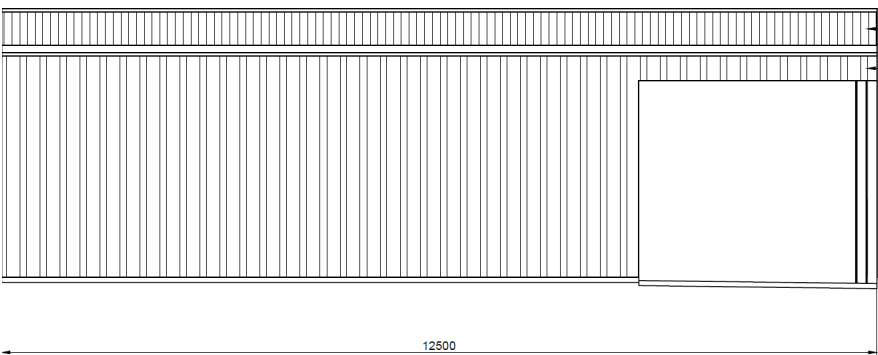




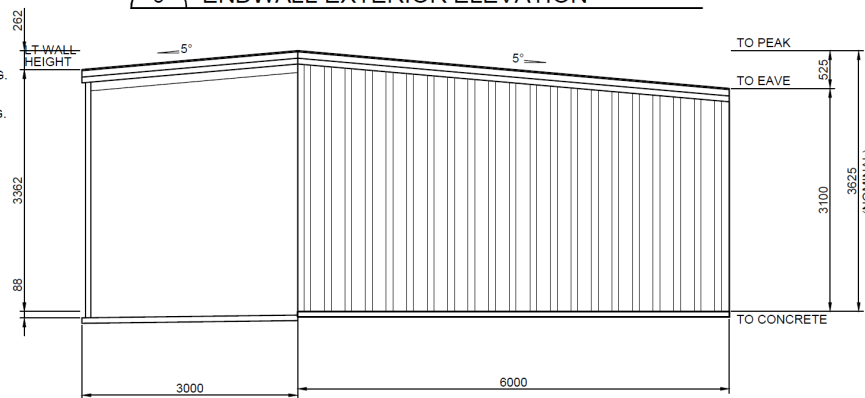
2 SIDEWALL EXTERIOR ELEVATION



3 ENDWALL EXTERIOR ELEVATION



1 SIDEWALL EXTERIOR ELEVATION



4 ENDWALL EXTERIOR ELEVATION

Proposed New Outbuilding:
Shed – 6.0m x 9.0m x 3.1m high
Verandah – 4.0m x 12.5m x 3.36m high
Caravan Bay – 6.0m x 3.5m x 3.1m high
NGL: ~3.0m
FFL: +100mm NGL (enclosed shed)

COLOURS:
Walls – Colorbond Surfmist
Roof: – Colorbond Evening Haze

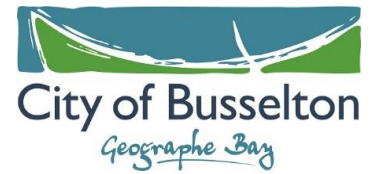
Document Set ID: 5189279
Version: 2, Version Date: 14/08/2023

JOB NO.	DATE	CHECKED	DRAWN	STEEL BUILDING BY
BS1053790	30/9/2023	T.M.	FDB	FOR
				AT

(CONTACT)
FAIR DINKUM BUILDS BUSSELTON
08 97554736
DAVE SAVILLE
9 CAMPION WAY
QUINDALUP



fair
dinkum
builds™
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OUTBUILDING ASSESSMENT SHEET

APPLICATION DETAILS			
OFFICER NAME	Statutory Planning	APPLICATION No.	DA23/0270
PROPOSAL	Single House (Outbuilding) - Special Control Area		
LOCATION	Lot 43 No 9 Campion Way QUINDALUP WA 6281		
APPLICANT	Busselton Sheds Plus		
OWNER	D J Saville, R M Saville		
DESCRIPTION OF PROPOSAL	Application is for an outbuilding designed to store a boat and caravan. The total floor area is 120m ² , with 54m ² enclosed and 71m ² roofed but open on three sides. Reduced rear and site setbacks are proposed. The applicant proposes to remove two peppermint trees to facilitate the development, including access.		

SITE PHOTOS





Evidence of WRP scat on site. No dreys observed.

PROPERTY / DEVELOPMENT HISTORY / ADVICE GIVEN ☐ Yes ☒ No

Building approval R.41694 (02/11/1987)

No record of any further enquiries or development/building applications or approvals. However the application letter refers to "renovations recently completed to the residence."



SCHEME ASSESSMENT – ENSURE RELEVANT DISCUSSION PROVIDED WHERE ANSWERING "YES"

Zoning	Residential	Land use permissibility	Single House: 'P'
Density	R12.5	Existing land use	Single House
Lot Area	881.221m ²		
Zone Objectives: a. To provide for a range of housing and a choice of residential densities to meet the needs of the community. b. To facilitate and encourage high quality design, built form and streetscapes throughout residential areas. c. To provide for a range of non-residential uses, which are compatible with and complementary to residential development.		<u>The proposal is consistent with the objectives of the zone.</u> Currently there is no outbuilding on the site; an outbuilding is incidental and ancillary to a habitable building on a residential lot, to the extent that it forms part of an R-Code assessment. It is not considered a "non-residential use", but nor does it contribute to housing choice. The proposal does not impact density targets (no subdivision potential). The proposal does not impact the streetscape. The design/built form is consistent with a standard outbuilding.	
Is the site located within a Structure Plan/DGP/LDP area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Review	Name:
Is the site a designated contaminated site?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Is the site in a Special Control Area?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Special Character Area (Quindalup)	
cl. 5.7 Special Character Area: 5.7.1 Development within the Special Character Area requires the prior development approval of the local government. 5.7.2 The local government may devise development objectives, provisions and/or controls to reinforce, retain or change the characteristics, form and nature of a designated Special Character area, with such objectives, provisions and/or controls being specified in Schedule 4. 5.7.3 Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special		5.7.1: Prior development approval sought through this application. 5.7.2: Schedule 4 provisions and an assessment against those provisions is set out below. 5.7.3: Internal advice was sought for DA23/0249 in regard to the Schedule 4 (1(a)) provision stating "All residential development... within Sectors 1 and 2... as described in the Quindalup Special	

Character area, those objectives, provisions and/or controls act in conjunction with the other provisions of this Scheme relevant to that area with the exception that the provisions of Schedule 4 will take precedence over any other provisions of this Scheme.	Character Area Policy, shall comply with the standards of the R12.5 Code of the R-Codes..." The advice is applicable to this application. The advice provided was: "Schedule 4 refers to the R12.5 coding as a whole, not just the deemed to comply provisions. So when assessing compliance with the R12.5 coding, regard can be had to the design principles of the R-Codes."
Schedule 4 – Special Character Areas 1. Quindalup SCA [sector/precinct 1] (a) All residential development in sector 1 shall comply with the R12.5 code of the R-Codes, with the exception that front setbacks shall be a minimum of 10 metres. (b) Relates to grouped dwellings – N/A (c) Maximum height limit 9m; no building to exceed the crown/canopy height of peppermint trees in the immediate vicinity. (d) Must have regard for the Quindalup SCA Policy	(a) Noted, this requirement is consistent with the R12.5 density coding applicable to the site. See comments immediately above and R-Code assessment below. (b) N/A (c) Proposed ridge height 3.925m. Complies. (d) Noted, see discussion below.
Is the site subject to Easements	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the site within the BOB/Vasse Dunsborough Alignment	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the site listed on the MHI?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the site a location of Aboriginal Cultural Heritage, per the Aboriginal Heritage Inquiry System?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

LOCAL PLANNING POLICY LPP 3.5 QUINDALUP SPECIAL CHARACTER AREA	Complies (YES/NO) & Comments
4.2 Vegetation 4.1.2 Development Controls (i) In order to preserve as much of the characteristic remnant vegetation, particularly the prominent upper storey growth, the type and height of all vegetation exceeding 2 metres in height must be shown on any proposed site plans as part of the application process for new developments. Plans must demonstrate a consideration of the indicated vegetation. (ii) – (v) N/A (vi) Revegetation of denuded or damaged areas with indigenous plant species is required as part of any new development application which relates to such areas. Proposed revegetation plans will need to be provided within the development application.	<input type="checkbox"/> Yes <input type="checkbox"/> No (i) Site visit conducted – confirm that veg will need to be removed. (vi) Revegetation likely to be required. Refer below comments on tree removal
<p>The original application proposed the removal of two 'medium sized trees' as identified on the site plan. Following a site visit it was confirmed the trees proposed to be removed were large and of similar size, if not bigger than the other trees on site. Further, it was not clear why one of the trees located tight on the boundary needed to be removed as it did not sit within the development footprint.</p> <p>Following further discussion with the applicant, it was agreed that the tree on the boundary could be retained (refer DOC ID 5189187). A condition for replacement planting of two advance trees is recommended to compensate for loss of existing mature tree.</p> <p>Tree 2 to be removed, Tree 1 and others to be retained.</p>	



<p>4.2 Streetscape 4.2.2 Development Controls (i) Setbacks to roads, be they front or rear, to be a minimum of 10 metres or sufficient to contain/protect remnant vegetation, whichever is the greater. (ii) – (vi) N/A (vii) The City will inform nearby residents of any proposed significant relaxation of development controls.</p>	<p><input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>(i) Setback will be approx. 14m from the rear of the habitable building. (vii) Application proposes to vary R-Code requirements. Advertising required.</p>
<p>4.3 Building Form, Style and Density 4.3.2 Development Controls (i) (a) A Residential Development Density of R12.5 to apply to all forms of development within Sectors 1 and 2 and that part of Sector 3 containing Ollis Street and the northern side of Wilson Street, with the exception that front setbacks in the areas are increased from 7.5m to 10m. (ii) No further subdivision between Caves Road and Toby Inlet beyond R2.5 (i.e. 4000m² lots). (iii) Dwelling site coverage on lots to be restricted to 40%. (iv) A maximum height limit of two storeys/9m to be applied - with the exception that no building is to exceed crown/canopy height of peppermint trees in the immediate vicinity of the proposed dwelling. The height of buildings to be measured vertically from any given point of the building to natural surface level. (v) Colours and building materials to be in character with existing dwellings. (vi) Roof pitches to conform to predominant flattish pitches representative of existing dwellings of the Strip. (vii) Verandahs and balconies to be encouraged in balustrade style to fit existing character and reduce the bulk of taller, new buildings. (viii) No structure (garage/shed) shall be constructed in front of an existing dwelling or the 10m setback line. (ix) TV aerials or similar external attachments to the roofs or walls of a building should be located such that they are not visible from the street or Geographe Bay Foreshore. If this is not possible, they should be located such that they are screened by existing dense vegetation or by other means to reduce visual obtrusion.</p>	<p><input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>(i) Complies – see Scheme/Schedule 4 discussion above. (ii) N/A (iii) Applies to “dwelling” rather than outbuilding, although the cumulative area of the dwelling and outbuilding does not exceed 40% site coverage. (iv) Complies – see Scheme/Schedule 4 discussion above. (v) Cover letter proposes the following colours: Surfmist walls and Even Haze roof “to compliment the aesthetic of renovations recently completed to the residence.”</p> <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;">  <p>Surfmist*</p> </div> <div style="text-align: center;">  <p>Evening Haze*</p> </div> </div> <p>These colours are very similar to those of the dwelling (see photo above). (vi) Complies</p>

	(vii) N/A (viii) Complies (ix) N/A
4.4 Access and Movement, 4.5 Public Land, Reserves and Recreation Areas & 4.6 Other Elements 4.4.2, 4.5.2 and 4.6.2 Development Controls	Not applicable.

BUSHFIRE*	
Note : Only required if outbuilding is within 6m of a habitable dwelling that has been built in accordance with AS 3959	
Is the site bushfire prone?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is the City satisfied that the proposal complies with: SPP3.7 – Planning in Bushfire Prone Areas & Guidelines for Planning in Bushfire Prone Areas?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A Proposal is for a non-habitable outbuilding that will be located approx. 14 metres from the habitable dwelling – according to Part 10A of the Deemed Provisions, does not trigger the requirement for SPP 3.7 assessment.

LOCAL PLANNING POLICY 4.10 OUTBUILDINGS AND OTHER NON-HABITABLE BUILDINGS			
WALL HEIGHT, RIDGE HEIGHT AND MAXIMUM TOTAL AREA - RESIDENTIAL ZONE			
R10 – R25 AND/OR LOTS 300M² OR GREATER BUT LESS THAN 2,000M²			
	POLICY REQUIREMENT	PROPOSED	COMPLIES?
WALL HEIGHT	3.1m	3.1m	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
RIDGE HEIGHT	4.5m	3.625m	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
AREA	88m ² (10% of the site area)	54m ² (112.5sqm)*	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>*While the overall area of the shed (including the carport and patio portion) exceeds 88sqm, the policy is structured so as to exclude the area of non-habitable buildings from overall calculation where located in the Residential Zone.</p> <p>As such, the overall area is calculated based on the area of the enclosed shed only, being 54sqm.</p> <hr/> <p><i>Note 4 : Where a lot falls within two categories of the density/lot size within the same zone the lesser/lower wall height, ridge height and total maximum area requirement shall apply.</i></p> <p><i>Note 5: Maximum wall and ridge height and area do not apply to Non-habitable Buildings in the Residential zone as they are to be assessed as a 'building' in accordance with the requirements of the R-codes.</i></p> <p><i>Note 6: In relation to measuring wall and ridge height refer to Appendix 2 : Measuring wall and ridge height of an Outbuilding and/or other Non-habitable building.</i></p> <p>“Non-habitable Building” means any building, not considered to be an Outbuilding (as defined below), that can be attached or detached to a dwelling but is not located under the main roof of a dwelling and includes, but is not limited to:</p> <ul style="list-style-type: none"> (a) carports; (b) patios; (c) shade structure/orchard enclosure; and (d) pergolas/gazebos; <p>but excludes boundary fences, water tanks and swimming pools and decking not more than 500mm above natural ground level.</p>			

RESIDENTIAL DESIGN CODES – CLAUSE 5.4.3 OUTBUILDINGS

<p>Note:</p> <p>i. Lot boundary setback and boundary wall concessions only apply to small outbuildings (10m²/2.7m wall and ridge height)</p> <p>ii. LPP 4.11 Exempt Development may apply in some instances, refer to policy for full details.</p>					
B: Large and multiple outbuildings			Complies (YES/NO) & Comments		
i. collectively do not exceed 60m² in area or 10 per cent in aggregate of the site area, whichever is the lesser;			<input checked="" type="checkbox"/> N/A - refer to LPP 4.10 assessment above.		
ii. are set back in accordance with Tables 2a;			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No - refer setback assessment below.		
iii. does not exceed a wall height of 2.4m;			<input checked="" type="checkbox"/> N/A - refer to LPP 4.10 assessment above.		
iv. does not exceed a ridge height of 4.2m;			<input checked="" type="checkbox"/> N/A - refer to LPP 4.10 assessment above.		
v. not located within the primary or secondary street setback area; and			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
vi. does not reduce the open space and outdoor living area requirements in Table 1. [R12.5 = 55%]			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
SETBACK ASSESSMENT					
5.1.3 C3.1(i) LOT BOUNDARY SETBACK – Table 2a (No major openings)					
Boundary E.g. Rear/NE	Length	Height	Required Setback	Proposed Setback	Complies (YES/NO)
Rear/NE	12.5m	3.1m	6m*	1m	No
Side boundary	9m	3.712m	1m	Nil	No
Side and rear setback does not meet DTC criteria and requires assessment against the relevant Design Principles (refer below)					
*6m setback is as per Table 1 of R-Codes.					
DESIGN PRINCIPLE ASSESSMENT					
<p>P3.1 Buildings set back from lot boundaries or adjacent buildings on the same lot so as to:</p> <ul style="list-style-type: none"> reduce impacts of building bulk on adjoining properties; provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties; and minimise the extent of overlooking and resultant loss of privacy on adjoining properties. 			<p>The proposed side boundary setback is considered to satisfy P3.1 and P3.2 for the following:</p> <ul style="list-style-type: none"> The outbuilding is unenclosed where abutting the boundary, minimising the impact of building bulk on the neighbouring property. Being located to the east, solar access to the neighbouring property is not impacted. As a non-habitable building, visual privacy assessment is not relevant. Locating the outbuilding in the rear corner creates a consolidated outdoor living area and is consistent with the location of existing outbuildings on the adjacent properties. While boundary walls are not permitted by right in any density lower than R20, it is noted the proposed height (3.45m) and length (9m) satisfies the deemed to comply requirements for a boundary wall. 		
			<p>The proposed rear boundary setback is considered to satisfy P3.1 and P3.2 for the following:</p> <ul style="list-style-type: none"> Notwithstanding the 6m standard for R12.5 coded properties, the proposed 1m setback satisfies the Table 2a standard. As such, the proposed setback is considered reasonable in relation to the building bulk. Being located to the south of the neighbouring properties, there is no impact on solar access. Both neighbouring rear properties have existing outbuildings located within the 6m setback area. As a non-habitable building, visual privacy assessment is not relevant. 		

<p>P3.2 Buildings built up to boundaries (other than the street boundary) where this:</p> <ul style="list-style-type: none"> • makes more effective use of space for enhanced privacy for the occupant/s or outdoor living areas; • does not compromise the design principle contained in 5.1.3 P3.1; • does not have any adverse impact on the amenity of the adjoining property; • ensures direct sun to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and • positively contributes to the prevailing or future development context and streetscape as outlined in the local planning framework. 	<ul style="list-style-type: none"> • Large site with reasonable separation between buildings on adjoining properties. • Building bulk is minimised through the setback of the enclosed portion of the structure. • No comment received from neighbouring properties • No impact on adjoining properties. • No impact on the streetscape; most significant impact under the local planning framework is loss of vegetation. <p>Rear setback</p> <ul style="list-style-type: none"> • Located adjacent to existing outbuildings on neighbouring properties – no impact on habitable rooms • No impact on streetscape – located to rear of site



Photo 1: existing sheds on neighbouring properties

Photo 2: neighbouring dwelling

Photo 3: trees at rear – tree circled in red to be removed, blue to be retained

Photo 4: neighbouring dwelling

OBJECTIVES FOR THE ASSESSMENT OF APPLICATIONS	
Where development does not meet the standards of the LPP, it will be considered and required to satisfy the following objectives (in addition to any other relevant	(a) No impact on the streetscape; No comments from neighbours

<p>'matters to be considered', as per clause 67 of Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>;</p> <p>(a) Outbuildings and other Non-habitable Buildings are to be of a scale that will not unreasonably detract from the streetscape and/or the visual amenity of residents or neighbouring properties.</p> <p>(b) Outbuildings and other Non-habitable Buildings are to be of a form and scale consistent with the Objectives of the Zone in which they are located.</p> <p>(c) Outbuildings and other Non-habitable Buildings are to be suitably located on a site with adequate setbacks and located within a Building Envelope (where applicable). Where a lot does not have a designated Building Envelope but one is applicable under the Scheme, Outbuildings and other Non-habitable Buildings should be located in proximity to, or clustered with, other development (including the dwelling) on the site.</p> <p>(d) Outbuildings and other Non-habitable Buildings are to be located with consideration given to the retention of native vegetation and/or remnant vegetation on site.</p> <p>(e) Outbuildings and other Non-habitable Buildings are to be located such that they do not increase the threat of bushfire to habitable buildings on the site.</p>	<p>(b) Proposal is consistent with the zone objectives – see Scheme discussion above.</p> <p>(c) Site does not have a building envelope; re setbacks, see R-Code design principle assessment.</p> <p>(d) Vegetation – Recommended condition requiring planting of additional advanced trees to offset loss of vegetation.</p> <p>(e) Suitable location – see bushfire discussion above.</p>
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LOCAL PLANNING POLICY	
LPP 3.1 REFLECTIVE BUILDING MATERIALS	Complies (YES/NO) & Comments
No Zincalume permitted within Residential, Tourist, Special Purpose or Rural Residential zone (includes residential components of the Vasse Development Zone, Yalyalup Development zone and other Development Zones) without an application.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Reflective materials are not permitted within the Landscape Value Area and the Travel Route Corridors without an application.	<input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A

REFERRALS	
INTERNAL <ul style="list-style-type: none"> Building Health 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> N/A

ADVERTISING AND NEIGHBOUR CONSULTATION			
Advertising Required?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Reasons for advertising?	R12.5 boundary wall proposed.		
Start Date	4 July 2023	Finish Date	20 July 2023
Were any submissions received?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Summary of Submission	Officer Response	

Name:	N/A	N/A
Address:		

Clause 67 – Matters to be Considered:	
Matters to be Considered	Comment
The aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;	<i>The proposal is considered to satisfy the aims and provisions of the Scheme, specifically the objectives of the 'Residential' zone and the development standards of the QSCA established by Schedule 4.</i>
The requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the Planning and Development (Local Planning Schemes) Regulations 2015 or any other proposed planning instrument that the local government is seriously considering adopting or approving;	<i>Approval of the proposal is considered consistent with orderly and proper planning.</i>
Any local planning policy for the Scheme area;	<i>The development meets the standards contained within the relevant local planning policies, being Local Planning Policy 3.5 – Quindalup Special Character Area (LPP 3.5) and Local Planning Policy 4.10 – Outbuildings and Other Non-habitable Buildings (LPP 4.10).</i>
The compatibility of the development with its setting, including — (i) The compatibility of the development with the desired future character of its setting; and (ii) The relationship of the development to development on adjoining land or on other land in the locality, including but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	<i>The bulk and scale of the development is considered consistent with the 'Residential' zone with the proposed setbacks not considered to impact the amenity of the neighbouring properties.</i>
The amenity of the locality including the following — (i) Environmental impacts of the development; (ii) The character of the locality; (iii) Social impacts of the development;	<i>The development satisfies the elements of the QSCA policy and is of a scale consistent with the 'Residential' zone.</i>
The likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or water resource;	<i>The removal of an existing peppermint tree to accommodate the development is to be offset by the planting of two replacement peppermint trees. Overall, the proposal retains the majority of the mature vegetation on the site.</i>
Whether adequate provision has been made for the landscaping of the land to which the application relates and whether any trees or other vegetation on the land should be preserved;	<i>As per above comment, additional landscaping is recommended to offset the loss of the mature peppermint tree.</i>
The suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation, or any other risk;	<i>While the site is located in a 'Bushfire Prone Area,' the non-habitable outbuilding does not increase bushfire risk and is exempt from further assessment.</i>
Any submissions received on the application	<i>No submissions were received.</i>
It is considered that the matters listed within Clause 67 of the Planning and Development (Local Planning Schemes) Regulations 2015 have been adequately address through the assessment of this application against the applicable Scheme and LPP requirements in the report above.	



FURTHER COMMENTS

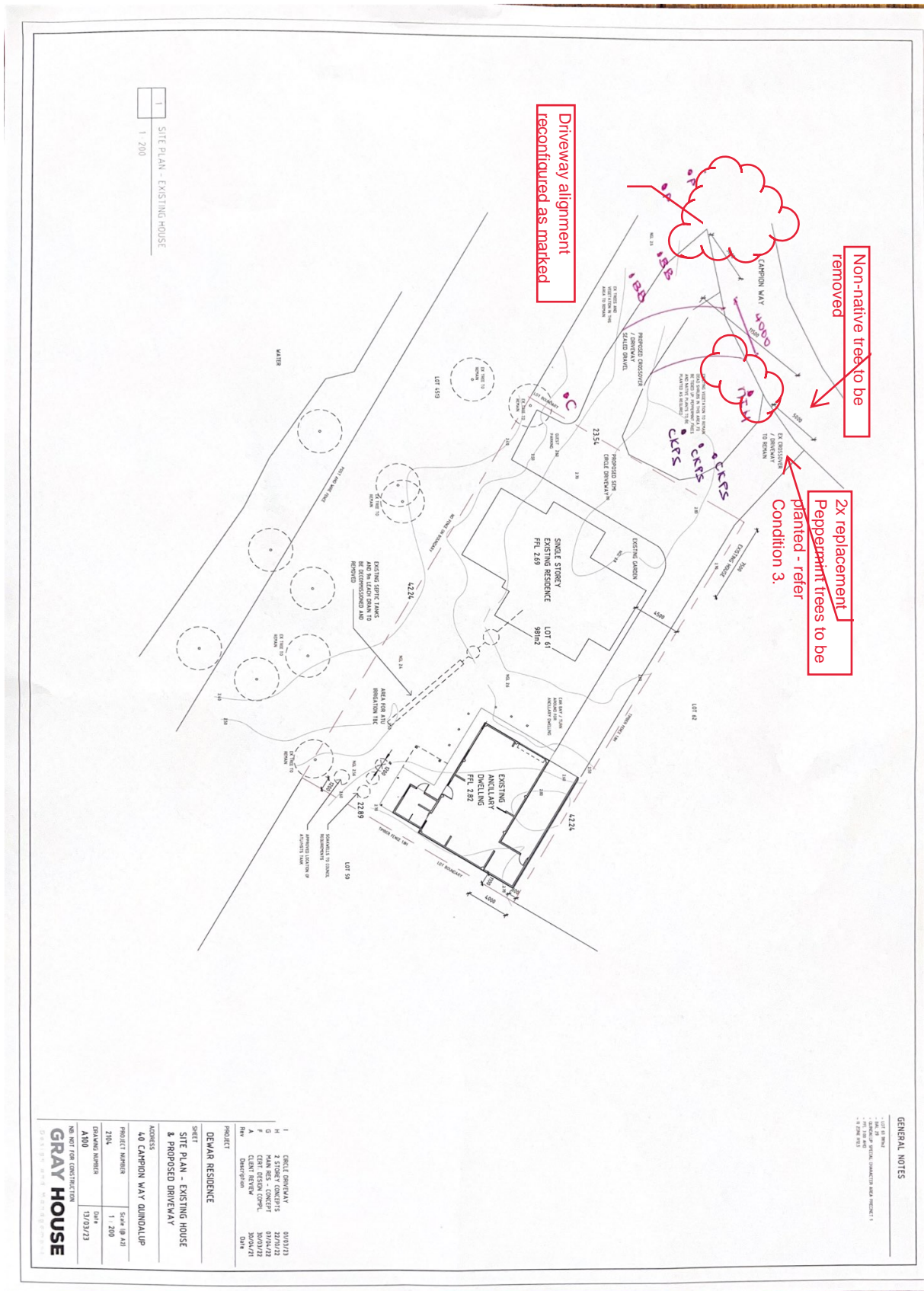
Following discussion with the applicant, the proposal has been modified to reduce the overall size of the structure which will reduce the impact of the nil setback on the neighbouring property (refer DOC ID 5180197)

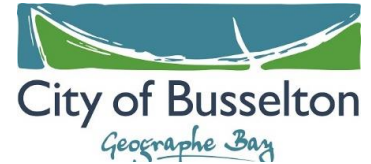
It was further negotiated for one of the trees proposed to be removed to be retained (refer DOC ID 5189187)

It is recommended two replacement peppermint trees are planted to offset the removal of the existing mature tree. Approval recommended subject to conditions.



	<p>Disclaimer: Every effort has been made to make the information displayed here as accurate as possible. This process is ongoing and the information is therefore ever changing and cannot be disseminated as accurate. Care must be taken not to use this information as correct or legally binding. To verify information contact the City of Busselton office.</p>		<p>31/08/2023</p>	
			<p>1:459 @ A4L</p>	



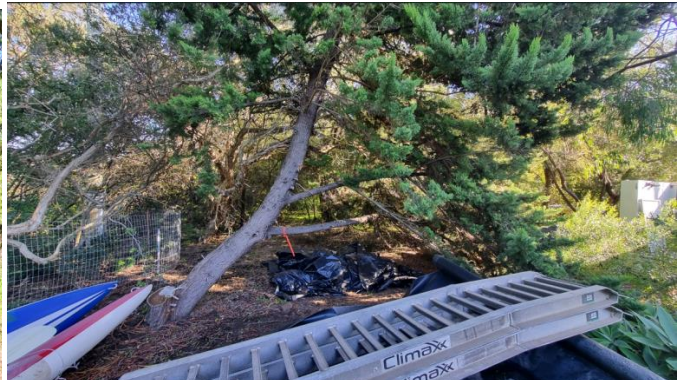


SINGLE RESIDENTIAL DWELLING ASSESSMENT SHEET

APPLICATION DETAILS			
OFFICER NAME	David Sands	APPLICATION No.	DA23/0194
PROPOSAL	Single House (Drive Way Addition) – Special Control Area		
LOCATION	Lot 61 No 40 Campion Way QUINDALUP WA 6281		
APPLICANT	J F Dewar, R K Dewar		
OWNER	J F Dewar, R K Dewar		

SITE INSPECTION:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DATE	10 July 2023
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AERIAL / SITE PHOTOS



PROPERTY / DEVELOPMENT HISTORY / ADVICE GIVEN

Development Applications:

DA13/0827 – Single House - Outbuilding

☐ Yes ☒ No

<p>DA21/0807 – Single House - Outbuilding to Ancillary Dwelling</p> <p><u>Building Applications:</u></p> <p>No previous advice/comments relevant to this application registered at the time of assessment.</p>	
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SCHEME ASSESSMENT			
Zoning	Residential	Lot Area	981m ²
Existing land use	Single House	Proposed land use	Single House (driveway addition)
Land use permissibility	<input checked="" type="checkbox"/> P <input type="checkbox"/> D <input type="checkbox"/> A <i>Note: D and A land uses require assessment against Objectives of the Zone below.</i> <i>Note: Exemptions to the Zoning Table under clause 3.5.3 of the Scheme for lots less than 4,000sq,</i>		
OTHER MATTERS INCLUDING NOTIFICATIONS			
Is there an additional use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is the lot included in a special control area?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Is the site located within a Structure Plan/DGP/LDP area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Review	Name:	
Is the site a designated contaminated site?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is the site/a portion of the site a declared Environmentally Sensitive Area (ESA)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Is the site subject to Easements	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is the site within the BOB/Vasse Dunsborough Alignment	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is a S.70A notification required? <ul style="list-style-type: none"> - Coastal inundation - Bushfire Prone - Mosquito - Proximity to other land uses etc. 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Are there any contributions payable? <ul style="list-style-type: none"> - Percent for art - Community Facilities - Mosquito - Road & Footpath 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

BUILDING HEIGHT	
What is the prescribed building height under the Scheme?	9m
What is the proposed building height?	N/A

LOCAL PLANNING SCHEME	
<p>Schedule 4 – Special Character Areas</p> <p>Quindalup Special Character Area</p> <p>(a) All residential development, including the development of two grouped dwellings at a density of R20 within Sectors 1 and 2, and that part of Section 3 containing Ollis Street and the northern side of Wilson Street, as described in the Quindalup Special Character Area Policy, shall comply with the standards of the R12.5 Code of the R-Codes, with the exception that front setbacks in the area shall be a minimum of 10 metres;</p>	<p>Compliant</p> <p>(a) N/A</p> <p>(b) N/A</p> <p>(c) N/A</p> <p>(d) Noted, refer LPP 3.5 assessment below.</p>

<p>(b)The local government will only permit the construction of grouped housing development of three or more dwellings at a density not exceeding R12.5 with a minimum lot size of 2,400m².</p> <p>(c)No residential development shall exceed a maximum height limit of two storeys or a maximum of 9 metres, with the exception that no building is to exceed crown/canopy height of peppermint trees in the immediate vicinity of the proposed dwelling. The height of buildings to be measured vertically from any given point of the building to the natural surface level of the site;</p> <p>(d)In the determination of any application for development approval within the Quindalup Special Character Area Policy, the local government shall have regard for the provisions of that policy.</p>	
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LOCAL PLANNING POLICY	
Relevant Policies	Complies (YES/NO) & Comments
3.01 - Reflective Building Materials	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Colour/material schedule:
4.02 – Bushfire	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Exempt Development.
4.10 – Outbuildings and Other Non-Habitable Buildings	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
6.01 – Stormwater Management	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Condition to be applied requiring stormwater retention on site.

LPP 3.5: QUINDALUP SPECIAL CHARACTER AREA	
<p>SECTOR 1: The eastern portion of Wilson Avenue, and Geographe Bay Road inclusive of all side streets east of the road reserve between lots 38 and 39 Geographe Bay Road. This Sector generally containing the bulk of what is considered to be a good representation of those characteristics which give the overall Area its special ambience and charm.</p>	
<p>4.1 Vegetation</p> <p>(i) In order to preserve as much of the characteristic remnant vegetation, particularly the prominent upper storey growth, the type and height of all vegetation exceeding 2 metres in height must be shown on any proposed site plans as part of the application process for new developments. Plans must demonstrate a consideration of the indicated vegetation.</p> <p>(ii) A Tree Preservation Order to be enacted, and enforced within reason, over the entire Area as part of the Town Planning Scheme.</p> <p>(iii) Provision of any infrastructure or the implementation of public works projects should not involve damage to or removal of remnant vegetation.</p> <p>(iv) The clearing of vegetation to improve visibility for road safety will be done sensitively and in consideration of the City's desire to maintain as much vegetation through the Area as possible. No other roadside clearing other than that allowed by for safety reasons will be allowed unless</p>	<p>(i) Existing vegetation shown on plans</p> <p>(ii) Not a relevant planning consideration</p> <p>(iii) No remnant vegetation is proposed to be removed on the revised plans of development. Two trees which are non-indigenous to the area are to be removed to allow for the proposed driveway to be constructed.</p> <p>(iv) As above, removal of two trees which are non-indigenous would occur from the construction of the proposed driveway, both within the road reserve. Revegetation to establish indigenous vegetation is identified on the plans which is also within the road verge. A condition requiring planting of two peppermint trees is recommended.</p> <p>(v) Noted.</p> <p>(vi) Landscape area identified on plans and a list of species for re-vegetation has been provided and supported based on these being indigenous to the area.</p>

<p>significant reason can be demonstrated. (v) Provisions relating to vegetation in Reserves and Coastal Management areas will be actively enforced in the Area.</p> <p>(vi) Revegetation of denuded or damaged areas with indigenous plant species is required as part of any new development application which relates to such areas. Proposed revegetation plans will need to be provided within the development application.</p>	
<p>4.2 Streetscape</p> <p>(i) Setbacks to roads, be they front or rear, to be a minimum of 10 metres or sufficient to contain/protect remnant vegetation, whichever is the greater.</p> <p>(ii) Raised kerbing and formal crossovers other than in "character colour and texture", such as gravel or earth tones to be actively discouraged. The City shall use flush kerbing if required for road safety or maintenance reasons.</p> <p>(iii) No fencing or other construction to be permitted in front setback, unless specifically approved by the City. (In the case of fencing, low, "open style" wooden fences will be preferred)</p> <p>(iv) Letterboxes to be no higher than 1.3 metres and should be thin based and as unobtrusive as possible, with colours and materials to blend with surrounds.</p> <p>(v) Any road widening to be absolutely minimal, and use of raised kerbs and traffic calming devices of an "engineering" nature (e.g. chicanes, etc) to be used only as a means of last resort.</p> <p>(vi) Use of cut and fill earth mounding will be discouraged.</p> <p>(vii) The City will inform nearby residents of any proposed significant relaxation of development controls.</p>	<p>(i) No changes to established street setbacks</p> <p>(ii) Not a relevant planning consideration</p> <p>(iii) No front fencing proposed.</p> <p>(iv) No letter box modifications proposed.</p> <p>(v) Not a relevant planning consideration.</p> <p>(vi) No fill proposed.</p> <p>(vii) No advertising was required.</p>

BUSHFIRE	
Is the site bushfire prone?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
What is the BAL rating?	EXEMPT
Has the application been referred to DFES?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the City satisfied that the proposal complies with:	
1. SPP3.7 – Planning in Bushfire Prone Areas?	<input type="checkbox"/> Yes <input type="checkbox"/> No
2. Position Statement – Vulnerable Land Uses in a Bushfire Prone Area?	<input type="checkbox"/> Yes <input type="checkbox"/> No
3. Guidelines for Planning in Bushfire Prone Areas has been achieved?	<input checked="" type="checkbox"/> N/A

REFERRALS	
<p>INTERNAL</p> <ul style="list-style-type: none"> Environment 	<p>Comments from environmental officer DOC ID (5193476) raised concerns with the clearing of native vegetation within the road reserve which would result by proposed driveway. Following a site inspection it was confirmed that trees a Norfolk Island Hibiscus and a Pine Tree would require removal and that a revised design was suggested to avoid any removal of native trees/shrubs (including small 'basket bushes').</p> <p>The environmental officer was supportive of the revised design DOC ID (5193515). In addition further advice provided that the exemption to clearing permit does apply as the land is within an Environmentally Sensitive Area (ESA).</p>

<ul style="list-style-type: none"> Engineering 	<p>The following advice provided –</p> <p><i>Please note construction of the crossover is approved subject to the following:</i></p> <ol style="list-style-type: none"> <i>The construction of the crossover will need to be in accordance with the City of Busselton technical standards and specifications (<u>Microsoft Word - BB Section 4 Crossovers amended July 2012.doc (busselton.wa.gov.au)</u>)</i> <i>The crossover construction will not be eligible for a crossover contribution</i> <i>All works that impact on the trafficable lane will need to be covered by a Traffic Management Plan</i> <i>This approval is for the crossover only and does not extend to the driveway</i> <i>No clearing of native vegetation within the verge for construction of the crossover is to occur without further consultation and assessment by the City. Please note, clearing permits may also be required</i> <i>Crossover maintenance, including maintenance of sight lines, remains the responsibility of the property owner.</i> <i>All costs for the construction of the crossover, including but not limited to locating and relocating services, traffic management and securing of any permits from other regulatory authorities etc. are to be borne by the property owner</i>
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SPP 7.3 - RESIDENTIAL DESIGN CODES V1

5.2 STREETSCAPE

5.2.1 SETBACK OF GARAGES AND CARPORTS – N/A

5.2.2 GARAGE WIDTH – N/A

5.2.3 STREET SURVEILLANCE – N/A

5.2.4 STREET WALLS AND FENCES – N/A

5.2.5 SIGHT LINES

C5 – Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences, or other structures adjoin:

- a driveway that intersects a street, right-of-way or communal street;
- a RoW or communal street that intersects a public street; and
- two streets that intersect (refer Figure 9a).

No development proposed within the measured sightline area.

Yes

5.3 SITE PLANNING AND DESIGN

5.3.1 OUTDOOR LIVING AREAS – N/A

5.3.2 LANDSCAPING

Deemed to Comply Provision	Proposed	Complies (YES/NO) & Comments
C2.2 Landscaping of single houses, grouped dwellings and multiple dwellings to include the following: <ol style="list-style-type: none"> the minimum number of trees and associated planting areas in the table below; and 	Established trees on lot to be retained, two trees to be removed which are introduced species.	Yes
<ol style="list-style-type: none"> Landscaping of the street setback area, with not more than 50% of the area to consist of impervious surfaces. 	The proposal will result in the removal of trees which are introduced species which are within the road reserve. No modifications to the front setback area within the lot are proposed.	Yes

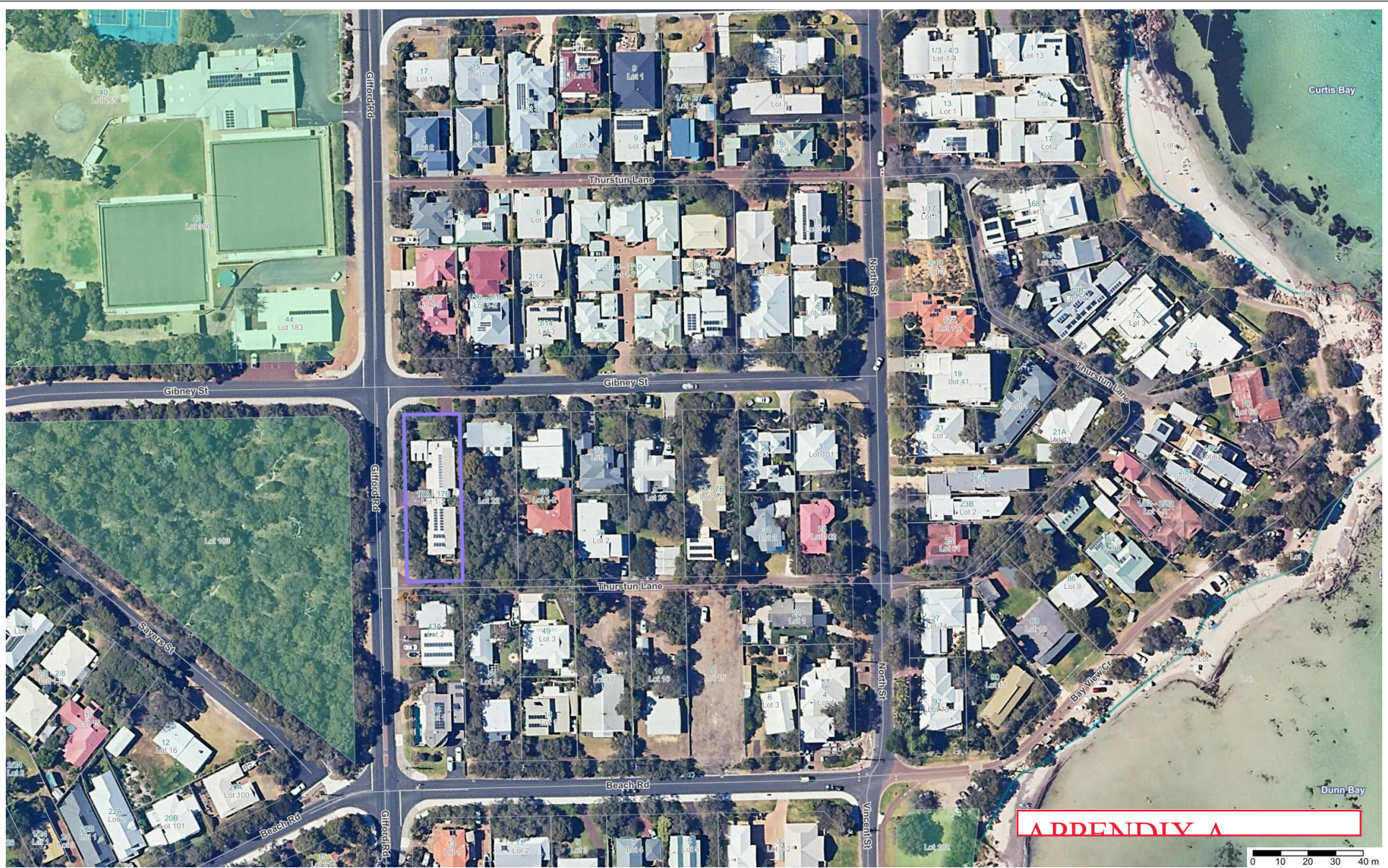
Dwelling type		Minimum tree requirement	Minimum tree planting area	Note: i. The minimum tree planting area is to be provided for each tree and shown on the site plan that is submitted with the application. ii. The tree planting area is to be free of impervious surfaces and roof cover.
Single houses and grouped dwellings (tree per dwelling)		1 tree	2m x 2m	
Multiple dwellings (trees per site)	Less than 700m ²	2 trees		
	700 - 1000m ²	3 trees		
	Greater than 1000m ²	4 trees		
5.3.5 VEHICULAR ACCESS				
C5.1 Access to on-site car parking spaces to be provided: <ul style="list-style-type: none">From a communal street or RoW if available.From a secondary street where no Communal Street or RoW exists.From the primary street frontage where no secondary street, communal street or RoW exists.		No change to established vehicle access.		Yes
C5.2 & C5.3 Driveways to primary or secondary street provided as follows: <ul style="list-style-type: none">Min: 3mMax: 6m & 9m (aggregate)0.5m from side lot boundary6m from street corner.Aligned at right angles to the street alignment.Located so as to avoid street trees, or where this is unavoidable, the street trees replaced at the applicants expense or re-planting arrangements approved.Adequately paved and drained.		An additional driveway is proposed at 4m in width in addition to the existing 5m driveway. 9m in aggregate is proposed. Trees removed would be replaced by applicant within a proposed landscaping area.		Yes
C5.4 Driveways designed for two way access to enter street in forward Gear where: <ul style="list-style-type: none">Driveway serves 5 or more dwellings.Distance from a car space to street is 15m or more.The street to which it connects is designated as a primary distributor or integrator arterial road.		Additional proposed driveway will allow exist in forward gear.		Yes
5.3.9 STORMWATER MANAGEMENT				
Deemed to Comply Provision		Proposed		Complies (YES/NO) & Comments
C9 - Retention of stormwater on-site Single House - 1m3 per 65m ² of impervious area Infill - 1m3 per 40m ² of impervious area		No details provided, condition to be applied.		Yes

CLAUSE 67 OF PLANNING AND DEVELOPMENT (LOCAL PLANNING SCHEMES) REGULATIONS 2015

It is considered that the matters listed within Clause 67 of the Planning and Development (Local Planning Schemes) Regulations 2015 have been adequately address through the assessment of this application against the applicable Scheme and LPP requirements in the report above.

FURTHER COMMENTS

The proposed driveway meets the deemed to comply requirements of the Residential Design Codes, including 5.3.5 Vehicle Access and satisfies the requirements of Local Planning Policy No 3.5. Following revised plans and further conferral with the City's environmental officer the proposal is recommended for approval with conditions which include the requirement to plant two WA Peppermint trees.

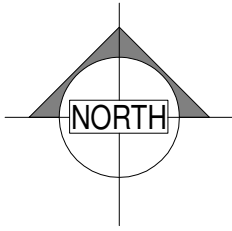
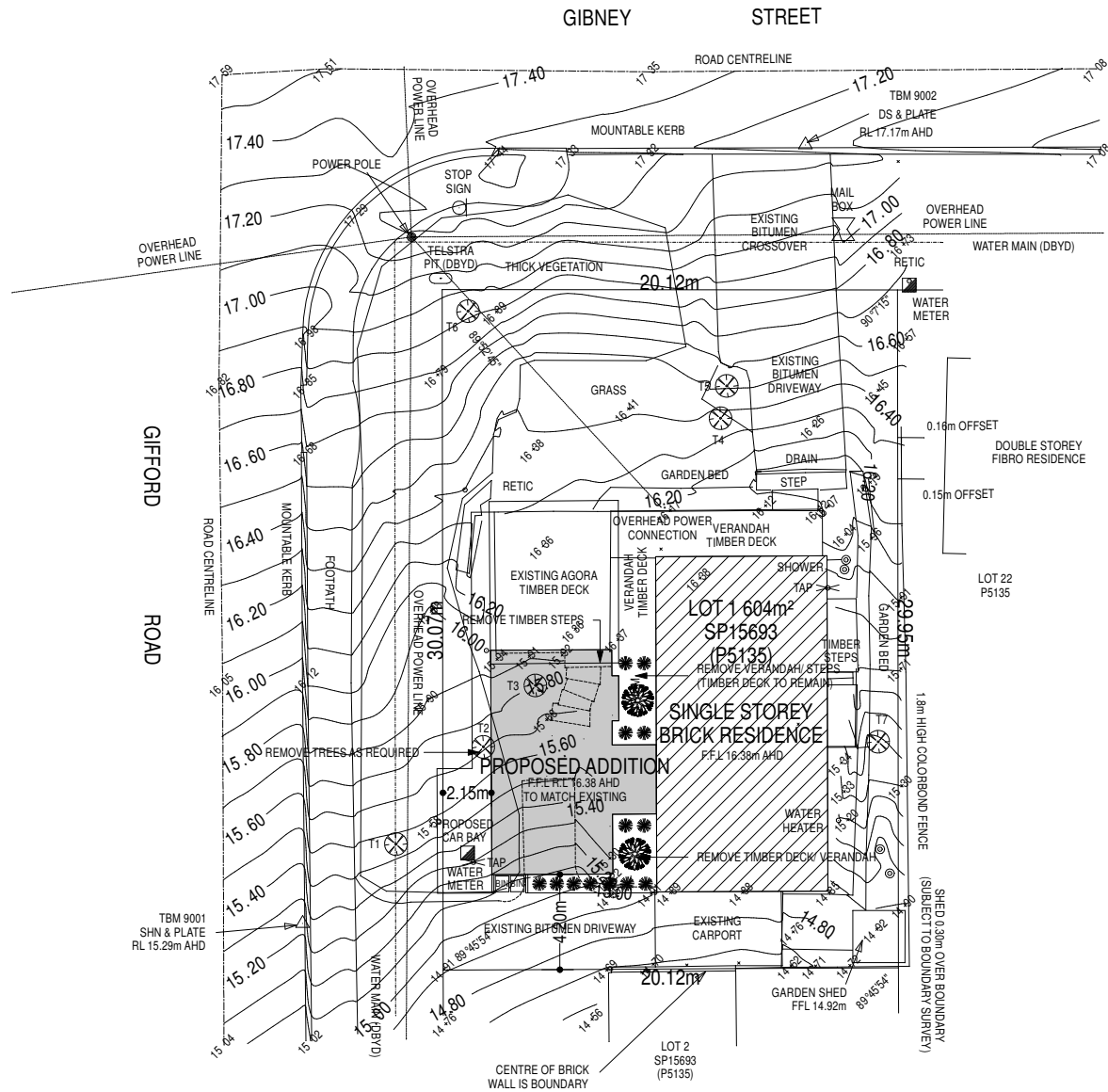


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01/09/2023

1:1250 @ A3L




**BUSHFIRE NOTE**ALL NEW CONSTRUCTION TO COMPLY WITH
BAL-29 BUSHFIRE REQUIREMENTS**SITE AREAS**

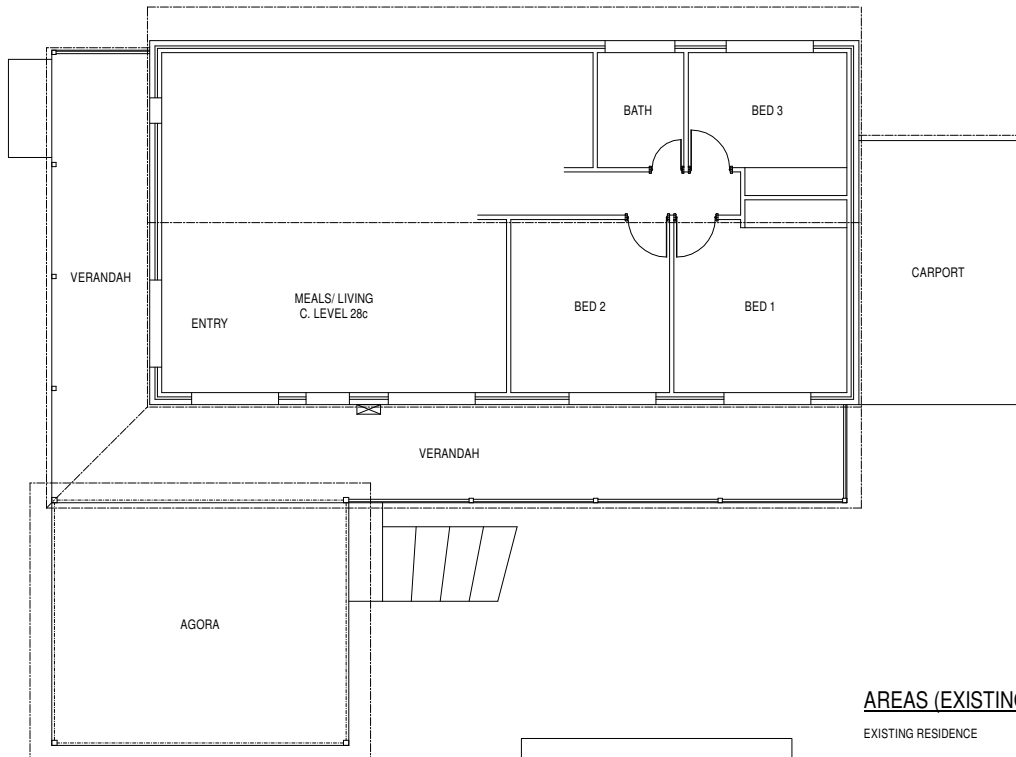
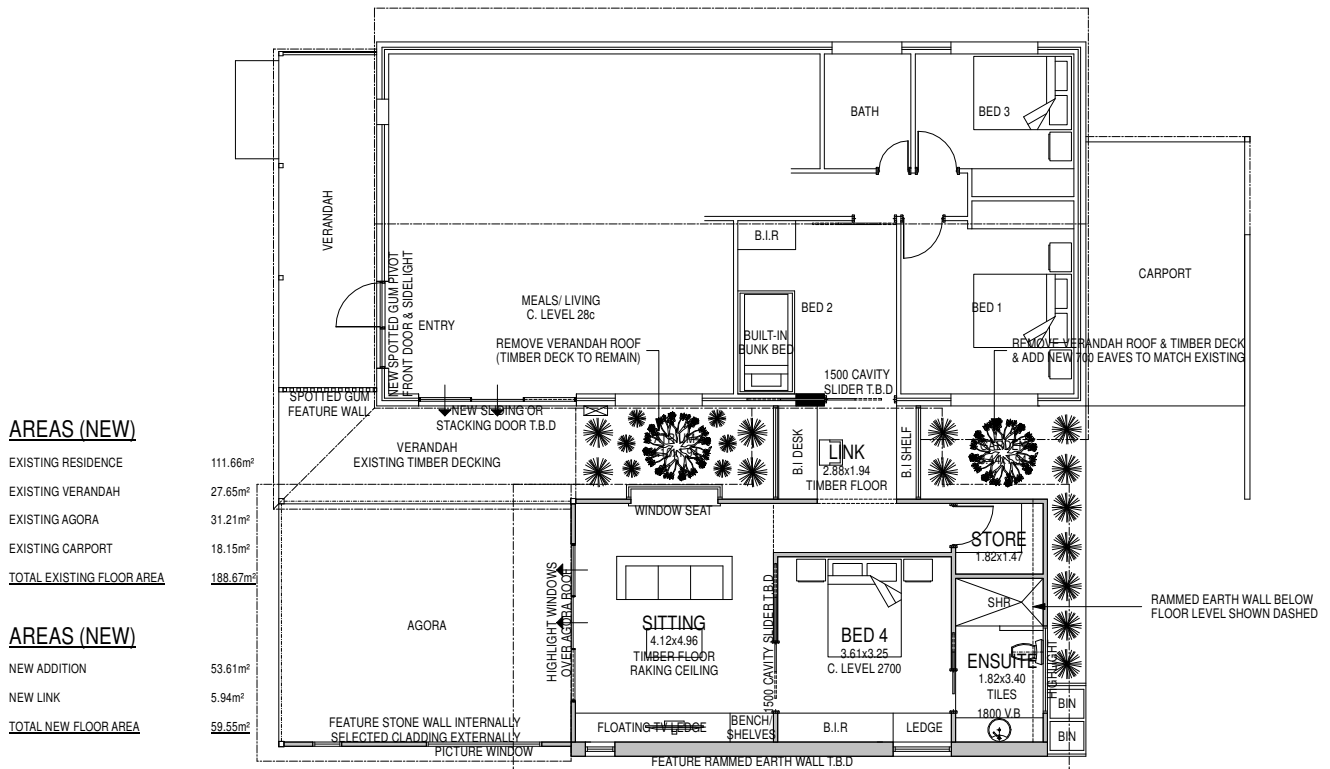
EXISTING HOUSE & CARPORT	129.81m²
NEW ADDITION AREA	59.55m²
TOTAL SITE AREA	604m²
MAX. SITE COVERAGE 50%	302m²
ACTUAL SITE COVER	31%
OPEN SPACE PROVIDED	69%

SITE PLAN

SCALE 1:200

APPENDIX D

 <p>P 0419 949 193 A PO Box 1268 Dunsborough WA 6281 E dan@danprestipinodesign.com.au W danprestipinodesign.com.au</p> <p>DANIEL PRESTIPINO DESIGN</p>	PROJECT		REVISIONS/ ISSUES		DRAWN D.P	
	PROPOSED ADDITIONS & ALTERATIONS AT LOT 1 #17A GIBNEY STREET DUNSBOROUGH		No	DATE	DESCRIPTION	DATE
						28 FEB 23
DRAWING	SITE PLAN				SCALE 1:200	SHEET SIZE A3
					SHEET No. 1 OF 3	DRAWING No. A01
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				JOB No.	326-22/23	



BUSHFIRE NOTE

ALL NEW CONSTRUCTION TO COMPLY WITH
BAL-29 BUSHFIRE REQUIREMENTS

AREAS (EXISTING)

EXISTING RESIDENCE	111.66m ²
EXISTING VERANDAH	48.78m ²
EXISTING AGORA	31.21m ²
EXISTING CARPORT	18.15m ²
TOTAL EXISTING FLOOR AREA	209.80m²

<div><div></div><div></div><div></div><div></div></div> <p>P 0419 949 193 A PO Box 1268 Dunsborough WA 6281 E dan@danielprestipinodesign.com.au W danielprestipinodesign.com.au</p> <p>DANIEL PRESTIPINO DESIGN</p>	PROJECT	PROPOSED ADDITIONS & ALTERATIONS AT LOT 1 #17A GIBNEY STREET DUNSBOROUGH	REVISIONS/ ISSUES	DRAWN D.P
	DRAWING	FLOOR PLANS	No. DATE DESCRIPTION	DATE 28 FEB 23
				SCALE 1:100
				SHEET No. 2 OF 3
				SHEET SIZE A3
				DRAWING No. A02
				JOB No. 326-22/23
© COPYRIGHT DANIEL PRESTIPINO DESIGN		CLIENT WISNIEWSKI	DO NOT SCALE THE DRAWINGS	

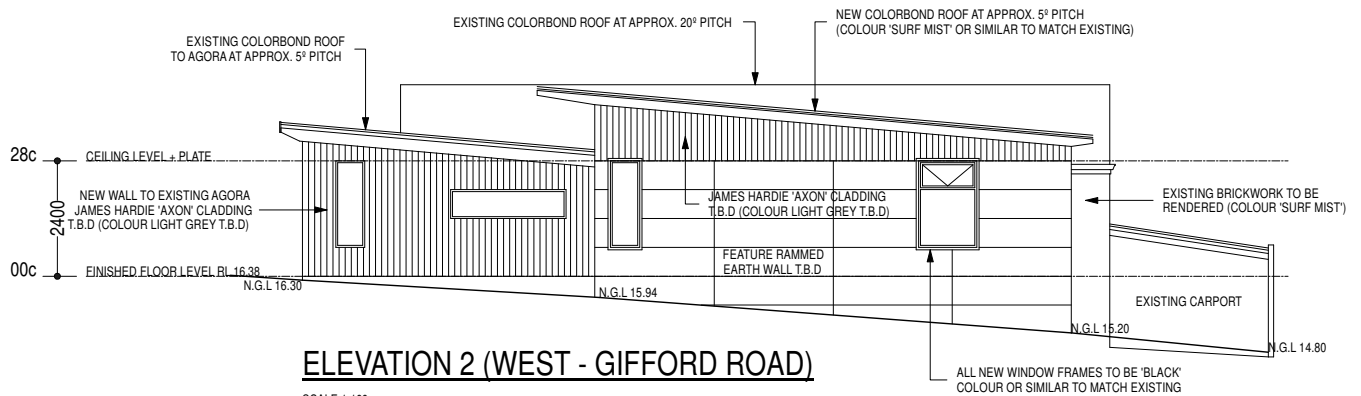
BUSHFIRE NOTE

ALL NEW CONSTRUCTION TO COMPLY WITH
BAL-29 BUSHFIRE REQUIREMENTS



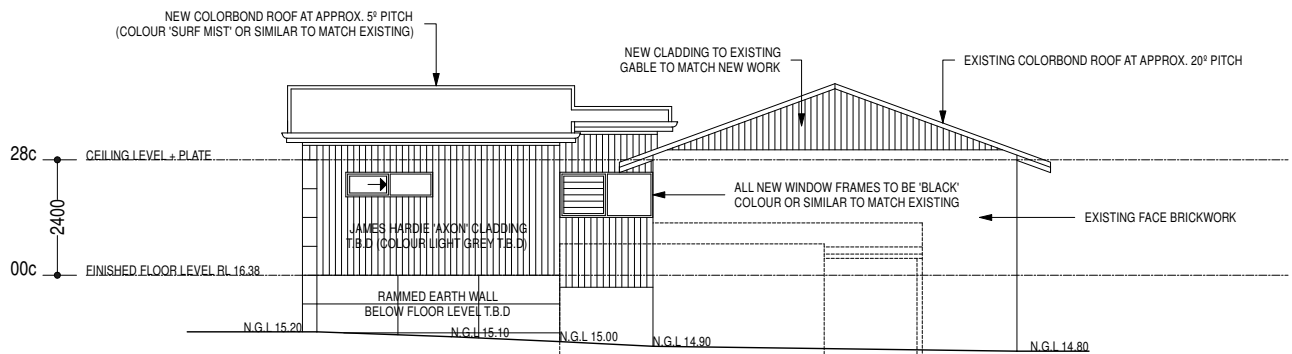
ELEVATION 1 (NORTH - GIBNEY STREET)

SCALE 1:100



ELEVATION 2 (WEST - GIFFORD ROAD)

SCALE 1:100



ELEVATION 3 (SOUTH)

SCALE 1:100

<p>P 0419 949 193 A PO Box 1268 Dunsborough WA 6281 E dan@danielprestipinodesign.com.au W danielprestipinodesign.com.au</p> <p>DANIEL PRESTIPINO DESIGN</p>	PROJECT		REVISIONS/ ISSUES		DRAWN D.P	
	<p>PROPOSED ADDITIONS & ALTERATIONS AT LOT 1 #17A GIBNEY STREET DUNSBOROUGH</p>		No	DATE	DESCRIPTION	DATE
						28 FEB 23
<p>DANIEL PRESTIPINO DESIGN</p>	DRAWING		CLIENT		JOB No.	
	<p>ELEVATIONS</p>		<p>WISNIEWSKI</p>		<p>326-22/23</p>	



SPECIAL CONTROL AREA ASSESSMENT SHEET

APPLICATION DETAILS			
OFFICER NAME	Statutory Planning	APPLICATION No.	DA23/0133
PROPOSAL	Grouped Dwelling (Additions/Alterations) - Special Control Area		
LOCATION	Lot 1 (No. 17A) Gibney Street DUNSBOROUGH WA 6281		
APPLICANT	Daniel Prestipino Design		
OWNER	Z Wisniewski, H L Wisniewski		
DESCRIPTION OF PROPOSAL	<p>Application has been lodged for proposed alterations and additions to the northernmost grouped dwelling. The proposed development can be described as an approximate 9.9m long x 5.3m wide addition on the western aspect of the existing dwelling. The addition consists of sitting room, bedroom, ensuite and storeroom, which is connected via a physical link, and provides a total additional floor space of 59.55m².</p> <p>The proposal incorporates composite construction methods consisting rammed earth and timber framed walls with James Hardie 'Axon' cladding. A low-pitched skillion roof with colorbond roof (colour to match existing) is provided to the additions.</p> <p>Discretions</p> <p>Under the <i>Scheme</i> Table 1 – Zoning Table, a Grouped Dwelling is a Discretionary (D) land use in the Residential zone, and alterations and/or additions to grouped dwellings are not exempt under the <i>Planning Regulations</i> cl 61, therefore the local government is required to exercise discretion by granting development approval.</p> <p>An assessment of the proposed development concluded that the proposal satisfies the relevant elements of the planning framework and is considered fundamentally consistent with the objectives and development standards of the ODSCA. The compliance of the proposal has been discussed in Attachment 3.</p> <p>As such, the exercise of discretion is only required by virtue of the nature of the development, being alterations and additions to a Discretionary (D) land use.</p>		
SITE INSPECTION:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	DATE	9 June 2023
AERIAL / SITE PHOTOS			



AERIAL IMAGE – SEPTEMBER 2022



STREET VIEW – VIEW FROM GIBNEY STREET



STREET VIEW – VIEW FROM GIFFORD ROAD

PROPERTY / DEVELOPMENT HISTORY / ADVICE GIVEN ☐ Yes ☐ No

Planning Approvals

DA15/0134 Additions to a Grouped Dwelling to include an Alfresco Area

Building Approvals

BAU15/0343 Building Application Uncertified : Lot 1 Hse 17A Gibney Street Dunsborough, Alfresco
Lic. 434 Duplex House

Previous Advice/Comments

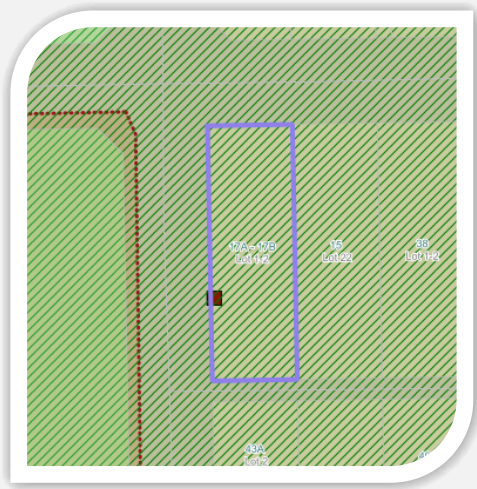
Nil registered at the time of assessment.

SCHEME ASSESSMENT

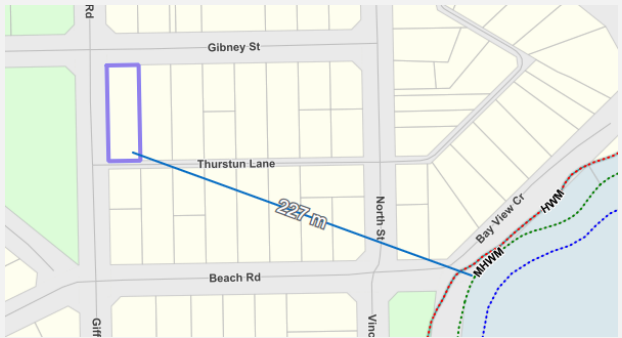
Zoning	Residential R15	Lot Area	604m ²
Existing land use	Grouped Dwelling	Proposed land use	No change.
Use Class Interpretation	<i>“Grouped Dwelling” A dwelling that is one of a group of two or more dwellings on the same lot such that no dwelling is placed wholly or partly vertically above or below another, except where special conditions of landscape or topography dictate otherwise, and includes a dwelling on a survey strata with common property.</i>		
Land use permissibility	<input type="checkbox"/> P <input checked="" type="checkbox"/> D <input type="checkbox"/> A <i>Note: D and A land uses require assessment against Objectives of the Zone below.</i> <i>Note: Exemptions to the Zoning Table under clause 3.5.3 of the Scheme for lots less than 4,000sq,</i>		

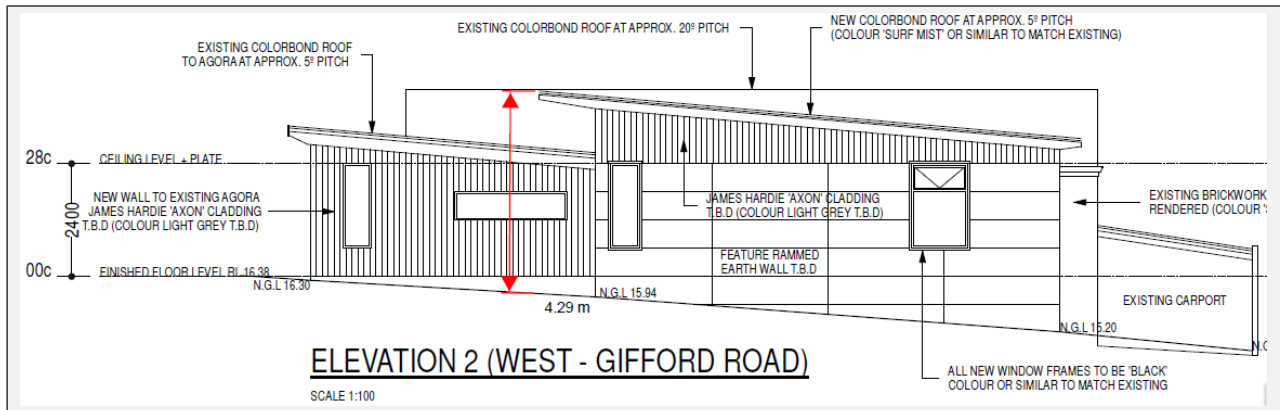
OTHER MATTERS INCLUDING NOTIFICATIONS

Is there an additional use?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Is the lot included in a special control area?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Special Character Area		
Is the site located within a Structure Plan/DGP/LDP area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Review	Name:	
Is the site a designated contaminated site?	<input type="checkbox"/> Yes <input type="checkbox"/> No		
Is the site/a portion of the site a declared Environmentally Sensitive Area (ESA)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

	
	<p>The subject site is identified an Environmentally Sensitive Area (ESA), and Threatened and Priority Fauna.</p> <p>ADVICE NOTE</p>
Is the site subject to Easements	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is the site within the BOB/Vasse Dunsborough Alignment	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Is a S.70A notification required?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are there any contributions payable?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

LOCAL PLANNING SCHEME	
Local Planning Scheme applicable?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Relevant Clauses	Complies (YES/NO) & Comments
3.2 ZONE OBJECTIVES	
<p>The objectives of each zone are as follows –</p> <p>Residential</p> <ul style="list-style-type: none"> a. To provide for a range of housing and a choice of residential densities to meet the needs of the community. b. To facilitate and encourage high quality design, built form and streetscapes throughout residential areas. c. To provide for a range of non-residential uses, which are compatible with and complementary to residential development. 	<p>SATISFIED.</p> <p>(a) The proposed alterations and additions to the existing grouped dwelling provide additional liveable floor area to meet the needs of the occupants on the site.</p> <p>The development is consistent with the objectives of the Residential zone.</p> <p>(b) The siting and layout of the proposed alterations and additions is considered an appropriate design response to the site constraints, natural topography and features of the site.</p> <p>The design and built form of the proposal is appropriate to its contextual setting, and retains the desired urban form and coastal character of the area.</p> <p>(c) N/A – residential use.</p>
4.8 HEIGHT OF BUILDINGS	
<p>4.8 HEIGHT OF BUILDINGS</p> <p>4.8.1 A person must not erect any building that –</p> <ul style="list-style-type: none"> (a) contains more than two storeys or exceeds a height of 9 metres where land is within 150 metres of the mean high water mark; or 	<p>N/A – PROVISIONS OF SCHEDULE 4 TAKE PRECEDENCE</p> <p><i>Refer Scheme cl 5.7 Special Character Area</i></p> <p><i>5.7.3 Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special Character area, those objectives, provisions and/or controls act in conjunction with the other provisions of</i></p>

(b) contains more than three storeys or exceeds a height of 12 metres where land is more than 150 metres from the mean high water mark, except where otherwise provided for in the Scheme.	<i>this Scheme relevant to that area with the exception that the provisions of Schedule 4 will take precedence over any other provisions of this Scheme.</i>
5.7 SPECIAL CHARACTER AREA	
5.7.1 Development within the Special Character Area requires the prior development approval of the local government.	NOTED. Development approval sought via this application.
5.7.2 The local government may devise development objectives, provisions and/or controls to reinforce, retain or change the characteristics, form and nature of a designated Special Character area, with such objectives, provisions and/or controls being specified in Schedule 4.	NOTED. Schedule 4 and LPP 3.4 Old Dunsborough Special Character Area provisions considered below in this assessment.
5.7.3 Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special Character area, those objectives, provisions and/or controls act in conjunction with the other provisions of this Scheme relevant to that area with the exception that the provisions of Schedule 4 will take precedence over any other provisions of this Scheme.	NOTED.
SCHEDULE 4 – SPECIAL CHARACTER AREAS	
Old Dunsborough Special Character Area (Sector 2)	
The following provisions shall apply to subdivision and development within the Old Dunsborough Special Character Area as identified on the Scheme map – (a) Notwithstanding any other provision of the Scheme, grouped dwellings shall be developed at a density not greater than R25.	NOTED. Development application submitted for alterations/additions to an existing grouped dwelling.
(b) Buildings shall be restricted to a maximum height of 7.5 metres (measured perpendicularly from the highest point of the building to the natural ground level) for land within 150 metres of the mean High Water Mark, and 9.0 metres elsewhere.	SATISFIED. Land >150m from MHWM. Single storey addition to existing grouped dwelling. Permitted maximum building height = 9.0m. Proposed building height = approx. 4.3m above NGL 



<p>(c) Primary street setbacks shall be a minimum of 10.0 metres in Policy Area 1 pursuant to the Old Dunsborough Special Character Area Policy (i.e. generally lots fronting the foreshore from Vincent Street, Bayview Crescent and Hurford Street). Elsewhere, the primary street setback shall be a minimum of 7.5 metres unless adjoining development and/or site conditions indicate that a minimum setback of 6.0 metres would be appropriate.</p>	<p>SATISFIED.</p> <p>Sector 2.</p> <p>The original dwelling design (Lic. 434) provided front door addressing Gifford Road, therefore defined as the 'primary street'.</p> <p>The proposed development provides a new entry door and sidelight addressing Gibney Street. Therefore Gibney Street is considered the 'primary street' for this assessment.</p> <p>Required primary street setback = 7.5m Provided = approx. 9.8m (measured on pdf)</p>
<p>(d) Amalgamation of lots to create grouped dwelling sites will not generally be supported in order to retain, as far as possible, the single residential scale and character of development in the area.</p>	<p>N/A</p>

LOCAL PLANNING POLICY	
Relevant Policies	Complies (YES/NO) & Comments
3.1 – REFLECTIVE BUILDING MATERIALS	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
	<p>Roof colour to match existing. Wall colour nominated 'light grey'. The development does not include Zinalume.</p> <p>Advice Note</p>
3.4 – OLD DUNSBOROUGH SPECIAL CHARACTER AREA	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
<p>2.7.1 Area 2</p> <p>This Area comprises land fronting Gifford Road, from Lot 32 (southern boundary) to Lot 22 (corner of Adelaide Road). This Area carries the majority of traffic along Gifford Road. The majority of dwellings front Gifford Road and are highly visible. The housing styles along the street consist of a number of different eras of development, which has contributed to a loss of character within the Area. Single residential development has been converted to accommodate some commercial development in this area which assists in maintaining the residential theme of the area.</p>	
<p>4.1 Application of Controls</p> <p>In assessing development proposals, the City will consider those matters specified in the City of Busselton Town Planning Scheme, these provisions and other relevant Planning Policies.</p> <p>The City may refuse a development or land use which does not comply with these controls and guidelines, or may seek to modify a non-complying application by imposing conditions.</p> <p>The City may also approve an application which does not comply with the guidelines where the control or standard is not appropriate or relevant in the particular circumstances. It is in</p>	<p>NOTED.</p> <p>All relevant <i>Scheme</i> and Policy provisions have been considered in this assessment.</p>

<p>this regard that the three Areas have been designated and their individual characteristics described.</p> <p>Although this flexibility exists, The City's general intent is for all controls and guidelines to apply evenly across the Special Character Area in order to encourage a high level of consistency in future development throughout the Area. Any significant relaxation of controls to be applied by The City to group housing development will be subject to consultation with the surrounding landowners of the development site.</p> <p>Notwithstanding the above, it is recognised that The City has only limited discretion in relation to the design and location of single dwellings on existing lots.</p>	
<p>4.2 Vegetation Controls</p> <p>a. As part of the development application process all significant vegetation shall be retained where practical. All existing vegetation shall be indicated on the submitted site plan. If the lot has been cleared by previous development or significant vegetation is to be removed as part of the proposed development, a landscape plan must be submitted as part of the development application.</p> <p>b. Landscaping/revegetation shall comprise relevant native species, <i>Agonis flexuosa</i>, <i>Melaleuca</i>, <i>Eucalyptus</i> species and with specific reference to Area 1 the planting of coastal shrubs. The use of very tall and/or imposing tree species should be carefully considered and shall be limited to appropriate sites and locations.</p> <p>c. No trees or substantial vegetation shall be felled or removed from the land except with the written approval of The City which shall only be granted where:</p> <ol style="list-style-type: none"> It is required for approved development works; Trees are dead, diseased or dangerous. <p>d. Detailed specifications on landscaping for front setback areas and road verges shall be required by The City. This should include:</p> <ol style="list-style-type: none"> Visual relief, softening of built form, shade and screening. Tree planting utilised to enhance the streetscape and sited for visual relief of built form. 	<p>SATISFIED.</p> <p>a) The siting of the proposed alterations/additions will require the removal of existing landscaping (native garden) and driveway hardstand. No removal of significant vegetation associated with the development.</p> <p>b) N/A – proposed alterations/additions to existing dwelling with established landscaping. Reasonably assumed that the existing gardens will be retained, and further landscaping/revegetation will not be required.</p> <p>c) N/A – no trees or substantial vegetation to be felled.</p> <p>d) N/A – landscaping within the front setback existing.</p>
<p>4.3 Site Controls</p> <p>a. Developments shall adopt setbacks that are in harmony with adjoining and adjacent land and which will not detract from the existing streetscape.</p> <ol style="list-style-type: none"> Area 1 to retain the traditional front setback of 10 metres. Front setbacks in Areas 2 & 3 shall reflect the setbacks of adjoining and nearby development and are to be generally 7.5 metres with a minimum of 6 metres where appropriate, ie. only where site conditions indicate. <p>b. Duplex development will be subject to The City approval and if permitted shall be designed of materials that blend with the surrounds and be adequately screened with vegetation so as not to detract from existing streetscape.</p> <p>c. No fencing or other construction shall be permitted in the front setback, unless specifically approved by The City. Notwithstanding the above, native vegetation, which may be in association with open style fencing, is encouraged</p>	<p>SATISFIED.</p> <p>a) Front setbacks satisfy <i>Scheme</i> Schedule 4 cl 3(c).</p> <p>b) Grouped dwelling development (duplex) existing. The design and materials of the alterations/additions blend with the surrounds and will be screened by well-established vegetation within the primary street setback area, and landscaping within the secondary street road reserve.</p> <p>c) N/A – no proposed fencing.</p> <p>d) N/A – letterbox existing.</p> <p>e) N/A – carport existing. Noted street view indicates a screen gate installed to front of carport.</p> <p>f) N/A – crossover existing.</p> <p>g) N/A – power existing (overhead power lines).</p>

<p>rather than solid fencing for purposes of privacy and security.</p> <p>d. Letterboxes shall be a maximum height of 1 metre and shall be as unobtrusive as possible, with preferable construction materials being timber, metal and other appropriate materials to blend with streetscape.</p> <p>e. Undercover carports open to the street are encouraged rather than enclosed garages in order to retain the existing amenity of the Area. Where approval is sought for an enclosed garage for security purposes, the design and location on-site shall have regard to the existing streetscape and shall incorporate appropriate vegetation screening.</p> <p>f. Crossovers shall be constructed of materials consistent with an earthy tone such as crushed gravel.</p> <p>g. Future development shall be provided with underground power where required.</p>	
<p>4.4 Building Controls</p> <p>a. Residential development density is to be consistent with the Town Planning Scheme which is predominantly R15.</p> <p>b. Grouped dwellings shall be developed at a density of not greater than R25, notwithstanding the provisions of the District Town Planning Scheme.</p> <p>c. Buildings shall be designed and constructed to ensure compatibility and harmony in materials, colours, appearance and overall theme of development consistent with the character of the area.</p> <p>d. Buildings shall be restricted to a maximum height from natural ground level of 7.5 metres at any point if within 150 metres of the high water mark, and 9.0 metres elsewhere.</p> <p>e. Verandahs and balconies to be encouraged in balustrade style consistent with existing character and to reduce the effects of bulk of taller and new buildings.</p>	<p>SATISFIED.</p> <p>a) The proposed alterations/additions are consistent with relevant <i>Scheme</i> provisions and the deemed-to-comply requirements of the Residential Design Codes (R-Codes) applicable to a R15 building density.</p> <p>b) N/A – grouped dwellings existing.</p> <p>c) The nominated materials incorporate rammed earth and light weight external wall cladding (James Hardie Axon). The natural colour and texture of rammed earth will harmonise with the environment, and the 'light grey' colour to external wall cladding is in keeping with the established context of the locality. It is considered that the design, style, form and appearance of the alterations and additions is well-integrated with the existing development, and will positively contribute to the unique character of Old Dunsborough.</p> <p>d) Single storey alterations/additions. The proposed building height <9m, satisfies <i>Scheme</i> provisions.</p> <p>e) Verandah (existing) and Agora (alfresco) facing the primary street (Gibney Street), and ameliorate building bulk impact of the overall development. No balustrading.</p>
<p>4.5 Parking Controls</p> <p>a. Verge parking is discouraged, with all future development to contain parking within lot boundaries.</p>	<p>SATISFIED.</p> <p>Parking contained within the lot.</p>
<p>6.1 – STORMWATER MANAGEMENT</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A</p>
<p>All other development on a lot less than 4,000m²</p> <p>Stormwater runoff is retained for use and/or infiltration within the lot at a rate of 1m³ of storage per 40m² of Impervious Surfaces to accommodate 5 Year ARI. Where an approved urban water management plan is in place stormwater management is to be in accordance with that plan</p>	<p>NOTED.</p> <p>Stormwater calculations not provided.</p> <p>Condition on Approval – 1m³ per 40m²</p>

BUSHFIRE	
Is the site bushfire prone?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
What is the BAL rating?	<p>EXEMPT FROM SPP 3.7.</p> <p>Refer to the Guidelines cl. 2.6 Discretionary Decision Making:</p>

	<p><i>Decision-makers can apply exemptions from the requirements of SPP 3.7 and these Guidelines where there is no intensification of land-use, and/or the proposal is not increasing the bushfire threat. Intensification of land use and/or development may include planning proposals that:</i></p> <p><i>a) result in an increase of visitors, residents or employees; or</i></p> <p><i>b) involve the occupation of employees on site for more than three hours at a time for multiple periods during a week.</i></p> <p><i>Examples of when exemptions may be considered by a decision-maker include, but are not limited to:</i></p> <ul style="list-style-type: none"> <i>A development application for minor renovations, alterations, improvements or repair of a building, and incidental uses, including, but not limited to outbuildings, unenclosed swimming pools, fences, unenclosed carports and patios, and storage sheds.</i> <p>Officer Comment</p> <p>Under the <i>Building Regulations 2012</i>, the alterations/additions is considered 'excluded building work' and not required to be constructed to bushfire standards (<i>AS 3959 Construction of buildings in bushfire prone areas</i>).</p> <p>On the basis that:-</p> <p>(i) the works is exempt under the Building Regulations;</p> <p>(ii) there is no intensification of land-use; and</p> <p>(iii) the proposal is not increasing the bushfire threat;</p> <p>Paul Needham, Jo Wilson and Andrew Watts were satisfied that the development application for alterations/additions to the existing grouped dwelling is considered exempt from the requirements of SPP 3.7 and the Guidelines.</p>
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REFERRALS	
INTERNAL	<p><u>Building Services</u></p> <ul style="list-style-type: none"> As the dwelling was constructed in 1987 prior to any bushfire requirements the building surveyor can in fact look at using the exemption in the Building Regulations under Reg 31BA. (See below under excluded building work)

	<p>31BA. Applicable building standards for buildings and incidental structures in bush fire prone areas (s. 3, 19(3), 37(1) and (2), 57(3), 49(b), 51(2) and (3))</p> <p>(1A) In this regulation —</p> <p>bush fire standard means —</p> <p>(a) a bush fire performance requirement; or</p> <p>(b) to the extent not covered by paragraph (a), a requirement imposed under any written law that is a requirement relating to —</p> <p>(i) a technical aspect of the construction of a building or incidental structure; and</p> <p>(ii) bush fires;</p> <p>Note for this definition:</p> <p>Paragraph (b) includes, for example, requirements imposed under the <i>Building Regulations 1989</i>.</p> <p>excluded building work means building work that is the renovation, alteration, extension, improvement or repair of a relevant building if —</p> <p>(a) the estimated value of the building work is less than \$20 000; or</p> <p>(b) the renovation, alteration, extension, improvement or repair does not increase the risk of ignition from bushfire attack for the relevant building;</p> <ul style="list-style-type: none"> This however is dependent on the Building Surveyor that assesses the proposal determining that it will not increase the risk of ignition to the original dwelling. This can be achieved by either building the additions away from the fire risk (the opposite side), or the applicant can use more fire resistant external building materials than that of the existing structure. We have used this on applications in past where building to a bushfire standard is of no value due to the fact that the rest of the dwelling will still be very vulnerable to bushfire attack. <p>Officer Comment</p> <p>Noted. As the works may be considered exempt under the Building Regulations, the development will be considered exempt under the Planning Regulations – refer previous comments.</p>
EXTERNAL	N/A
OTHER	N/A

ADVERTISING AND NEIGHBOUR CONSULTATION

Advertising Required?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Reasons for advertising?	N/A
Justification if not required:	The development satisfies relevant <i>Scheme</i> , policy and R-Code provisions, and will not negatively impact the amenity of adjoining properties and/or the streetscape. Assessing officer considered the proposed alterations/additions exempt from the requirement to advertise.

SPP 7.3 - RESIDENTIAL DESIGN CODES V1

5.1 CONTEXT

5.1.1 SITE AREA

Deemed to Comply Provision	DTC	Proposed	Complies (YES/NO)
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C1.1	Development which complies with the dwelling type and site area requirements set out in Table 1 and the following provisions.		Existing.	N/A
C1.2 - C1.4...	Please refer to R-Code document for full clause details.			
5.1.2 STREET SETBACKS				
C2.1	Buildings, excluding carports, unenclosed porches, balconies, verandahs or equivalent , set back from the primary street boundary i. In accordance with Table 1. ii. Corresponding to the average setback of existing dwellings on each adjacent property fronting the same street. iii. Reduced by up to 50% provided the area of any building, including a garage, encroaching into the setback area is compensated for in open area. iv. In the case of areas coded R15 or higher, the street setback may be reduced to 2.5, or 1.5m to the porch, balcony, verandah or equivalent, where... • Refer to R-Code document for full clause details. v. To provide for registered easements for essential services.		Refer <i>Scheme</i> assessment.	YES
C2.2 & C2.3	Buildings setback from the secondary street and corner truncation in accordance with Table 1.	Min: 1.5m	Provided = 2.15m Gifford Road considered 'secondary street'.	YES
C2.4	Unenclosed porch, balcony, verandah or equivalent may project into the primary street setback area* to a maximum of half the required primary street setback without applying the compensating area. * Subject to BCA requirements			N/A
5.1.3 LOT BOUNDARY SETBACK – N/A (additions not adjacent any lot boundaries)				
Deemed to Comply Provision			Proposed	
C3.1	Buildings which are set back in accordance with the following provisions, subject to any additional measures in other elements of the R-Codes: i. Buildings set back from lot boundaries in accordance with Table 1, and Tables 2a and 2b (refer to Figure Series 3 and 4); ii. For patios, verandahs or equivalent structures , the lot boundary setbacks in Table 1 and Tables 2a and 2b may be reduced to nil to the posts where the structure*: a. is not more than 10m in length and 2.7m in height; b. is located behind the primary street setback; and c. has eaves, gutters and roofs set back at least 450mm from the lot boundary; * Note: There are separate building code requirements which may also apply iii-vi Refer to R-Code document for full clause details.		Refer tables below	
5.1.4 C4 OPEN SPACE				
Deemed to Comply Provision		Proposed		Complies (YES/NO)
Open Space (%) as per Table 1	50%	67.2% Site area 604m ² Floor area Existing 188.67m ² Proposed 59.55m ² Open space -50.00m ²		YES

		TOTAL	198.22m²	
		Site coverage	32.8%	
		Open space	67.2%	
<u>AREAS (NEW)</u>				
EXISTING RESIDENCE	111.66m ²			
EXISTING VERANDAH	27.65m ²			
EXISTING AGORA	31.21m ²	<u>AREAS (NEW)</u>		
EXISTING CARPORT	18.15m ²	NEW ADDITION	53.61m ²	
		NEW LINK	5.94m ²	
<u>TOTAL EXISTING FLOOR AREA</u>	<u>188.67m²</u>	<u>TOTAL NEW FLOOR AREA</u>	<u>59.55m²</u>	

5.2 STREETSCAPE

5.2.1 SETBACK OF GARAGES AND CARPORTS – N/A			
5.2.2 GARAGE WIDTH – N/A			
5.2.3 STREET SURVEILLANCE			
C3.1	Street elevation of the dwelling to address the street with clearly definable entry points visible and accessed from the street.	The alterations/additions provide an attractive setting to the streetscape, and new entry door adjacent the newly defined ‘primary street’. Considered the front door is sufficiently visible to the street, and the inclusion of strategic landscaping and paths will assist to clearly define the entry point.	YES
C3.2	One major opening from a habitable room of the dwelling faces the street and pedestrian or vehicular approach to the dwelling	Major openings within the original and new building satisfy street surveillance.	YES
C3.3	For battleaxe lots or sites with internal driveway access, at least one major opening from a habitable room to face the approach to the dwelling.	N/A	N/A
5.2.4 STREET WALLS AND FENCES – N/A			
5.2.5 SIGHT LINES – N/A			

5.3 SITE PLANNING AND DESIGN

5.3.1 OUTDOOR LIVING AREAS – N/A																				
5.3.2 LANDSCAPING – N/A																				
5.3.3 PARKING & 5.3.4 DESIGN OF PARKING SPACES																				
Deemed to Comply Provision		Provided	Complies (YES/NO)																	
C3.1 No. required onsite car parking bays		Existing single carport and driveway can accommodate two (2) vehicles parked in a tandem configuration. In addition, street view indicates an existing driveway is constructed and accessible from Gibney Street which provides additional on-site car parking.	YES																	
<table><tr><td rowspan="2">Type of dwelling</td><td colspan="2">Car parking spaces</td></tr><tr><td>Location A</td><td>Location B</td></tr><tr><td>1 bedroom dwelling</td><td>1</td><td>1</td></tr><tr><td>2 + bedroom dwelling</td><td>1</td><td>2</td></tr><tr><td>Aged persons' dwelling</td><td>1</td><td>1</td></tr><tr><td>Ancillary dwelling</td><td>nil</td><td>1</td></tr></table>				Type of dwelling	Car parking spaces		Location A	Location B	1 bedroom dwelling	1	1	2 + bedroom dwelling	1	2	Aged persons' dwelling	1	1	Ancillary dwelling	nil	1
Type of dwelling	Car parking spaces																			
	Location A			Location B																
1 bedroom dwelling	1			1																
2 + bedroom dwelling	1			2																
Aged persons' dwelling	1	1																		
Ancillary dwelling	nil	1																		
Location A = within 250m of a high frequency bus route, or multiple bus routes that, if combined, have timed stops every 15 minutes during weekday peak periods (7 – 9am and 5 – 7pm), measured in a straight line from along any part of the bus route to any part of the lot.																				

Location B = includes all land that is not within Location A																
C4.1 Car parking spaces and manoeuvring areas designed and provided in accordance with AS2890.01 (as amended). <ul style="list-style-type: none">Standard double garage 5.4m x 5.4m	Existing driveway acceptable.	YES														
5.3.5 VEHICULAR ACCESS																
C5.1 Access to on-site car parking spaces to be provided: <ul style="list-style-type: none">From a communal street or RoW if available.From a secondary street where no Communal Street or RoW exists.From the primary street frontage where no secondary street, communal street or RoW exists.	Existing crossover location retained.	YES														
C5.2 & C5.3 Driveways to primary or secondary street provided as follows: <ul style="list-style-type: none">Min: 3mMax: 6m & 9m (aggregate)0.5m from side lot boundary6m from street corner.Aligned at right angles to the street alignment.Located so as to avoid street trees, or where this is unavoidable, the street trees replaced at the applicants expense or re-planting arrangements approved.Adequately paved and drained.	Existing driveway retained.	YES														
C5.4 Driveways designed for two way access to enter street in forward Gear where: <ul style="list-style-type: none">Driveway serves 5 or more dwellings.Distance from a car space to street is 15m or more. <ul style="list-style-type: none">The street to which it connects is designated as a primary distributor or integrator arterial road.		N/A														
5.3.7 SITE WORKS																
C7.1 & C7.2 Retaining walls, fill and excavation: <ul style="list-style-type: none">Maximum of 0.5m of fill or excavation within street setback, except to provide access for pedestrian, universal and/or vehicle access, drainage works or natural light to the dwelling.Retaining walls, fill and excavation within the site and behind the required street setback to comply with Table 4: <div><p>Table 4 – Setback of site works and retaining walls</p><table><tr><th>Height of site works and/or retaining walls</th><th>Required minimum setback</th></tr><tr><td>0.5m or less</td><td>0m</td></tr><tr><td>1m</td><td>1m</td></tr><tr><td>1.5m</td><td>1.5m</td></tr><tr><td>2m</td><td>2m</td></tr><tr><td>2.5m</td><td>2.5m</td></tr><tr><td>3m</td><td>3m</td></tr></table></div>	Height of site works and/or retaining walls	Required minimum setback	0.5m or less	0m	1m	1m	1.5m	1.5m	2m	2m	2.5m	2.5m	3m	3m	No proposed retaining walls associated with the development. Sloping site – brick base (rammed earth) construction to achieve finished floor level (FFL) to match existing.	YES
Height of site works and/or retaining walls	Required minimum setback															
0.5m or less	0m															
1m	1m															
1.5m	1.5m															
2m	2m															
2.5m	2.5m															
3m	3m															
C7.3 Retaining walls that result in land which can be effectively used for the benefit of residents and do not detrimentally affect adjoining properties and are designed, engineered and landscaped having due regard to clauses 5.3.7 and 5.4.1.																
5.3.9 STORMWATER MANAGEMENT																
Deemed to Comply Provision	Proposed	Complies (YES/NO)														
C9 Retention of stormwater on-site	Refer previous comments.															

Infill - 1m3 per 40m ² of impervious area	
--	--

5.4 BUILDING DESIGN

5.4.1 C1.1(i) PRIVACY		
Deemed to Comply Provision	Proposed	Complies (YES/NO)
	No privacy or overlooking issues – major openings associated with the alterations/additions address Gibney Street and Gifford Road.	YES
5.4.2 SOLAR ACCESS FOR ADJOINING SITES		
C2.1 Overshadowing - R25 and lower 25%, R30 – R40 35%, R-AC or above R40 50% of adjoining site area.	Design, orientation and associated setbacks of the proposed alterations / additions will not impact solar access to adjoining property(s).	YES
5.4.4 EXTERNAL FIXTURES, UTILITIES & FACILITIES – N/A		

CLAUSE 67 – MATTERS TO BE CONSIDERED:	
Matters to be Considered	Comment
The aims and provisions of this Scheme and any other local planning scheme operating within the Scheme area;	The proposal is considered to satisfy the aims and provisions of the Scheme, specifically the objectives of the 'Residential' zone and the development standards of the ODSCA established by Schedule 4.
The requirements of orderly and proper planning including any proposed local planning scheme or amendment to this Scheme that has been advertised under the Planning and Development (Local Planning Schemes) Regulations 2015 or any other proposed planning instrument that the local government is seriously considering adopting or approving;	Approval of the proposal is considered consistent with orderly and proper planning.
Any local planning policy for the Scheme area;	The development meets the standards contained within the relevant local planning policies, being Local Planning Policy 3.4 – Old Dunsborough Special Character Area (LPP 3.4).
The compatibility of the development with its setting, including — (i) The compatibility of the development with the desired future character of its setting; and (ii) The relationship of the development to development on adjoining land or on other land in the locality, including but not limited to, the likely effect of the height, bulk, scale, orientation and appearance of the development;	The bulk and scale of the development is considered consistent with the 'Residential' zone, and compatible with the urban form and coast character of the area.
The amenity of the locality including the following — (i) Environmental impacts of the development; (ii) The character of the locality; (iii) Social impacts of the development;	The development satisfies the elements of the ODSCA policy and is of a scale consistent with the 'Residential' zone. The style and form of the development is in keeping with the character of the locality.
The likely effect of the development on the natural environment or water resources and any means that are proposed to protect or to mitigate impacts on the natural environment or water resource;	The development will not result in negative impact to the natural environment or removal of significant vegetation.
Whether adequate provision has been made for the landscaping of the land to which the application relates and	Landscaped gardens exist on the site.

whether any trees or other vegetation on the land should be preserved;	
The suitability of the land for the development taking into account the possible risk of flooding, tidal inundation, subsidence, landslip, bush fire, soil erosion, land degradation, or any other risk;	The land is suitable for development.
Any submissions received on the application	The application was not advertised.

FURTHER COMMENTS

The application has been brought to Council due to recent changes in officer delegations.

Following assessment against the relevant elements of the planning framework, the development is considered suitable for approval subject to conditions.

NOTE – INCLUDE ADVICE NOTE RE STRATA DEVELOPMENT

You should be aware that specific by-laws or Management Statements may contain requirements for individual strata owners to obtain Strata Body Corporate consent for any, or particular types of, development. It is the individual strata owner's responsibility to ensure any such consent, if required, is obtained. Any approvals that may be issued by the City do not overcome the need for compliance under strata by-law approval requirements, however, the City will not involve itself in this issue.

WHAT'S UP
IN YOUR
WORLD?




City of Busselton
Geographie Bay

Where environment, lifestyle, opportunity meet

The Wadandi Bibulmun people are the traditional custodians, and have lived and breathed off this ancient land for over 40,000 years. It was and continues to be a place of plenty. The Aboriginal name for Busselton is Undalup after the warrior and leader Undal.

The Wadandi people - salt water people, are closely linked to the ocean. They have been hunting and gathering bush foods between the coastal strip, waterways and forests for thousands of years. It is an important part of their culture as stewards of country and they have strong spiritual bonds with it.

The City of Busselton acknowledges the Wadandi people as the traditional custodians of the land on which we live, play and work. We pay our respects to Elders, past, present and emerging.



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Interviews concerns/
discussion points

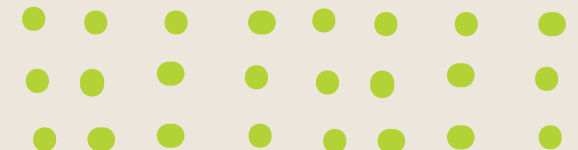
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Provide opportunities

Encourage Leadership

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Message from the Mayor

The Youth Plan 2023 – 2027 is the City of Busselton's inaugural youth plan for young people who live, study, work, volunteer or spend time in our community.

This Plan provides strategic direction on how the City will support local young people over the next 4 years. The City acknowledges that our young people are a unique group, requiring tailored planning and consideration as they can face specific challenges. They also have unique skills and strengths, and an aim of this Plan is to nurture and develop these so that we can contribute to our young people thriving and reaching their full potential. The Plan includes goals and actions across 3 priority areas that respond to the current and emerging needs of our young people thriving and reaching their full potential.

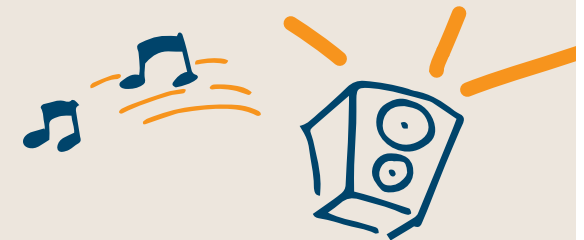
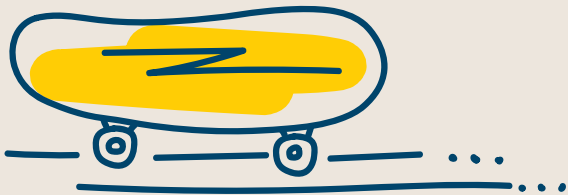
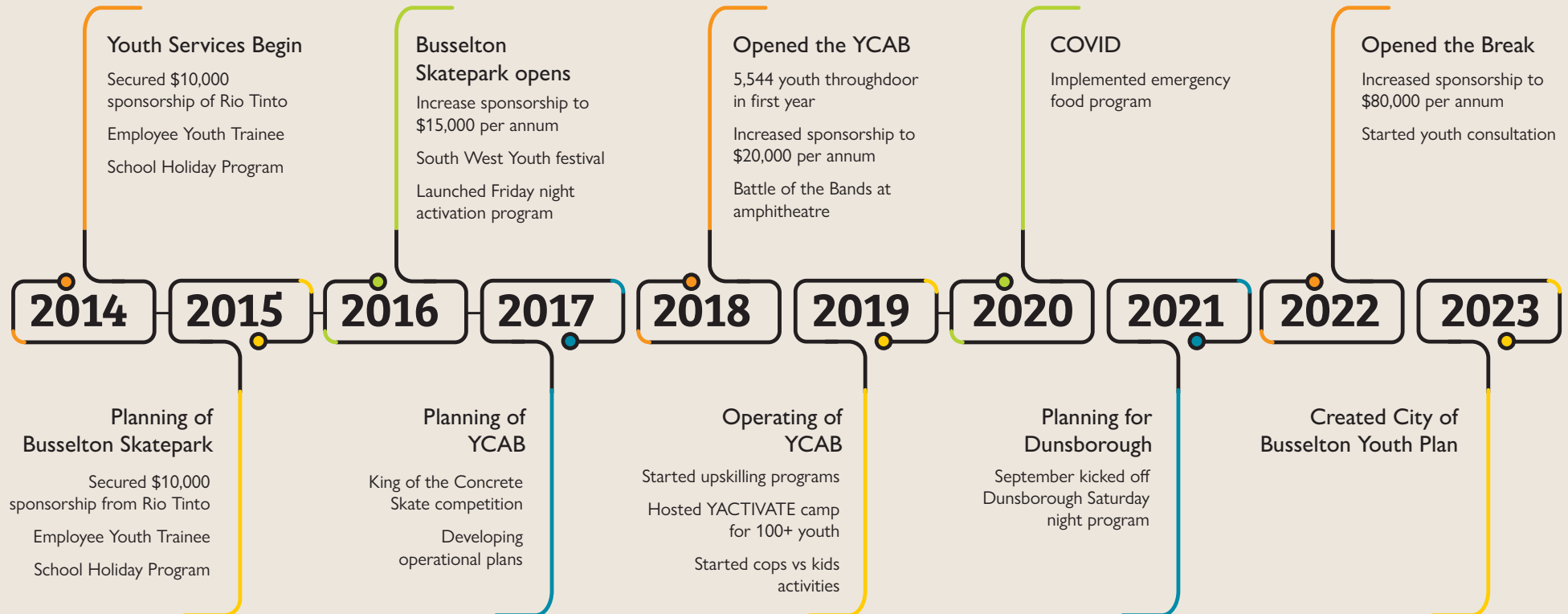
Council recognise young people are an integral part of our community, the growth of our region and our future. It is imperative that Council continue to tap into their enthusiasm, optimism, innovation and creativity to help shape our City. This Plan will ensure our young people are involved in decisions that impact on their lives, that they are supported to actively participate in community life, encouraged to develop their identity and independence, and assisted to take responsibility for themselves.

Grant Henley
Mayor

Youth Services vision

To inspire, engage and empower youth to become resilient valued community members by providing them spaces to thrive, opportunities, health and wellbeing support, and mentoring

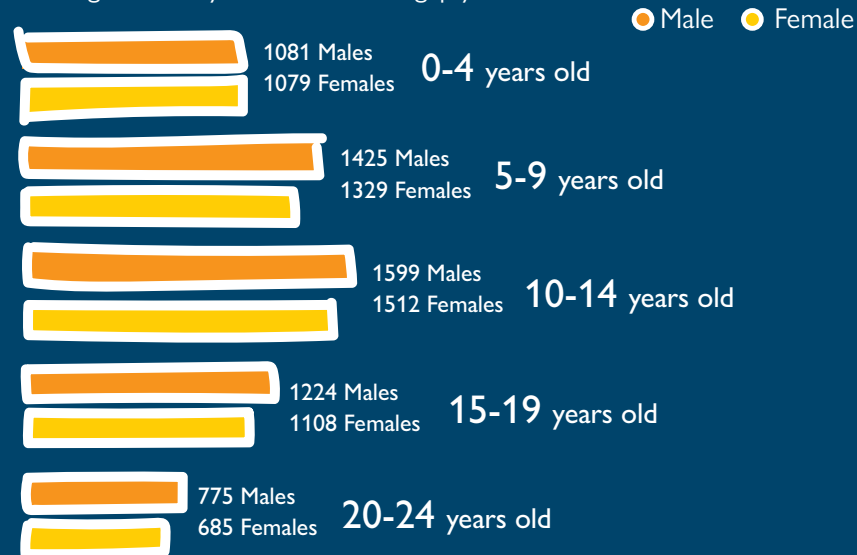
History of youth services



Demographics of Busselton

2021 Total Population for 0 – 24 year olds, 11,817

Young Adults migration patterns: Local Busselton young adults often relocate to commence higher education, enter the workforce, housing availability, travel or take a gap year



15-19 year olds

79% are fully engaged with a combination of study and work

33% Study full time and work part time

The youth plan has a life span of
4 years 2023 - 2027

Emerging issues

What young people are most concerned about



Cost of living



Mental health



Climate change

Emerging issues

For youth organisations



Youth housing



Transport



Working collaboration



Disengagement

Education and Training Options

11

Primary
Schools

Busselton Primary School | West Busselton Primary
Vasse Primary | Geographe Primary School
Cornerstone Christian College (Busselton and Dunsborough campuses)
St Mary MacKillop Primary | Georgiana Molloy Anglican School
Dunsborough Primary School | Our Lady of the Cape Primary School
Yallingup Steiner School

6

Secondary
Schools

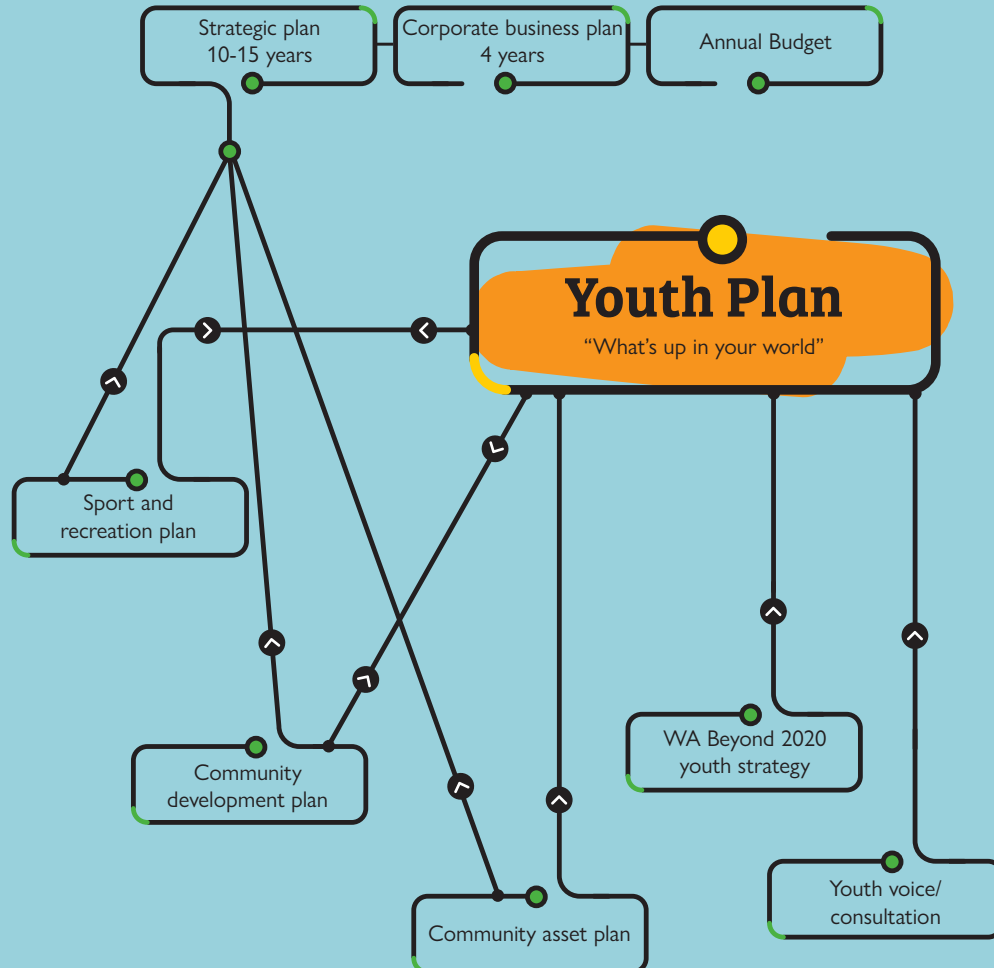
Busselton Senior High School
Cape Naturaliste College
St Mary MacKillop
Cornerstone Christian College
Georgiana Molloy Anglican School
Bunbury Regional Care College

1

Higher
Education

South Regional TAFE

Links to Other Plans

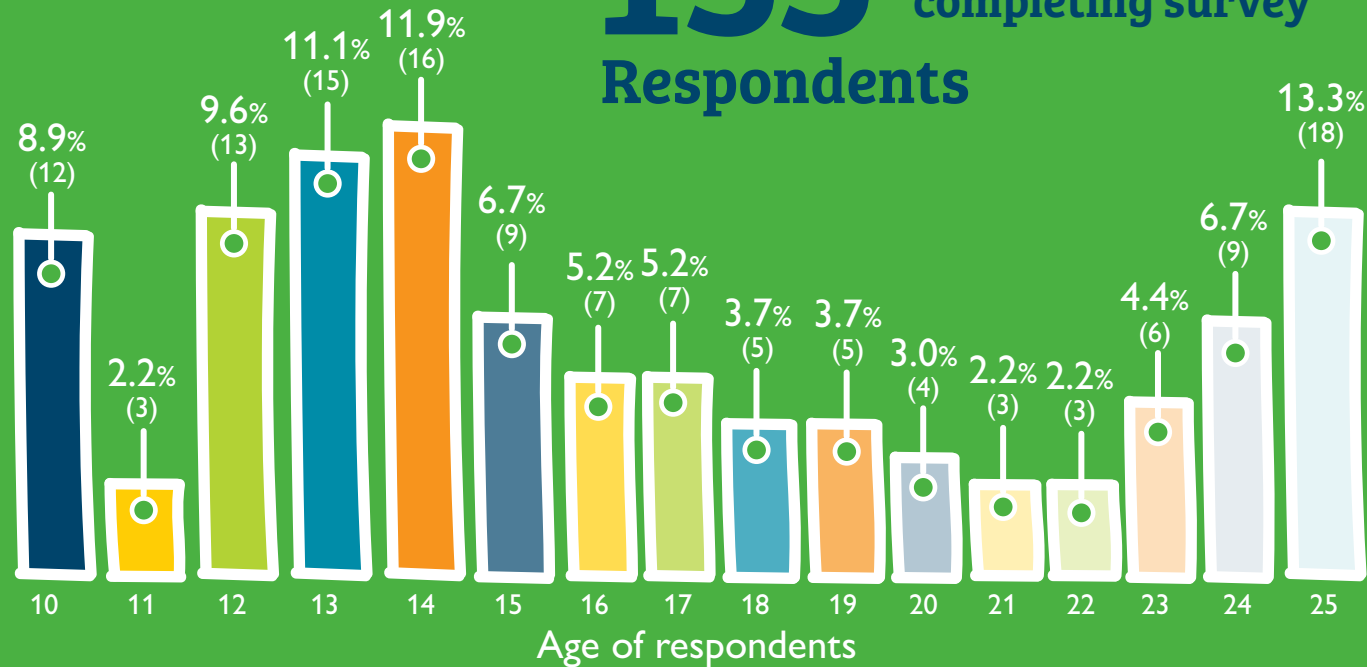


Community consultation process



Survey

135 Age of people
completing survey
Respondents



Currently studying at the following places

29
Primary School

53
High School

1
TAFE

6
Traineeship or
Apprenticeship

27
University



19
None of the
Above

2
Other

Young people identified as:

20
Aboriginal
or Torres Strait
Islander

14
Culturally
diverse
background

9
LGBTQ+

5
Living with a
disability

4
carers- looking
after parents/
siblings etc.

7
mental health
concern

10
affiliated with
a religion

2
homeless

Top 4 things young people want to do after graduating

1

Go to university

2

Stay in Busselton

3

Unsure

4

Travel / gap year

Barriers/ challenges to obtain employment



Transport



Age



Getting ID, setting up bank account, applying for bank account



Need training or qualification



Experience

Things needed that could help gain employment



Skills and training



Workshops



Access to work experience



Information on traineeships/apprenticeships



Volunteering opportunities



Transport to and from work

How safe do young people feel living in the City of Busselton

42%

Completely safe

37%

Mostly safe

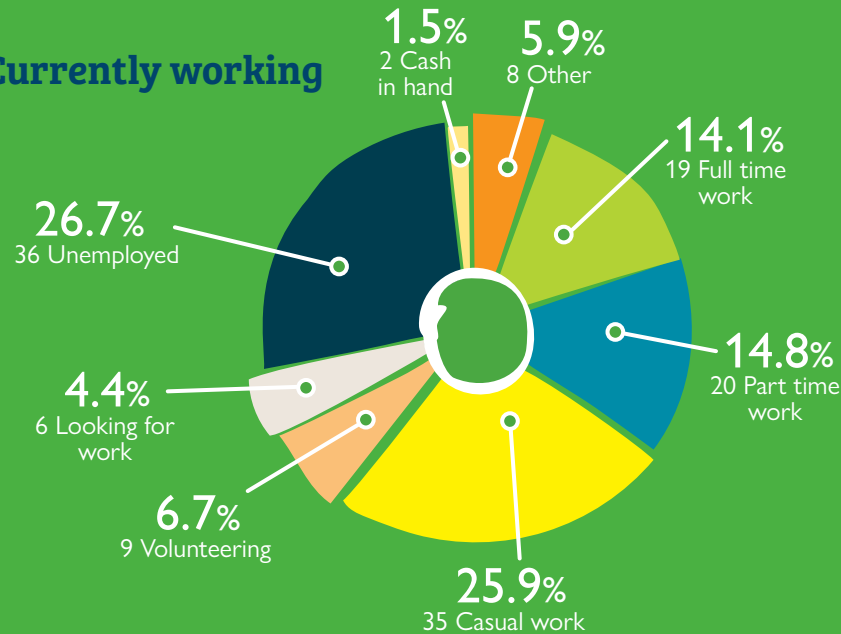
18%

Neutral

3%

Not safe

Currently working



Top 4

Leisure activities young people do outside of school or work

1

Team sport

2

Gym/fitness

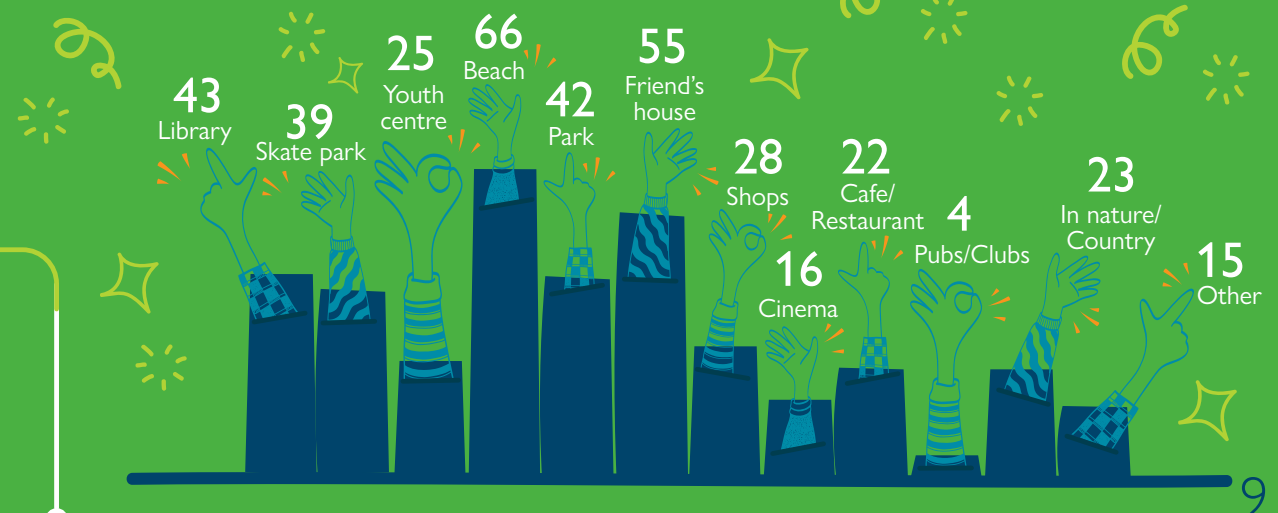
3

Gaming

4

Music

Where do you spend your free time



Top 4 Places young people seek help

1

Family or friends

2

Doctor or medical professional

3

Teacher or school counsellor

4

Other counselling services



Top 4 barriers preventing young people to seek help

1

Worried about what others will think of them

2

Prefer not to say

3

Don't know where to get help

4

Services are too expensive

Top

5 Worries



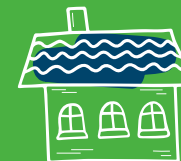
Relationship



Doing well at school or studies



Bullying cyber bullying



Finding somewhere to live



Climate change

At the Youth leadership forum

79
YOUTH

Attended and participated in:

Sport and recreation consultation | Saltwater consultation

Library consultation | YACWA - what young people want in the City of Busselton youth plan

What young people want



Sport and recreation



Skate parks are important place to connect



More indoor basketball courts

- indoor, half courts in parks



BMX track

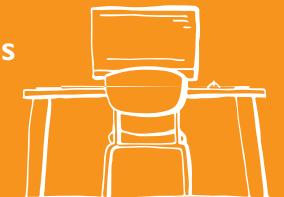
Spaces for youth to hangout like 'The Break'- youth space in Vasse



Library

After hour **events** | **Study** pods/ comfy **areas**

Gaming / VR / e-sports **activities** | New technology / **workshops**



Saltwater consultation

TED talks / speakers



Digital **technology** opportunities

Live music- bands/ DJ's

Escape rooms

Art/dance **workshops**

Youth takeover



YACWA



Housing affordability

- More focus on youth homelessness and affordable housing/shelter
- Affordable youth housing please



Environment



- Consultation with environment before development! And consent from our Aboriginal population
- Reducing plastic in ocean
- Too many tourists and lots of rubbish
- Expanding housing facilities into wildlife areas is not okay, since everyone is complaining about the decreasing population of our native animals
- More protection for the forests



Mental health support

- I want poor youth mental health to be highlighted
- More mental health support
- Raising awareness for mental health



Arts and things to do

- More street art
- Supporting local artists by filling up empty walls with street art
- More fun things to do
- I want people to know that there is not a lot of entertainment for adolescents



Improving infrastructure

- Get rid of the potholes! This was suggested multiple times
- Public transport improved
- Sporting infrastructure needs improvement

Other suggestions

- Vaping is becoming a big problem
- Build the airport!



Organisations stakeholder meeting

30 organisation participated and highlighted the following
Youth

- Youth housing highlighted as a significant issue
- Solutions for youth housing crisis
- Transport is a barrier for young peoples' needs not being met
- More staff to complete actions in services and the City
- Busselton reintroduces the Runaway Bus service, expanding the availability of transport for young people. Linking towns and housing areas to coastal facilities/locations in an affordable and accessible way
- Having services working together in a space friendly for young people



Interviews concerns/ discussion points

12 participated in one on one conversations
Youth

- If I don't have anywhere to live, I can't study, work or live here. Smaller house that are easy to maintain.
- People are embarrassed to talk about mental health, services are unavailable. Having wellness activities cheaply available would be ideal
- We want to be able to play sport at night- we need lights, more ovals, and more basketball courts. This gives young people something to do other than drinking.
- Transport is a barrier to going to school, getting a job accessing appointments
- Alternative options for school and education, school doesn't work for all. We need life skills too, how tax works, how to service a car, open a bank account.
- Need a one place we can access help, rather than 5 different agencies. Trying to understand what each service does is tricky and then trying to get to appointments is almost impossible. We need transport.

Key themes and priorities

Strategic Community Plan priorities 2021 - 2031

Lifestyle

A place that is relaxed, safe and friendly,
with services and facilities that support
healthy lifestyles

Opportunities

A vibrant City with diverse opportunities
and a prosperous economy

Leadership

A Council that connects with the
community and is accountable in its
decision making

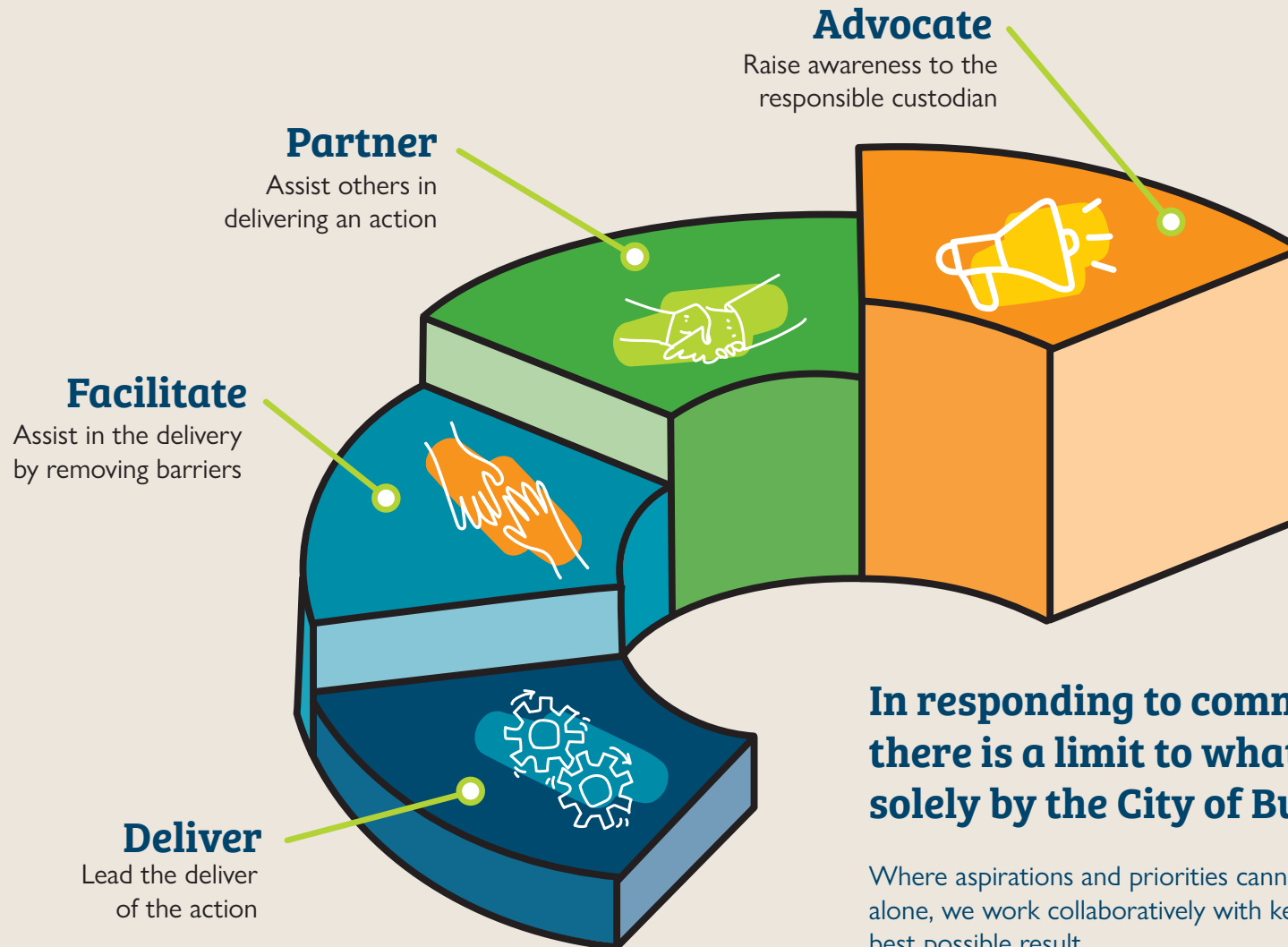
Youth Plan priorities 2023-2027

Improve young peoples lifestyles

Provide Opportunities

Encourage Leadership

Action of themes and priorities



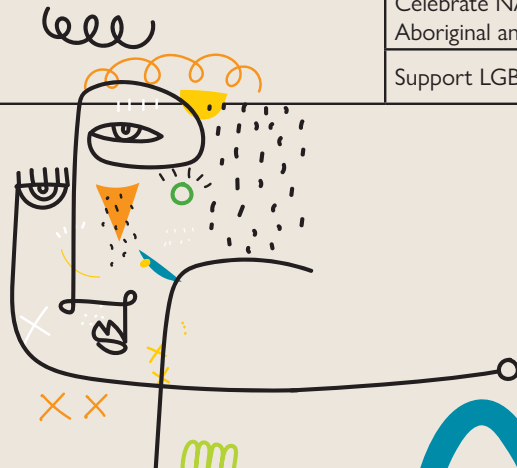
In responding to community aspirations there is a limit to what can be achieved solely by the City of Busselton.

Where aspirations and priorities cannot be achieved by the City alone, we work collaboratively with key partners to achieve the best possible result.

Key themes and priorities

Improve young peoples Lifestyle

	HOW WILL WE GET THERE	DELIVER	FACILITATE	PARTNER	ADVOCATE
Youth are engaged in health, wellbeing and caring for their environment	Workshops that encourage and promote health and wellbeing	✓		✓	✓
	Promote local health and wellness services				✓
	Promote sustainability and allow young people to have a voice on issues			✓	✓
Youth friendly places and spaces	Encourage events and facilities to cater for youth	✓			
	Explore needs for sport and recreation facilities		✓		
	Advocate for better youth accommodation options				✓
	Investigate need for youth services delivered in Vasse Region	✓			
Celebrate youth & culture	Celebrate youth culture	✓		✓	
	Encourage street art		✓	✓	
	Celebrate NAIDOC and reconciliation week by working with Aboriginal and or Torres Strait Islander people	✓		✓	
	Support LGBTQIA+ young people				✓



Key themes and priorities

Provide opportunities

	HOW WILL WE GET THERE	DELIVER	FACILITATE	PARTNER	ADVOCATE
Increase work and life skills	Subsidies training opportunities and study hubs for youth	✓			
	Assist youth at risk to obtain life documents	✓	✓		
Youth have access to transport that allows them to work and play	Support youth to overcome barriers in obtaining drivers licence	✓			
	Maintain and improve transport pathways particularly around alternative methods of transport	✓			✓
	Promote alternative methods of transport i.e. bike, skateboarding pathways				✓
Youth traineeships and pathways to employment	Advocate for more alternative education options				✓
	Host and promote youth traineeships		✓		



Key themes and priorities

Encourage Leadership

	HOW WILL WE GET THERE	DELIVER	FACILITATE	PARTNER	ADVOCATE
Encourage youth to have a voice on issues that affect them	Youth lead projects			✓	
	Encourage youth to participate in surveys and community consultation		✓		
	Host local youth leadership forum	✓			
Advocate for youth on State and Federal issues	Advocate for youth on state and federal issues				✓
	Co host the Cape to Cape youth network forum	✓	✓	✓	
Have skilled mentors and peers	Upskill youth services staff to work with youth and issues that affect them		✓		
	Upskill young people to be mental health advocates		✓	✓	



As at 4 September 2023

TENDER INFORMATION	COUNCIL OR CEO DECISION	STATUS
RFT11/23 CHURCHILL PARK TURF Requirements – suitable contractor for the installation and maintenance of turf to Churchill Park.	CEO Delegated Authority	Advertised 26 July 2023, closed 15 August 2023 (three submissions received).
RFT12/23 – JALBARRAGUP RD – WIDEN & RESEAL Requirements – a suitable contractor to perform road widening and sealing works on a portion of Jalbarragup Road, Busselton.	Council – 18 October 2023	Advertised 6 September 2023, closing 27 September.

As at 5 September 2023

APPLICATION (Name, No. and City File Reference)	PROPERTY	DATE COMMENCED	DECISION BEING REVIEWED	STAGE COMPLETED	NEXT ACTION AND DATE OF ACTION AS PER SAT ORDERS	DATE COMPLETED / CLOSED
CITY OF BUSSELTON						
Amber Cloud Pty Ltd v City of Busselton (DR 231/2021)	Lot 101 Wilyabrup Road, Wilyabrup	November 2021	Review of a decision to refuse or conditionally grant an application under a planning scheme (Single House)	<ul style="list-style-type: none"> • Directions hearing on the 12 November 2021 against the decision of the City to refuse a development application. The matter is listed for Mediation on 7 February 2022. • Mediation on 7 February 2022 where it was resolved that: <ul style="list-style-type: none"> - Additional information would be submitted to the City by 22 March; - Mediation listed for 5 April 2022. • Mediation on 5 April 2022 where it was resolved that: <ul style="list-style-type: none"> - Applicant to provide amended application on or before 8 July 2022; - Mediation scheduled 22 July 2022; - Respondent (the City) to reconsider on or before 18 November 2022; - Listed for directions hearing 25 November 2022. • Mediation on 22 July 2022 where it was resolved that: <ul style="list-style-type: none"> - Applicant to provide an updated suite of documents on or before 12 August 2022; - By 16 September 2022 the respondent is to provide to the applicant respondent comments and any referral agency comments; - Mediation is adjourned to 20 September 2022; - Respondent to reconsider on or before 18 November 2022; and - Listed for directions hearing 25 November 2022. • Mediation on 20 September 2022: <ul style="list-style-type: none"> - Applicant to provide an updated suite of documents on or before 4 October; - Mediation adjourned to 20 October 2022; - Respondent to reconsider on or before 18 November 2022; • Mediation listed for 20 October 2022 is vacated and relisted for 4 November 2022. The time to comply with the orders above to submit updated information is extended to 18 October 2022. • Mediation listed for 4 November was vacated and the following orders affirmed: <ul style="list-style-type: none"> - Respondent (the City) to reconsider on or before 18 November 2022; - Listed for directions hearing 25 November 2022. • Directions hearing on 25 November was vacated and the following orders affirmed: <ul style="list-style-type: none"> - Respondent (the City) to reconsider on or before 23 December 2022; - Listed for directions hearing on 9 December 2022. • Directions hearing on 9 December 2022 was vacated and the 	Directions hearing on 25 August 2023 was vacated and the matter is listed for a directions hearing on 29 September 2023.	

APPLICATION (Name, No. and City File Reference)	PROPERTY	DATE COMMENCED	DECISION BEING REVIEWED	STAGE COMPLETED	NEXT ACTION AND DATE OF ACTION AS PER SAT ORDERS	DATE COMPLETED / CLOSED
				<p>following orders affirmed:</p> <ul style="list-style-type: none"> - Respondent (the City) to reconsider on or before 23 December 2022; - Listed for directions hearing on 3 February 2023. • Directions hearing on 3 February 2023 was vacated and relisted for directions hearing on 24 February 2023. • Directions hearing on 24 February 2023 was vacated and relisted for directions hearing on 17 March 2023. • Directions hearing on 17 March 2023 was vacated and relisted for directions hearing on 5 May 2023. • Directions hearing on 5 May 2023 was vacated and the following orders affirmed: <ul style="list-style-type: none"> • Respondent (the City) to reconsider on or before 16 June 2023; • Listed for directions hearing on 23 June 2023. • At the Directions hearing on 23 June 2023, it was ordered that: <ul style="list-style-type: none"> • The Applicant file any amended plans by 30 June 2023; • The Respondent file a statement of issues, facts and contentions (SIFC); and a statement of the reasons for the decision with supporting documents; • The Applicant to file a SIFC by reference to the Respondent's SIFC; and • Listed for directions hearing on 25 August 2023. • Directions Hearing on 25 August 2023. 		
Silverlodge Pty Ltd v City of Busselton (CC 1054/2022)	585 Caves Rd Marybrook	August 2022	Review of a decision under the Caravan Parks and Camping Grounds Act 1995.	<ul style="list-style-type: none"> • Directions hearing listed for 23 September 2022 against the City reducing the number of licenced sites. • Directions hearing on 23 September 2022 was vacated and listed for a mediation on 18 October 2022. • Mediation on 18 October 2022: <ul style="list-style-type: none"> - Mediation adjourned to a further mediation on 17 November 2022. • Mediation on 17 November 2022 was vacated. Mediation listed for 22 December 2022. • Mediation on 22 December 2022: <ul style="list-style-type: none"> - Listed for a directions hearing on 31 January 2023. • Directions hearing on 31 January 2023 was vacated. Directions hearing on 3 March 2023 • Listed for directions hearing on 2 May 2023 • Directions hearing on 2 May 2023 was vacated. Relisted for a further directions hearing on 6 June 2023. • Listed for further directions hearing on 18 July 2023. • Directions hearing on 18 July 2023 was adjourned. Relisted for a further directions hearing on 29 August 2023. • Directions hearing on 29 August 2023 was adjourned. Relisted for a further directions hearing on 19 September 2023. 	Directions Hearing on 19 September 2023	

APPLICATION (Name, No. and City File Reference)	PROPERTY	DATE COMMENCED	DECISION BEING REVIEWED	STAGE COMPLETED	NEXT ACTION AND DATE OF ACTION AS PER SAT ORDERS	DATE COMPLETED / CLOSED
Happ & Anor v City of Busselton (DR 159/2022)	575 Commonage Road Quindalup	September 2022	Review of a direction by the City to stop and not recommence a development and to restore land to its state prior to the development	<ul style="list-style-type: none"> • Directions hearing listed for 14 October 2022. • Mediation listed for 1 November 2022 and further directions hearing on 4 November. • Mediation on 1 November referred to further mediation on 13 December 2022. Directions Hearing listed for 4 November vacated. • Direction hearing on 13 December 2022: <ul style="list-style-type: none"> • Orders that a further directions hearing take place on 20 January 2023. - Directions hearing on 20 January 2023 was vacated and re-listed for 3 March 2023. • Directions hearing on 3 March 2023: <ul style="list-style-type: none"> - By 14 April 2023 the parties have leave to file with the Tribunal and exchange any evidence expert or otherwise. - Further Directions hearing to take place on 28 April 2023 • Directions hearing on 28 April 2023 was vacated and re-listed for 4 August 2023 (to enable the City to assess a recently received development application) • Directions hearing on 4 August 2023 was vacated and re-listed for 18 August 2023. • Directions hearing on 18 August 2023 was vacated and re-listed for 14 September 2023. 	Directions Hearing on 14 September 2023	
Happ & Anor v City of Busselton (DR 197/2022)	575 Commonage Road Quindalup	November 2022	Review of direction 214(2) by the City	<ul style="list-style-type: none"> • Planning (General) Directions hearing listed for 25 November 2022. • Directions hearing on 25 November 2022 was vacated and listed for mediation on 13 December 2022. • Direction hearing on 13 December 2022: <ul style="list-style-type: none"> • Orders that a further directions hearing take place on 20 January 2023. • Directions hearing on 20 January 2023 was vacated and re-listed for 3 March 2023. • Directions hearing on 3 March 2023: <ul style="list-style-type: none"> - By 14 April 2023 the parties have leave to file with the Tribunal and exchange any evidence expert or otherwise. • Further Directions hearing to take place on 28 April 2023 • Directions hearing on 28 April 2023 was vacated and re-listed 	Directions Hearing on 14 September 2023	

APPLICATION (Name, No. and City File Reference)	PROPERTY	DATE COMMENCED	DECISION BEING REVIEWED	STAGE COMPLETED	NEXT ACTION AND DATE OF ACTION AS PER SAT ORDERS	DATE COMPLETED / CLOSED
				for 4 August 2023 (to enable the City to assess a recently received development application). <ul style="list-style-type: none"> Directions hearing on 4 August 2023 was vacated and re-listed for 18 August 2023. Directions hearing on 18 August 2023 was vacated and re-listed for 14 September 2023. 		
Forrest v City of Busselton (DR 101/2023)	Ludlow Park Road, Ludlow	June 2023	Review of a decision to refuse or conditionally grant an application under a planning scheme (Industry - Extractive)	<ul style="list-style-type: none"> Directions hearing listed for 7 July 2023 Listed for Mediation on 9 August 2023 Mediation on 9 August 2023 was vacated and re-listed for 20 September 2023. 	Mediation on 20 September 2023	
Leeuwin Civil Pty Ltd v City of Busselton (DR 139/2023)	Lot 1801 Banksia Road, Hithergreen	August 2023	Deemed refusal under Clause 75 (2) of the Regulations 2015.	<ul style="list-style-type: none"> Directions hearing listed for 1 September 2023. 	Mediation on 21 September 2023.	
REGIONAL JOINT DEVELOPMENT ASSESSMENT PANEL						
NIL						
NIL						



South West Country Zone Minutes

25 August 2023

Shire of Nannup



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South West Country Zone

Meeting to be held at
Nannup Function Centre, Warren Road, Nannup
2pm, Friday 25 August 2023

Minutes

The Chair opened the meeting at 2:01pm.

1. OPENING AND WELCOME

1.1 Acknowledgement of Country

We, the South West Country Zone of WALGA acknowledge the Nyoongar people, the Traditional Custodians of this land, and pay our respects to their Elders past, present and future.

2. ATTENDANCE AND APOLOGIES

Attendance

Shire of Augusta Margaret River	Cr Julia Meldrum (Deputy) Mr David Nicholson, Manager Asset Services
Shire of Boyup Brook	Cr Helen O'Connor Mr Leonard Long, Chief Executive Officer non-voting delegate
City of Bunbury	Mr Mal Osborne, Chief Executive Officer
City of Busselton	Cr Paul Carter (Deputy) Mr Tony Nottle, Chief Executive Officer
Shire of Capel	President Cr Doug Kitchen Gordon MacMile, Chief Executive Officer non-voting delegate
Shire of Collie	Cr Ian Miffing (Deputy) Ms Nicole Wasmann, Director Corporate Services non-voting delegate



Shire of Dardanup	President Cr Michael Bennett Mr, André Schönfeldt, Chief Executive Officer non-voting delegate Ms Elizabeth Stacey, Migration Agreements Officer (Observer)
Shire of Donnybrook Balingup	Mr Ben Rose, Chief Executive Officer
Shire of Harvey	President Cr Paul Gillett Ms Annie Riordan, Chief Executive Officer
Shire of Manjimup	Hon President Cr Paul Omodei Mr Brian Robinson, Temporary Chief Executive Officer non-voting delegate
Shire of Nannup	President Cr Tony Dean Mr David Taylor, Chief Executive Officer non-voting delegate Cr Patricia Fraser (Observer) Cr Ian Gibb (Observer)
WALGA Secretariat	Mr Chris Hossen, Policy Manager, Planning and Building Ms Emma Heys, Governance Specialist
South West Development Commission	Ms Mellisa Teede, Chief Executive Officer
RDA South West	Ms Vickie Walker, Project Officer & Administration
NEMA	Ms Sam Ramsay
<u>Apologies</u>	
Shire of August Margaret River	President Cr Paula Cristoffanini Ms Stephanie Addison-Brown, Chief Executive Officer non-voting delegate
Shire of Boyup Brook	President Cr Richard Walker
Shire of Bridgetown-Greenbushes	Mr Tim Clynn, Chief Executive Officer non-voting delegate President Cr Jenny Mountford
City of Busselton	Mayor Grant Henley
City of Bunbury	Mayor Jaysen de San Miguel Cr Amanda Yip (Deputy)
Shire of Collie	President Cr Sarah Stanley Mr Stuart Devenish, Chief Executive Officer non-voting delegate



Shire of Donnybrook Balingup	Commissioner Gail McGowan PSM
Department of Local Government, Sport and Cultural Industries	Mr Brendan McNally, Regional Manager Peel-South West
RDA South West	Mr Charles Jenkinson, Director Regional Development
Australia's South West	Ms Catrin Allsop, Chief Executive Officer

3. **DECLARATIONS OF INTEREST**

Nil.

4. **ANNOUNCEMENTS**

4.1 **Attachments**

The following were provided as attachments to the Agenda:

1. South West Country Zone Minutes – 23 June 2023
2. WALGA President's Report
3. State Council Agenda link – [State Council Agenda 13 September 2023](#)
4. DLGSC August Update

5. **GUEST SPEAKERS / DEPUTATIONS**

5.1 **Shire of Nannup**

President Cr Tony Dean and Mr David Taylor Chief Executive Officer

Mr David Taylor Chief Executive Officer provided an update to the meeting on priorities and key projects.

5.2 **Nicole Walton South West Gateway Alliance**

Nicole Walton, Community & Stakeholder engagement Manager, South West Gateway Alliance provided information on the local impact on the economy and success stories from local businesses that have been involved in the project as well as:

- Overview of project
- Construction update
- Social outcomes update



- Local business spend
- Employment initiatives
- A look at the project when it is finished

6. **MINUTES**

6.1 **Confirmation of Minutes from the South West Country Zone meeting held Friday 23 June 2023 (Attachment 1)**

The Minutes of the South West Country Zone meeting held on Friday, 23 June 2023 have previously been circulated to Member Councils and are provided as an attachment to the agenda.

RESOLUTION

Moved: President Cr Michael Bennett

Seconded: President Cr Paul Gillett

That the Minutes of the South West Country Zone meeting held Friday, 23 June 2023 are confirmed as a true and accurate record of the proceedings.

CARRIED

6.1.1 **Business Arising**

Nil.

7. **ZONE BUSINESS**

7.1 **Shire of Capel – Local Planning Policy LPP 6.2 Extractive Industries**

By Shire of Capel

BACKGROUND

The Shire of Capel have adopted an Extractive Industries Policy. Item as presented to the Shire of Capel is below and the adopted Policy is attached with the minutes for the Zone's information.

14.4 Local Planning Policy 6.2: Extractive Industries - Consideration of Submissions and Final Adoption

Proposal

The Shire has prepared a series of local planning policies which will complement the provisions of the new scheme and assist in the implementation of a robust local planning framework, as part of the Western Australian Planning Commission's Ministerial approval of the Shire's draft Local Planning Scheme No. 8 (LPS8).



Specifically, the Shire has sought to provide a comprehensive planning framework for the assessment of Extractive Industry development applications. The objective of introducing such a policy is to apply contemporary measures to Extractive Industry applications and adopt an 'evidenced-based' approach when considering future impacts from these types of development. Shire Officers presented a suite of draft Local Planning Policies at the November 2022 and

December 2022 Ordinary Council Meetings, allowing Council to consider each item and consent to advertising each draft policy.

Draft Local Planning Policy 6.2 - Extractive Industries was presented as part of this process.

Recommendation

That Council in accordance with the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*:

1. Adopts the draft Local Planning Policy 6.2 - Extractive Industries as shown in Attachment 1; and
2. Publishes a public notice in the local newspaper circulating within the district and on the Shire's website, notifying of the adoption of the local planning policy.

Background

Shire Officers presented a draft suite of Local Planning Policies throughout the second half of 2022, which were identified as being critical to complementing the Shire's existing and future planning framework. The suite would form part of the Shire's planning framework and would be separate to the soon-to-be gazetted Local Planning Scheme No. 8. By introducing several planning provisions in the form of policies, it enables the Shire to consider future amendments and updates without the need to apply for a scheme amendment.

One concept which was identified as necessary to the Shire's statutory powers was a policy specifically dedicated to the governing and assessment of Extractive Industry development applications. The Shire has received a significant increase in the number of Extractive Industry development applications being lodged, several of which are seeking variation to requirements under the Shire's Local Law for Extractive Industry licences.

Shire Officers have identified the need to create a local planning policy that provides contemporary measures for assessing such applications. The policy promotes an 'evidence-based' approach, enables the Shire to assess an application on performance criterion, and allows for considerations such as steeper batter slopes to pits on the basis that significant justification accompanies such applications. The policy also outlines the bond scheduling for riskier proposals.

The policy was presented to Council in draft form at the November 2022 meeting for consent to advertise. Given the completion of the public advertising period, this report is referred to Council with recommendations incorporating comments received during the advertising period.



The policy was then presented to the March 2023 meeting for final adoption, however the Council resolved to defer the item until the May 2023 OCM to allow for a workshop to be held with industry representatives. The desire of Council was to enable further critiquing of the policy, and for the Shire Officers to specifically focus on key themes arising from the consultation period to be addressed through any further revisions once discussions were held.

Decision Framework

Shire of Capel Strategic Community Plan 2021-2031

Direction 1 - Strengthen and enhance the well-being of our community

1.1 A more engaged community

1.2 A capable community that drives community activation and participation

Direction 4 - Deliver good leadership, governance and decision-making

4.1 Effective and compliant governance

4.2 Informed and transparent decision making

4.3 Contemporary planning and local development

Corporate Business Plan 2021-2025

DEVS 3 -

Review and prepare new local planning policies to support implementation of Local Planning Scheme No.8.

DEVS 27 -

Develop draft EIL Rehabilitation Policy in consultation with key stakeholders.

Statutory Framework

Local Framework

There are no local frameworks relevant to this item.

State Framework

Clauses 4(1) and 4(2) of Planning and Development (Local Planning Schemes) Regulations 2015 - Schedule 2 — Deemed provisions for local planning schemes.

Federal Framework

There are no state frameworks relevant to this item.

Policy Framework

A planning policy does not form part of a Scheme and cannot bind the decision maker in respect of an application or planning matter. However, the decision maker is required to have due regard to the provisions and objectives of the policy in its decision making.



The Shire can adopt local planning policies relating to matters of local development under Part 2, Division 2 of the Deemed Provisions. This Policy has been made pursuant to this legislation. Furthermore, provisions of Schedule 2, Clause 4 of the Planning and Development (Local Planning Schemes) Regulations 2015 require advertising to occur, and a period for making submissions to be no less than a period of twenty-one days after the day on which the notice is first published.

Implications

Risk Implications

Risk	Likelihood	Consequence	Mitigation
Risk 1 Environmental Rating: High	Possible	Major	Adopt the Local Planning Policy for the purposes of enforcing the Shire's existing Planning Framework, and ability to scrutinise Extractive Industry applications.
Risk Description: Failed Rehabilitation Implementation Outcome The Local Planning Policy requires a high level of detail to be submitted to the Shire for consideration. This information pertains to the rehabilitation of the site once the extraction ceases. Failure of the Shire's Officers to obtain and scrutinise the applicant's implementation of the Rehabilitation Plan may result in a less desirable outcome for a site's future useability.			
Risk 2 Reputation Rating: High	Possible	Major	Adopt the Local Planning Policy for the purposes of enforcing the Shire's existing Planning Framework, and ability to scrutinise Extractive Industry applications.



Risk Description: Lacking Planning Framework

The Shire's intention is that applicants provide a significant level of justification from specialist consultants, should they wish to propose development on a 'performance-based criteria' approach. This Local Planning Policy is the mechanism for the Shire to request such a level of information to form judgement.

Without adopting a comprehensive approach to the assessment and acceptance of Extractive Industry development applications, such as the approach outlined in the Local Planning Policy, the Shire would likely experience difficulty in requesting this level of information for assessment purposes.

Opportunity:

Adopt a leading approach in the assessment of Extractive Industry applications.

The policy framework is unique and offers a far more comprehensive approach to the assessment of Extractive Industries within the space of local government. By adopting the policy, other local governments may choose to adopt or model their planning framework on the Shire's policy, which has the potential to result in uniformity when assessing applications within the South West.

Financial Implications

Long Term

Operational Costs

As part of monitoring the civil works and future Rehabilitation Plans required under this policy, the ongoing operational costs to the Shire are expected to be much greater than at present. The Shire will undertake a more thorough approach to compliance given the potential and nature of variations in proposed batter slopes and the need to scrutinise the implementation of the site's rehabilitation. There is an expectation that adoption of this policy will lead to the implementation of a specialised position within the Shire for an employee who would be solely responsible for monitoring an applicant's Rehabilitation Plan and undertake potential compliance.

However, these costs will be largely offset by the recently updated administration fees for Extractive Industry developments adopted by Council at its meeting on 27 July 2022.

Sustainability Implications

Climate Change and Environmental

The ongoing extraction of minerals such as sand has detrimental effects on the climate. Direct and indirect impacts on the climate include coastal erosion, loss of vegetation, and emissions from transportation of minerals.

Adopting the policy and administering the policy effectively will result in a greater level of detail and information required by applicants at the stage of lodgement. The greater level of detail and research will shift the decision-making towards a more 'evidence-based' approach and is likely to mean a greater environmental outcome from a rehabilitation perspective.



Social

There are no relevant social implications relevant to this item.

Economic

There are no relevant economic implications relevant to this item.

Asset

There are no relevant asset implications relevant to this item.

Consultation/Engagement

External Consultation

The draft policy was advertised for a period of at least twenty-one (21) days in accordance with clauses 4(1) and 4(2) of the Deemed Provisions. Given the complexity of this draft policy, the Shire had chosen to advertise for a period of 49 days. Notices were placed in the local newspaper circulating within the Shire and uploaded to the Shire's website.

The Shire Officers took a calculated approach to the consultation process, which included seeking feedback from industry operators and neighbouring local governments. It was important to engage the key stakeholders impacted by the changes and understand the implications from a business perspective.

Furthermore, the targeting of comments from neighbouring local governments would assist the Shire in responding to any concerns or planning framework shortfalls experienced elsewhere which could be addressed in the policy prior to formal adoption.

Shire Officer's acknowledge that the initial consultation attempt contained only the Local Planning Policy but did not include *Appendix 1 – Extractive Industry Application Requirements and Assessment Processes*. An updated version containing Appendix 1 was then redistributed on 24 January 2023 and uploaded to the Shire website once the Shire was notified of this error.

The Regulations state that a minimum 21-day timeframe is applicable to consultation of the policy but does not mention whether it also applies to appurtenant documents that are to be read in conjunction with the policy (Appendix 1 in this instance). Appendix 1 more so outlines the information/material needed to make application, rather than containing objectives or provisions of the policy, and for this reason is not considered to require the full 21 days for public consultation.

At the conclusion of the public consultation period, which was 6 February 2023, the Shire received seven submissions. Key themes presented at the previous March OCM, and the accompanying schedule of submissions containing all matters raised can be found in **Attachment 2** of this report.

Post-March OCM Consultation

The Shire conducted an industry workshop on Thursday 27 April 2023, which included industry leaders and representatives who maintain frequent contact and conversations with Shire staff. Furthermore, several Shire Councillors were in attendance.



The intention of the workshop was firstly for the Shire Officers to establish the origin of several key concerns arising from the initial consultation period, and secondly provide the Shire Officers an opportunity to present on how the policy is intended to be administered.

Specifically, the key concerns arising from the consultation included:

- The conflict between the policy's stringent criteria and the need to provide easier access to basic raw material for extraction purposes under State Planning Policy 2.4 - Basic Raw Materials.
- The level of acceptable impacts for sites zoned 'Rural' vs. 'Priority Agriculture;' and
- Differentiating the Performance Criteria or expectations for hard rock extraction sites.

Further to the above points which formed part of the workshop's agenda, the other two consistent themes arising from the industry feedback included more transparency behind the updating of the fees and charges schedule (including bond amounts) and further refinement of suitable transport routes for haulage.

As a result of the workshop, the following amendments have been made to the draft local planning policy presented to the March OCM:

- Redefining the criteria for the Transport element to become less prescriptive. The previous draft had been written in a manner that did not account for the changes in school bus routes, nor did it account for an opportunity to share school bus routes for haulage purposes, despite also being classified as part of the restricted access vehicle (RAV) network.
- The validity of approval timeframe has been extended from 8 years to a period of 'up to 10 years' for non-hard rock extraction sites, whilst maintaining at least 3 years towards the rehabilitation of the site (no extraction to occur 3 years prior to expiration of the approval's validity). Furthermore, the validity of approval timeframe for a hard rock extraction will be 'up to 20 years' for the initial approval, with minimum 10-year periods issued for any extensions of validity.
- Delaying the end-of-life pit plan for hard rock extractions. Prior to the revisions of the draft policy taking place, the provisions required that a rehabilitation implementation plan or equivalent would be required for all developments prior to commencement of works. Given the extraction period of a hard rock pit is typically between 25 and 50 years, it would be more logical for the applicant to provide an end-of-life plan towards the end of operations. By doing so, the applicant would have more certainty of the land's future capabilities, and access to advanced technologies that could unlock use opportunities that may not have previously been possible at the time the extraction was initially approved.

Fees and Charges

In relation to the updating of the fees and charges and rehabilitation bonds for 2022-2023, the Shire engaged in an environmental consultant to undertake a review of the current rehabilitation bonds. The consultant's expert review of documentation pertaining to a State Administrative Tribunal case had identified costs of rehabilitating a 1:4 slope as being significantly higher than the current rehabilitation bonds held by the Shire.

As such, the Shire requested that a review be undertaken for several batter slope gradients. Based upon precedent projects and the consultant's experience, the current fees and charges (bonding rates) were reflective of the financial risks for failure to successfully undertake reinstatement to pasture or native



vegetation. Furthermore, the steeper batter slopes of 1:4 required a premium due to the reduced success rates of rehabilitation, and increased mortality rates for vegetation.

Regard to State Planning Policy 2.4

The Shire does not believe further changes would be required with respect to the concerns regarding SPP2.4. Despite the request from industry to provide easier access and conditions for extraction under SPP2.4, the Shire Officers reviewed the relevant information and believe the policy provides a balanced approach that recognises the importance of the State Planning Policy whilst enabling the Shire to protect its interests, which would be for development to occur in a respectful manner without long term implication of land degradation.

The State Planning Policy does not merely allow for the application of an Extractive Industry to neglect all elements of reasonable development in order to achieve and fulfil obligations for basic raw material supply. If this were to be the case, the land use would more than likely be classified as a 'P' use through the review process of the draft scheme undertaken by DPLH. Instead, the land use is discretionary in the draft scheme as opposed to being 'P' (permissible) and therefore requires amenity and environmental elements to be addressed prior to being considered for support.

Lastly, the objectives of the Priority Agriculture zone under draft LPS8 requires development to respect the land for future agricultural production. The Priority Agriculture Zone in LPS8 is reflective of the Greater Bunbury Region Scheme Priority Agricultural Land Policy 2017. Whilst the Shire's LPS8 contains a Special Control Area (SCA6) identifying land affected by State Planning Policy 2.4, the provisions and objectives stating that development is to promote the rehabilitation and restoration of mining and extraction sites, after works have been completed, in a way that is consistent with the long-term use of the land. This provision refers to the future viability of sites and the predominant agricultural activity for which the site is intended to accommodate for, is preserved.

It would be considered that in the event of conflict, the scheme's zone objectives would take precedent over the State Planning Policy.

Summary

Adoption of the local planning policy and its minor amendments to the advertised version will improve the assessment of such applications and tighten the statutory power for future compliance. The intent and rigor of the overall policy has only been further reinforced through the consultation process. With consideration of comments received, Shire Officers intends to present the final version to Council for adoption with aspirations of setting a new benchmark for Extractive Industry outcomes.

Voting Requirements

Simple Majority



Officer's Recommendation – 14.4

That Council in accordance with the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*:

1. Adopts the draft Local Planning Policy 6.2 - Extractive Industries as shown in Attachment 1; and
2. Publishes a public notice in the local newspaper circulating within the district and on the Shire's website, notifying of the adoption of the local planning policy.

Shire of Capel's Resolution:

OC/2023/110 - Officer's Recommendation / Council Decision - 14.4

Moved Cr Kitchen, Seconded Cr Terrantroy.

That Council in accordance with the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*:

1. Adopts the draft Local Planning Policy 6.2 - Extractive Industries as shown in Attachment 1; and
2. Publishes a public notice in the local newspaper circulating within the district and on the Shire's website, notifying of the adoption of the local planning policy.

Carried 7 / 0

For - Cr Andrew, Cr Dillon, Cr Kitchen, Cr Mogg, Cr Noonan, Cr Schiano and Cr Terrantroy

Against - Nil

Cr Kitchen provided an overview of the item.

RESOLUTION

Moved: President Cr Doug Kitchen

Seconded: President Cr Michael Bennett

That the South West Country Zone notes the Shire of Capel's adopted Policy as above.

CARRIED



7.2 Commonwealth Disaster Ready Fund – Round Two

By Rachel Armstrong, Senior Policy Advisor Emergency Management

Executive Summary

1. The [Disaster Ready Fund](#) (DRF) is a \$200 million Commonwealth Government fund that provides grants to government and non-government organisations to help them reduce disaster risk.
2. Expressions of Interest (EOIs) for DRF Round 2 are open now and applications for Round 2 will open in early 2024.
3. Benefits to Local Governments in applying for the DRF include building partnerships with other organisations and receiving financial assistance for projects that reduce community vulnerability to disasters.
4. The Department of Fire and Emergency Services (DFES) is actively engaging with organisations in preparation for Round 2 of the DRF, to identify projects that are most likely to be successful, as well as providing support and advice to develop strong applications.
5. DFES is encouraging Local Governments interested in applying for DRF Round 2 to start planning now.
6. DFES is holding a [grants webinar](#) on **Monday 4 September**, 10am to 12pm, which will provide more detail on how to submit a successful grant application, and the support available.

Background

The first round of the DRF opened on 10 January and closed 6 March 2023. 19 out of 23 successful Western Australian projects involved Local Governments. Although many WA Local Governments that applied to Round One of the DRF were successful, WA were only allocated just over \$8 million of the total \$200 million available. Successful projects from the first round are listed [here](#).

EOIs for DRF Round 2 are open now and applications for Round 2 will open in early 2024.

Comment

Examples of the types of projects that were successful across Australia, and may be of interest to Local Governments considering applying for a DRF grant in Round Two include:

- Evacuation centre upgrades
- Coastal erosion mitigation
- Flood resilience
- Community disaster risk reduction and resilience projects
- Green canopy initiatives
- Community engagement, education, and preparedness
- Improving natural environments to build resilience.

The extra support being provided by DFES through the early EOI process may help increase DRF funding to Local Governments in Round Two. A key factor in funding success is a well substantiated application, which can be resource intensive to develop.

DFES will hold a grants webinar 10am - 12pm, **Monday 4 September**, with information on how to submit a successful grant application, and what support is available. Register your interest [here](#).

Further information is available on the [SEMC website](#) or semc.grants@dfes.wa.gov.au.



RESOLUTION

Moved: Mr Mal Osborne
Seconded: President Cr Michael Bennett

That the South West Country Zone notes that Expressions of Interest for Round 2 of the Disaster Ready Fund are now open, and that the Department of Fire and Emergency Services is providing support to Local Governments to assist with the development of high-quality applications.

CARRIED

7.3 2025 Election Priorities – SWCZ Regionally Collaborative Approach

Coordinated by the Shire of Capel

Background

The South West Zone local governments took a united and collaborative approach to advancing regional-level and more localised priorities to the previous State and Federal.

The next State Election will be held on 8 March 2025. The next Federal Election is also expected to be held during 2025.

Recent discussions at SW Country Zone meetings have been to commence the development of electoral priorities during 2023, with a view to producing an advocacy document and lobbying strategy by mid-2024.

Initial discussion on priorities was sought at the April 2023 meeting to provide initial guidance to CEOs.

The South West CEOs met at a Shire of Capel hosted workshop on 19 May 2023 to develop initial ideas and potential requests, in relation to Federal and State election priorities as agreed. The workshop included:

- A review of the 2021 election priorities and reflection on the success (or otherwise) of each throughout the campaigns.
- Consideration whether each individual initiative remained a priority or whether the circumstance had changed.
- Preliminary development of potential election priorities for the 2025 cycle.

Summary

Following an update to the SWALGA Country Zone meeting in July 2023, the SW LG CEOs met again in early July 2023 to further the develop the draft election priority information. This meeting focused on:

- Agreeing on separate regional-level and local individual LG election priorities.
- Developing the regional-level priorities into key pillar areas of (working titles):
 - Social and Community.
 - Commercial Infrastructure.
 - Public Infrastructure.
 - Climate and Environment.
- Developing the detail regarding individual local government priorities, noting that some initiatives have localised importance and others more sub-regional.
- Also noted is that some local priorities will be potential targets for both State and Federal funding.



Discussion

The preliminary work completed to date includes

1. Regional-level (Attachment 1) LG election priorities with early commentary.
2. Local individual (Attachment 2) LG election priorities, noting information is to follow from Boyup Brook and Nannup.

Next Steps

The agreed timeline to finalise the priorities and advocacy strategy is as follows:

- August 2023 Country Zone Workshop – Agreed Prioritisation and Lobbying Approach
- October 2023 Local Government elections
- November 2023 Consideration of first draft advocacy document February 2024
Final consideration

RESOLUTION

Moved: Cr Julia Meldrum
Seconded: President Cr Paul Omodei

That the South West Country Zone, WALGA and Local Governments:

1. **Notes the progress work on future election priorities**
2. **Discusses and finalises agreement on the regional-level priorities to progress.**
3. **Requests the South West CEOs to continue to progress the advocacy priority work.**
4. **Seeks to host both a regional Cabinet meeting and a Director's General meeting as part of the future advocacy strategy.**

CARRIED



7.4 DAMA Update

By The Shire of Dardanup

South-West DAMA – August update for SWALGA

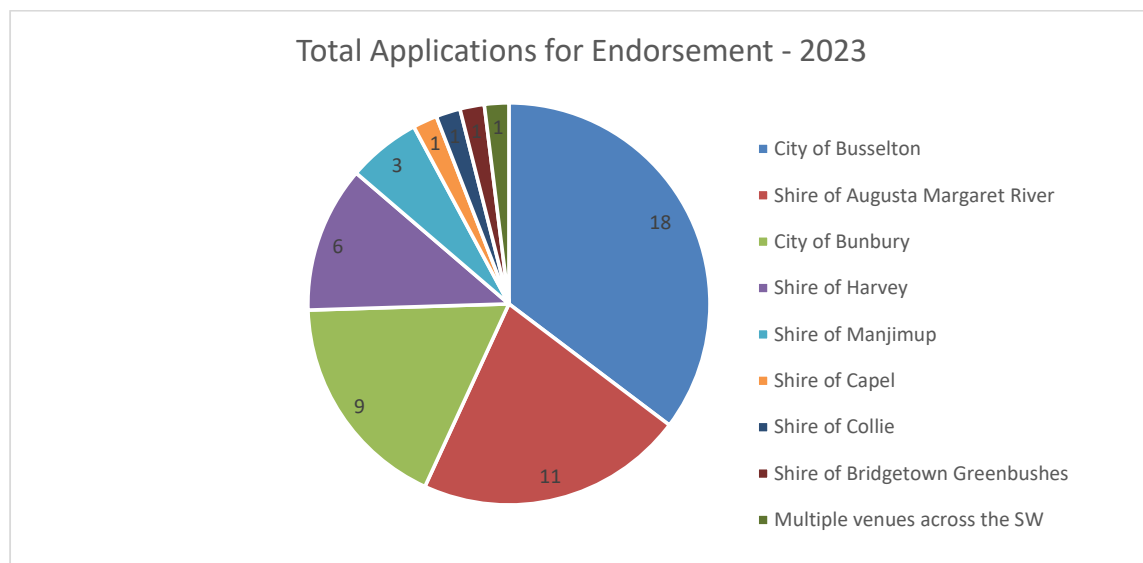
FY 22/23 – 69 applications for endorsement from South-West businesses

FY 22/23 – 230 nominations

Total applications for endorsement – 2023 Calendar Year

As of 31 July 2023, we have had a total of 51 applications for endorsement in 2023, from the following LGAs:

- City of Busselton (18)
- Shire of Augusta Margaret River (11)
- City of Bunbury (9)
- Shire of Harvey (6)
- Shire of Manjimup (3)
- Shire of Bridgetown-Greenbushes (1)
- Shire of Capel (1)
- Shire of Collie (1)
- Multiple venues in the South-West (1)





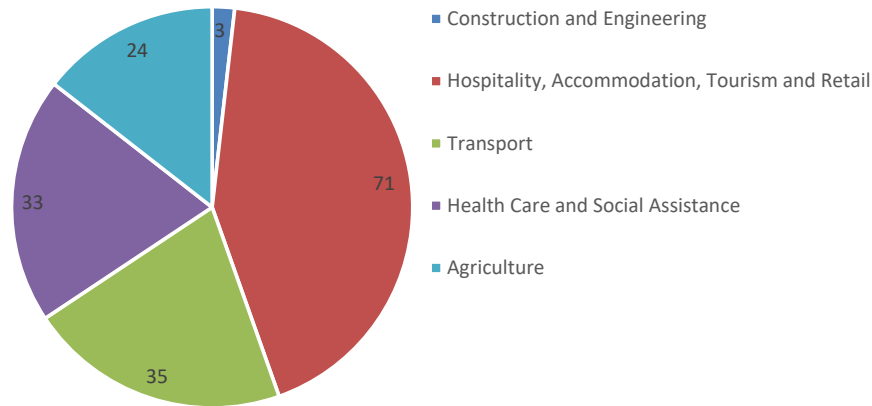
Applications for Endorsement – Occupations

As of 31 July 2023, 166 positions have been nominated of an annual ceiling of 200 positions (due for review). The nominated occupations are as follows:

No. of positions	Occupation
33	Truck Drivers
31	Cooks
19	Nursing Support Workers
17	Retail Supervisors
10	Vegetable Farm Workers
7	Child Care Workers
6	Bakers
5	Bar Supervisor
5	Waiters
4	Dairy Cattle Farm Workers
4	Waiter Supervisor
3	Enrolled Nurse
3	Fruit or Nut Farm Worker
3	Panelbeaters
2	Aged or Disabled Carers
2	Diesel Motor Mechanics
2	Hotel Service Managers
2	Motorcycle Mechanic
2	Pastrycook
1	Café or Restaurant Manager
1	Earthmoving Plant Operator
1	Loader Operator
1	Motor Mechanic
1	Vegetable Picker
1	Vineyard Worker
166	TOTAL



Industries represented in applications for nominations - 2023



Temporary Skilled Migration Income Threshold (TSMIT) Increase

As part of the independent review into Australia's current migration system, in April 2023 it was announced by Hon. Clare O'Neill, Minister for Home Affairs that the minimum salary requirements for employer-sponsored visas will be increased to \$70,000 for all new nominations from July 1, 2023. The previous rate of \$53,900 had remained unchanged since 2013.

As the South-West DAMA includes lower-skilled occupations, generally not included in the current skilled occupation list, this new salary requirement has the potential to have a negative impact on the program, particularly in the Agriculture and Hospitality space where there has been most of the take-up. At the time of the announcement, half of the applications for endorsement made in 2023 would not meet the new salary requirements, even with a 10% concession.

Salary Concession

The South-West DAMA had an existing concession to the TSMIT requirements of 10% (equal to 90% of TSMIT), provided there was evidence that the Award or Market rate aligned with this lower amount. Due to the increase from July 1, the salary concession makes for a minimum salary requirement of \$63,000, which is still out of reach of the Award rates for many of the occupations that have utilised the DAMA (Child Care workers, Nursing Support Workers, Aged Care workers, Fruit and Vegetable Farm workers, Waiters).

In May 2023, an application was made as part of our outstanding Deed of Variation request to increase our current TSMIT concession to 20% to allow for inclusion of those occupations of which Market or Award rate fall below the current TSMIT requirements.

Deed of Variation request

After a consultation period over the new year with South-West businesses, an application was lodged with the Department of Home Affairs in early March to vary our current South-West DAMA agreement.



The request included the following:

- A change to the post-code range to only include the post-codes of the participating 12 local government areas
- An increase to the number of nominations from 200 to 400 per calendar year for the remainder of the agreement
- Request to include 52 additional occupations to the current list (in addition to 56 occupations currently on the list)
- Request to remove the requirement for promotion to a higher skill level in an associated occupation for the skill level 5 pathway to Permanent Residency
- Requested an increase to the TSMIT concession from 10% to 20%

There is currently no indication from the Department of Home Affairs if or when any of these changes may take effect.

Aged Care Labour Agreement – May 2023

In May 2023 an industry specific Labour Agreement was signed for the Aged Care Sector. This may have future impacts on the South-West DAMA in the Aged Care specific occupations (Aged or Disabled Carer and Nursing Support Worker) as it offers some benefits not applicable to the South-West DAMA, such as direct entry to Permanent Residency, is not location-specific, has larger nomination ceilings and a lower salary requirement not linked to TSMIT.

Migration Review

Further announcements have been made in relation to the Migration review undertaken by the Federal Government, including a permanent residency pathway for all employer-sponsored visa holders. More information on this and further details on the Migration Review will be released later this year.

Noted

7.5 2023 Local Government Elections – Zone Office Bearer Elections

By Chantelle O'Brien, Governance Support Officer

BACKGROUND

With the bi annual Local Government elections being held on Saturday, 21 October 2023, Zones will also be required to hold an election process for State Council representatives.

A chronological overview of the process is detailed below:

- Local Government elections occur on Saturday, 21 October 2023.
- Member Councils to elect/appoint their Zone Delegates and to advise the Zone Executive Officer, as soon as possible but preferably by 3 November 2023.
- For the purpose of electing their representatives and deputy representatives to the WALGA State Council, the Zones are required to hold these elections at their November 2023 meeting.
- Zones to advise WALGA, in writing, of their elected State Council representative and deputy representative immediately following the 2023 November Zone meeting.
- A State Councillor Induction Session will be held for all State Council representatives and deputy representatives before the first meeting in December.
- The new State Council will take office at the Ordinary Meeting of State Council on **6 December 2023**.



In relation to the nominations and election process to be followed by each Zone in electing a representative and deputy representative to the WALGA State Council, the below process has been instituted by State Council:

1. *Zone Executive Officer to write to all Member Councils no later than 1 month prior to the Zone meeting at which the election is to be held calling for nominations from Delegates to the Zone for the positions of representative and deputy representative to State Council. The correspondence is to state that all nominations are to be made in writing to the Zone Executive Officer, and only Elected Members who are a nominated Zone Delegates are eligible to nominate. The time period for the receipt of nominations is preferably to be **one week prior** to the Zone meeting at which the election will be held. However, Nominations will be accepted from the floor at the Zone meeting.*
2. *Zone Executive Officer to receive written nominations from Zone Delegates for the positions of representative and deputy representative to State Council and then provide written confirmation to Member Councils of the nominations received.*
3. *Elections are to be held at the next Zone meeting as the first item of business. Nominations will be permitted from the floor at the Zone meeting. Where there is more than one nomination for each vacant position, an election will be conducted using a secret ballot, with the Zone Executive Officer to represent WALGA as the returning officer for the election. Prior to the ballot, nominees for each position are to be extended the opportunity to provide a 2 minute election bid to Delegates.*
4. *All voting Delegates to the Zone are entitled to cast one (1) vote in the ballot process. The candidate with the greater or greatest number of votes is elected to the office.*
5. ***Tied vote** – in the event of a tied vote, election will be determined by drawing names from a box. The Secretariat will put the names of the candidates concerned in a box and the first name drawn is the Elected Member.*
6. *Zone Executive Officer to advise WALGA in writing immediately following the Zone meeting of the outcome of their elections.*

If you have any questions or require further information in relation to the above mentioned process, please contact Tony Brown, Executive Director Member Services on 9213 2051 or email tbrown@walga.asn.au.

RESOLUTION

Moved: Cr Julia Meldrum
Seconded: Cr Paul Carter

That the South West Country Zone note the process for election of Zone Representative and Deputy Representative to the WALGA State Council.

CARRIED



7.6 Acknowledgement of Leaving Members

Members of the South West Country Zone would like to take this opportunity to thank the below Elected Members and Chief Executive Officer's that will be departing their Local Government role and have provided their support and commitment to the South West Country Zone during their tenure.

We wish them all the very best for what the future may hold and again thank you on behalf of the South West Country Zone members, Local Governments and their Communities.

- President Cr Paul Gillett – Shire of Harvey
- Mayor Grant Henley – City of Busselton
- President Cr Michael Bennett – Shire of Dardanup
- President Cr Sarah Stanley – Shire of Collie
- Tim Clynych Chief Executive Officer – Shire of Bridgetown-Greenbushes
- Mal Osbourne Chief Executive Officer – City of Bunbury

Noted

8. WALGA BUSINESS

8.1 WALGA Status Report

By Chantelle O'Brien, Zone Executive Officer

BACKGROUND

Status Report for August 2023 which contains WALGA's responses to the resolutions of previous Zone Meetings.

Agenda Item	Zone Resolution	WALGA Response	Update	WALGA Contact
3 May State Council Agenda Item 7.4 Speed Management Reform Advocacy Position	<p>That the Speed Management Advocacy Position as follows, be endorsed:</p> <ol style="list-style-type: none"> 1. That WALGA supports Local Governments wishing to manage travel speeds, including speed limit changes, as a means of achieving the many health, social and environmental benefits for communities. 2. That Main Roads WA (MRWA) retain the overarching authority for speed limit setting/zoning. 3. That Main Roads WA speed zoning policies and processes be reformed so that Local Governments are more influential in the determination of speed limit decreases or increases for local roads. <ol style="list-style-type: none"> a. This will include applications that are deemed to be approved when the application: <ol style="list-style-type: none"> i. is based on assessments by competent Local Government practitioners, 	<p>State Council Resolution</p> <p>That the Speed Management Advocacy Position as follows, be endorsed:</p> <ol style="list-style-type: none"> 1. That WALGA supports Local Governments wishing to manage travel speeds, including speed limit changes, as a means of achieving the many health, social and environmental benefits for communities. 2. That Main Roads WA (MRWA) retain the overarching authority for speed limit setting/zoning. 3. That Main Roads WA speed zoning policies and processes be reformed so that Local Governments are more influential in the determination of speed limit decreases or increases for local roads. <ol style="list-style-type: none"> a. This will include applications that are deemed to be approved when the application: 	Ongoing	<p>Ian Duncan Executive Manager Infrastructure iduncan@walga.asn.au 9213 2031</p>



	<ul style="list-style-type: none"> ii. contains evidence-based identification of the benefits, iii. contains preliminary designs for infrastructure safety upgrades associated with applications to increase speed limits, and iv. includes an engagement strategy for managing community and stakeholder expectations, <u>and provides a greater weighting for community views on speed changes.</u> <p>b. Allows for Main Roads WA to decline an application, within a mutually agreed timeframe, on the basis that it:</p> <ul style="list-style-type: none"> i. does not meet the above criteria, and ii. provides specific evidence for declining the application. <p>4. That WALGA seeks to work with Main Roads WA and other stakeholders, to develop a speed management guide for Local Governments.</p>	<ul style="list-style-type: none"> i. is based on assessments by competent Local Government practitioners, ii. contains evidence-based identification of the benefits, iii. contains preliminary designs for infrastructure safety upgrades associated with applications to increase speed limits, and iv. includes an engagement strategy for managing community and stakeholder expectations. <p>b. Allows for Main Roads WA to decline an application, within a mutually agreed timeframe, on the basis that it:</p> <ul style="list-style-type: none"> i. does not meet the above criteria, and ii. provides specific evidence for declining the application. <p>4. That WALGA seeks to work with Main Roads WA and other stakeholders, to develop a speed management guide for Local Governments.</p>		
23 June 2023 Zone Agenda Item 7.2 - Mining Tenements Applications – DMIRS Procedural Review	<p>That the South West Country Zone request the WALGA State Council to adopt an advocacy position that seeks the Department of Mines, Industry Regulation and Safety to undertake:</p> <ol style="list-style-type: none"> 1.A formal review of the current statutory consultation procedures as they relate to mining tenements; and 2.Improved public consultation for mining tenement applications, particularly for private landowners, regardless of the depth of land applicable. 	The WALGA secretariat will review this request and provide a response for a future Zone meeting.	August 2023	Nicole Matthews Executive Manager Policy nmatthews@walg a.asn.au 9213 2039
23 June 2023 Zone Agenda Item 7.5 - Strategic Waste Management Discussion	<p>That the South West Country Zone requests WALGA to:</p> <ol style="list-style-type: none"> 1. Call on the Waste Authority to support a deferral of the draft State Waste Infrastructure Plan to allow alignment between a new Waste Strategy and an infrastructure plan that is to implement waste strategy direction; 2. Request the Department of Water and Environmental Regulation to defer consideration of the draft State Waste Infrastructure Plan until the terms of a new Waste Strategy are determined, so as to allow alignment between document; 3. Incorporate within a submission to the Waste Authority, the following in relation to a new Waste Strategy: <ol style="list-style-type: none"> a. Vigorous support for the circular economy principle, encouraging new technologies to regenerate resources from waste; b. Support for localized (close to source) waste processing initiatives that can regenerate waste as a resource; c. Maximise the value of waste as a resource, creating commodity value; d. Actively encourage innovation in-line with circular economy principles: and 	<p>Noted.</p> <p>MWAC and the Environment Policy Team considered this issue at a joint meeting on 28 June 2023. The WALGA Submission was updated to emphasise that the State Waste Strategy and the Infrastructure Plan must align.</p>	August 2023	Nicole Matthews Executive Manager Policy nmatthews@walg a.asn.au 9213 2039



	e. Outline pathways that will enable innovative solutions, including alternative waste processing practices.			
23 June 2023 Zone Agenda Item 7.6 - Cessation of Funding – Regional Climate Alliance Program	That the South West Country Zone supports the request from the Warren Blackwood Alliance of Councils Board and: 1. Requests WALGA advocate to the Minister for Environment; Climate Action for the reinstatement of the Regional Climate Alliance Program; 2. Writing directly to the South West Members of Parliament seeking the reinstatement of the Regional Climate Alliance Program.	The WALGA President wrote to the Minister for Environment and Climate Action, Hon Reece Whitby on 28 June 2023 to urge him to consider the results of the evaluation and funding for the Program as a priority. The Environment and Waste Policy Team noted the Zone resolution and that WALGA will continue to advocate for the continuation and expansion of the Regional Climate Alliance Program.	August 2023	Nicole Matthews Executive Manager Policy nmatthews@walg a.asn.au 9213 2039
23 June 2023 Zone Agenda Item 7.7 - Mining Royalties Funding	That the South West Country Zone seeks the support of WALGA to both lobby for the establishment of a Resources Fund Payment to be collected and used within the South West region.	Royalties are a payment in recognition that minerals are owned by the people of Western Australia and that they should receive fair payment for the depletion of their natural resources. WA's resource endowments are owned by the whole state, rather than the communities where they are mined. While there is a clear need for additional funding to support regional communities, the proposal put forward by the South West Country Zone would not deliver sector-wide benefits and would be most appropriately pursued by the Zone.	August 2023	Nicole Matthews Executive Manager Policy nmatthews@walg a.asn.au 9213 2039
5 July 2023 State Council Agenda Item 7.1 - Review of Urban Forest Advocacy Position	That the advocacy position be amended to include that urban forest outcomes should be realised for all urban areas across the state.	State Council Resolution That WALGA endorse a new Advocacy Position 4.6 Urban Forest as follows: To promote the growth of Western Australia's urban forest the State Government should: 1. <i>Identify a lead agency with responsibility for setting the strategic direction and oversight of urban forest initiatives.</i> 2. <i>Provide recurrent funding for a comprehensive and accessible Urban Greening Grant program to support Local Government investment in public realm planting, focusing on high urban heat areas and enhancing biodiversity outcomes.</i> 3. <i>In consultation with Local Government:</i> a. <i>Develop a <u>state-wide</u> Urban Forest Strategy, based on the overarching principles of a resilient, connected, expanded and equitable urban forest including:</i> i. <i><u>a minimum tree canopy target of 30% by 2040</u> for the Perth and Peel regions,</i> ii. <i>robust and contemporary data to inform decision making,</i> iii. <i>funding mechanisms to support growth in urban canopy.</i>	August 2023	Nicole Matthews Executive Manager Policy nmatthews@walg a.asn.au 9213 2039



		<p>b. <i>Develop contemporary legislative and policy mechanisms to enable the protection and growth of urban forest, including:</i></p> <p>i. <i>an effective and efficient regulatory mechanism that allows Local Government to consider the removal or alteration of a significant tree as a form of development,</i></p> <p>ii. <i><u>incentivising the provision and retention of trees on private property within the state planning framework,</u></i></p> <p>iii. <i>prioritisation of trees and vegetation as a key structural element in the design of new neighbourhoods to facilitate climate resilient and liveable communities,</i></p> <p>iv. <i>consideration of public realm design to maximise opportunities for tree retention and new planting consistent with any tree canopy targets.</i></p> <p>4. <i>Work with Local Government and other stakeholders to increase community awareness and promote behaviour change in relation to urban forest growth and retention to support State and Local Government targets and action.</i></p> <p><u>RESOLUTION 460.3/2023</u></p> <p><u>CARRIED</u></p> <p>In response to the recommendation of the South West Country Zone the words, "state-wide", were included to point 2a of to clarify the intent of any strategy to cover all urban centres around Western Australia, including those in regional areas.</p> <p><u>COMPLETE</u></p>		
<p>5 July 2023 State Council Agenda Item 7.6 - Amendments to WALGA's Constitution</p>	<p>That State Council endorse putting two items to the 2023 Annual General Meeting that:</p> <p>1. <u>firstly</u>, propose a new Constitution to give effect to the alternate model as per the attached; and</p> <p>2. <u>secondly</u>, in the event that 1 is not <u>carried</u> amend the Constitution to retain the current governance model with necessary changes, as per the attached mark-up.</p>	<p>The WALGA recommendation was in line with State Council's previous resolution. State Council added some additional amendments to the resolution as per below.</p> <p>State Council Resolution</p> <p>That State Council endorse putting two items to the 2023 Annual General Meeting that:</p> <p>1. <u>considers</u> a new Constitution to give effect to the alternate governance model as per the attached, <u>subject to amending clause 2 in respect to the definition of "Special Majority" by inserting the words "the Board or of" after the words "in relation to" and inserting the words "the Board Members or" after the words</u></p>	<p>August 2023</p>	<p>Tony Brown Executive Director, Member Services 9213 2051 tbrown@walga.as n.au</p>



		<p><u>"comprising enough of" and amending clause 32 as per the following:</u></p> <p>a. <u>Replace "An Absolute" with "A Special"; and</u></p> <p>b. <u>Insert the word "Special" before majority and delete "of not less than 75%"; and</u></p> <p>2. amend the Constitution to retain the current governance model with necessary changes, as per the attached mark-up.</p> <p><u>RESOLUTION 466.3/2023</u> <u>CARRIED BY 75% SPECIAL MAJORITY</u></p>		
<p>26 August 2022 Zone Agenda Item 7.2 Renergi Waste Processing</p>	<p>That the South West Country Zone request WALGA to:</p> <ol style="list-style-type: none"> 1. Adopt a position that supports the utilisation of emerging waste processing technologies; and 2. Advocate to the Minister for Environment to review the regulatory framework surrounding environmental approvals and operational obligations to allow new, alternative treatment processes and technologies that will reduce landfill reliance by improving resource recovery rates, including the processing of FOGO and un-separable, co-mingled material. 	<p>The MWAC / Policy Team response was included in the original Zone item. As noted in the Zone item, WALGA does not support any particular waste technology. WALGA does not have the expertise or resourcing to assess every waste technology, therefore does not lend its support to any particular technology, but instead develops overarching policy guidance and parameters for Local Government to consider. Local Governments and Regional Councils identify and use technology based on their needs, parameters and procurement processes. A blanket support of emerging waste technologies would mean that WALGA was supporting any emerging technology without limit as to its efficacy and impact.</p> <p>The second action was for WALGA to advocate regarding the regulatory framework does not disadvantage new technologies. DWER are currently progressing the Regulatory Reform process and WALGA will include in any future submissions and discussions with the Department the request regarding new technologies and regulatory frameworks.</p>	<p>August 2023</p>	<p>Nicole Matthews Executive Manager Policy nmatthews@walga.asn.au 9213 2039</p>

RESOLUTION

Moved: Cr Paul Carter
Seconded: President Cr Paul Gillett

That the South West Country Zone WALGA August 2023 Status Report be noted.

CARRIED



8.2 Review of WALGA State Council Agenda

BACKGROUND

WALGA State Council meets five times each year and as part of the consultation process with Member Councils circulates the State Council Agenda for input through the Zone structure.

The full State Council Agenda can be found via link: [State Council Agenda 13 September 2023](#)

The Zone can provide comment or submit an alternative recommendation that is then presented to the State Council for consideration.

Matters for Decision

7.1 Local Emergency Management Arrangements (LEMA) Advocacy Position

That WALGA endorse the following position on Local Emergency Management Arrangements (LEMA):

1. *The State Government should fund the implementation of the Local Emergency Management Arrangements (LEMA) Improvement Plan endorsed by the State Emergency Management Committee (SEMC).*
2. *A reformed LEMA system should:*
 - a) *Clearly articulate the roles and responsibilities of Local Governments in emergency management;*
 - b) *Simplify the reporting processes and reduce the administrative burden of maintaining compliance;*
 - c) *Provide a suite of scalable tools and guidance materials that are accessible through an online knowledge hub;*
 - d) *Build the emergency management capacity and capability of Local Governments through the provision of targeted training, exercising support, human resources and sustainable funding;*
 - e) *Assist Local Governments to continue to deliver their core business activities and provide public information during an emergency event;*
 - f) *Improve the connectivity of Local Governments' various risk management and hazard planning processes through an integrated approach; and*
 - g) *Enable resource sharing and collaboration across the Local Government sector.*

7.2 Advocacy Position on Road Works during Total Fire Ban

That WALGA endorse the following principles in relation to the exemptions and conditions under which road works may be undertaken during a Total Fire Ban:

1. Road Activity Tiers: That there be a tiered risk approach for road work activities and associated controls, based on the proposed activities and fire danger forecast.
2. Local Government operations: That any controls specified in regulations to provide effective risk mitigation and response be able to be implemented within the works crew deployed for the task.
3. Reduce Red Tape: That the processes where repeated notification to DFES for the same task at the same location is required be streamlined.



Policy Team and Committee Reports

- 8.1 Environment and Waste Policy Team Report
- 8.2 Governance and Organisational Services Policy Team Report
- 8.3 Infrastructure Policy Team Report
- 8.4 People and Place Policy Team Report
- 8.5 Municipal Waste Advisory Council (MWAC) Report

Matters for Noting

- 9.1 Flying Minute – Consistent Local Planning Schemes
- 9.2 Flying Minute – Submission on the Draft State Waste Infrastructure Plan
- 9.3 Flying Minute – Submission on Directions Paper: Review of the Waste Avoidance and Resource Recovery Strategy 2023
- 9.4 Flying Minute – Submission on Discussion Paper: Stage 3 Biosecurity and Agriculture Management Act 2007 Review
- 9.5 Flying Minute – Independent Strategic Review of the Infrastructure Investment Program Submission
- 9.6 Flying Minute – Submission on Discussion Paper – Wired for Change: regulation for small electrical products and solar photovoltaic system waste
- 9.7 Concurrent Commonwealth Disaster Reviews

RESOLUTION

Moved: President Cr Michael Bennett
Seconded: President Cr Paul Omodei

That the South West Country Zone:

- 1. **Supports all Matters for Decision, Policy Team and Committee Reports as listed above in the 13 September 2023 State Council Agenda; and**
- 2. **Notes all, Matters for Noting as listed in the 13 September 2023 State Council Agenda.**

CARRIED

9. AGENCY REPORTS / PRESENTATIONS

9.1 WALGA President's Report

WALGA representative, Chris Hossen provided a brief update to the Zone on behalf of the WALGA President.

9.2 South West Development Commission

Mellisa Teede, Chief Executive Officer, provided a brief update to the Zone.



9.3 Regional Development Australia – South West

Projects Officer & Administration, Vickie Walker, provided a brief update to the Zone.

9.4 Department of Local Government, Sport and Cultural Industries

Brendan McNally, Regional Manager Peel South-West was an apology for this meeting.

The DLGSC August Update was distributed with the Agenda.

9.5 Australia's South West

Chief Executive Officer, Catrin Allsop was an apology for this meeting.

9.6 National Emergency Management Agency

Sam Ramsay, NEMA, provided a brief update to the Zone.

10. FINANCIAL REPORT

10.1 Financial Report

South West Country Zone			
Cashflow			
Year Ending 30 June 2023			
	Budget	Actual	Comments
	FY23	FY23	
	\$	\$	
Opening Cash Balance	12,748	12,748	
Income			
Subscription Income	7,200	7,200	12 @ \$600 each
Total Income	7,200	7,200	
Expenses			
Bank Charges	72	65	12 months @ \$6
Total Expenses	72	65	
Closing Cash Balance	19,876	19,883	



Bank Account Signatories

With the recent change of staff at WALGA, two of the four South West Country Zone bank account signatories have since left the organisation, being Tim Lane and Tina Mossdrop. Therefore, it is proposed to update the signatories to include WALGA's current Finance Manager Nilpa Shah-Smith, Tony brown and Rick Murray will remain unchanged.

RESOLUTION

Moved: President Cr Doug Kitchen

Seconded: Mr Mal Osborne

That:

1. The signatories for the South West Country Zone bank account be updated to be the following WALGA officers:
 - Nilpa Shah-Smith, Finance Manager
 - Tony Brown, Executive Director Member Services
 - Rick Murray, Chief Financial Officer
2. the Financial Report be received.
3. CEO's confer on possible strategic projects to fund and make recommendation to the next meeting.

CARRIED

11. EMERGING ISSUES

11.1 Not-for-profit Organisations

Mal Osborne and Paul Omodei.

Not-for-profit support organisations are currently facing difficulties with rising costs, no additional income being received, no additional state funding being received and increase in state referrals. Volunteer fatigue is also cause for concern.

Very well organised organisations do well as they have a strong structure. Small or lower tier organisations struggle more.

Sector perspective sought through WALGA.

Noted



12. DATE, TIME AND PLACE OF NEXT MEETINGS

12.1 Future Meeting Dates

Meeting dates for 2023 are listed below.

MEETING DATE	HOST LOCAL GOVERNMENT
Friday 21 April 2023	Bridgetown Greenbushes
Friday 23 June 2023	Busselton
Friday 25 August 2023	Nannup
Friday 24 November 2023	Capel

12.2 Next Meeting

MEETING DATE	HOST LOCAL GOVERNMENT
Friday 24 November 2023	Capel

13. CLOSURE

There being no further business the Chair declared the meeting closed at 4:32pm.

Kaya, Welcome to Nannup

SWALGA Meeting

**Friday 25 August | 2:00PM - 5:00PM | Nannup Function Centre
Sport and Recreational Precinct | Warren Road in Nannup**

PRESENTED BY DAVID TAYLOR, CHIEF EXECUTIVE OFFICER



Shire of
Nannup
rest • connect • grow



**EXPERIENCE
NANNUP**

This presentation focuses on:

- The Experience Nannup App
- Nannup Events Calendar
- Shire of Nannup Communications
- Video Assets and Major Projects
- The Nannup Arts, Recreation, Tourism and Liveability Master Plan
- The Small Business Friendly Approvals Program
- Economic Development Key Themes and Documents
- Marketing Blueprint 'Your Trail Awaits'
- Trail Town Project Updates
- UCI World Championship 2026



PRESENTED BY DAVID TAYLOR, CHIEF EXECUTIVE OFFICER

Experience Nannup App

The mobile visitor information

Easy navigation with interactive maps

Features everything you want to experience while visiting Nannup



Experience Nannup

Download the Experience Nannup App

The mobile visitor information

Easy navigation with interactive maps

Features everything you want to experience while visiting Nannup



www.experiencenannupwa.com.au





Nannup Events Calendar

The Nannup Events Calendar is busy, both with annual events and new events. The Experience Nannup App is utilised by large events for event information and programs. New cycling events have been attracted to Nannup through the Nannup Tank 7 MTB Park.

Nannup events include:

- Nannup Flower and Garden Festival
- XCO WA State MTB Championships
- WA Gravity Enduro
- Nannup Antique and Collectors Fair
- Life Cycle Offroad
- Tour of Margaret River
- Family Fun Day
- Nannup Music Festival
- SEVEN Gravel Race
- Forest Rally



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Shire of Nannup Communications



KAYA

The Shire of Nannup acknowledges the Wardandi and Bibbulmun people as the native title holders of the lands and waters in and around Nannup together with all native title holders throughout the Shire.

We pay respect to the Elders, past, present and emerging, and of the Wardandi and Bibbulmun people and extend that respect to all Aboriginal Australians living within the Shire of Nannup.

Nannup, also known as the "Stopping Place" in the local Noongar language, and the Blackwood River is significant for the Wardandi people as it is the place where the Pibelmen and Wardandi people came together.

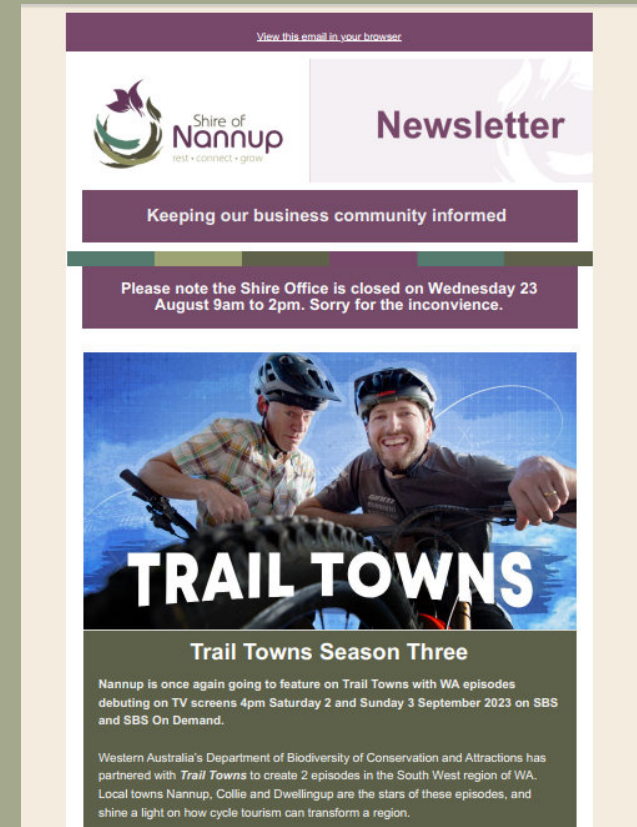


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Shire of Nannup Video Assets



www.experiencenannupwa.com.au



Transitioning out of the Timber Industry



NANNUP ARTS, RECREATION, TOURISM AND LIVEABILITY MASTER PLAN

An opportunity has been identified to support liveability in Nannup. Co-funded with the South West Development Commission a Liveable Nannup Master Plan will be coordinated for a study area inclusive of the mill site lands. It will explore all the possibilities to enhance the arts, recreation, tourism and liveability in Nannup. This could include, but not be limited to, sporting facility upgrades, tourism features, housing options, community facilities, cultural and heritage investment.



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Small Business Friendly Program



The Shire of Nannup completed the program, run by the Small Business Development Corporation, in July 2022. The Shire of Nannup immediately instituted reforms such as establishing a dedicated business support team to oversee approvals.

As a result of the program, the Shire:

- standardised application information;
- created a visual guide for both the approval process and application requirements and;
- launched a Small Business Portal.

The Shire further built upon its improved small business approvals processes with the February 2023 launch of its Liveable Nannup Project, which identifies opportunities for business development. The project is complemented by the Nannup Investment Prospectus and approval of the Local Planning Strategy #4.



www.experiencenannupwa.com.au





NANNUP INVESTMENT PROSPECTUS

The Nannup Investment Prospectus is a tool for sustainable growth and economic development for our community.

Investing in Nannup means investing in the potential of a town that is ripe for continuous growth. The Shire is poised to become a hub for investment.



www.experiencenannupwa.com.au



KEY INVESTMENT THEMES



ENVIRONMENT AND SUSTAINABILITY

A focus on sustainable practices is a growing requisite for tourists and locals alike. From renewables to ecotourism, there is great potential for Nannup's growth and viability.



ACCOMMODATION & HOUSING

Between an influx of tourism and a growing local population, there is significant and growing demand for accommodation for those living in and visiting Nannup.



SERVICES

Nannup is prioritising investment in the industries that are growing fast. From aged care to transport, maintenance and goods, Nannup's diverse offering is a stable investment.



RETAIL & ENTERTAINMENT

As more people come to live in and visit Nannup, the demand for retail and entertainment increases. Across food, tourism and agri-tourism, Nannup's positioning is ripe for growth.



MANUFACTURING, AGRICULTURAL & CREATIVE

The demand for Nannup's manufacturing, agriculture and creative industries has grown with an influx of tourism – and is only getting larger across the arts, agriculture and production.

OPPORTUNITIES FOR INVESTMENT

TRAILS AND ADVENTURES

Nannup is on the cusp of becoming a nationally and internationally renowned destination. There is incredible opportunity to invest in Nannup to provide services, amenities, and accommodation as our tourism sector enters this new phase.



EXPERIENCES

With already large numbers of visitors flocking to the region, as well as an engaged community of locals, there's a demand for boutique experiences that enhance both their visit and their lifestyle in Nannup.



INFRASTRUCTURE & INDUSTRY

As Nannup continues to grow and evolve, there is considerable opportunity to invest in the development and emerging industries that will benefit the town's progress as a hotspot destination and local township.



DEVELOPMENT & INVESTMENT

The Shire of Nannup has identified some specific areas in which future residential and commercial developments could add value and meet the existing and growing needs of visitors and residents.



NANNUP INVESTMENT SNAPSHOT

THE HEART OF THE SOUTH WEST

ABOUT NANNUP

Nannup is centrally located in the heart of the beautiful South West region of Western Australia, 270km south of Perth. Located on the iconic Blackwood River, the Shire of Nannup covers over 3,000 square kilometres extending all the way to the coast of the Southern Ocean, with over 80 percent of the region blanketed in forest.

Most importantly, the Shire of Nannup offers a unique opportunity to create a future in a beautiful location with enormous potential.

NANNUP IS THRIVING

POPULATION

1574



21%
Increase in
population over
last decade



Female

- Children & Young Adolescents (0-14)
- Working Age (15-64)
- Elderly (65+)



Male

- Children & Young Adolescents (0-14)
- Working Age (15-64)
- Elderly (65+)

NANNUP MEANS BUSINESS

GROSS REGIONAL PRODUCT



Gross Regional
Product
\$101.415mil

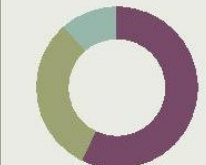
Land Area



305,394ha

BUSINESS

CURRENT BUSINESS MIX



- 100 Non-employing (sole traders)
- 55 1-19 employees (FTE)
- 20 20-200 employees (FTE)



www.experiencenannupwa.com.au

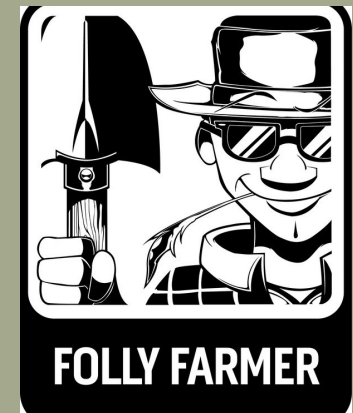
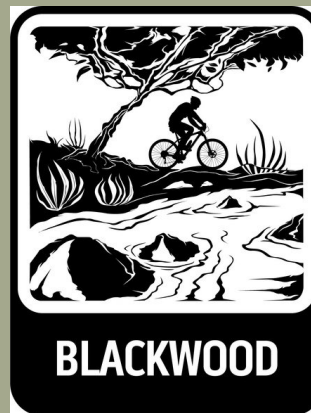




The Shire of Nannup has created a marketing blueprint aimed at encouraging the local community to be actively involved in promoting the benefits of Nannup.

The marketing tagline, 'Your Trail Awaits,' evokes a sense of discovery and exploration. It welcomes both hyper-local visitors and tourists through its freshly launched Experience Nannup App and micro-website.

No matter the trail, Nannup has something for everyone



YOUR TRAIL AWAITS



Merchandise

The Shire created a variety of marketing and promotional collateral to assist with the roll-out of the Experience Nannup brand.

Merchandise examples are an option to help generate income to support the maintenance of the tourism assets.

The Shire of Nannup encourages all businesses and ventures to use the Experience Nannup Logo.

MERCHANDISE

A range of merchandise concepts have been designed to spark your imagination. Some will be made available for sale or for promotional activity by the Shire of Nannup. Others are purely inspirational.

- Reusable coffee cups
- Reusable tote bags
- Riding jersey



- T-shirts



ARE YOU KEEN TO USE THE EXPERIENCE NANNUP LOGO?

The Shire of Nannup encourages all businesses and ventures to use the Experience Nannup Logo.

To assist in this, a special license agreement has been created to ensure brand continuity and correct execution along with limitless opportunities for anyone to promote Nannup.

To access the License Agreement or discuss your ideas, please contact the Shire of Nannup via email: nannup@nannup.wa.gov.au



NEWSLETTERS

Digital graphic that can be included in your digital or printed newsletters.



STREET BANNERS

'Experience Nannup' branded tear drop banners that can be displayed outside stores, or along 'trails' that weave through the town.



POSTCARDS

'Experience Nannup' branded cards featuring a variety of different imagery, capturing the town's attractions – old and new.



SIGNAGE

'Experience Nannup' branded stickers and other signage that can be used in or around stores, town landmarks and along trail routes.



DRINK COASTERS

'Experience Nannup' branded drink coasters for use in your hospitality venues... or meeting rooms!



USB

'Experience Nannup' branded USB.



YOUR TRAIL AWAITS



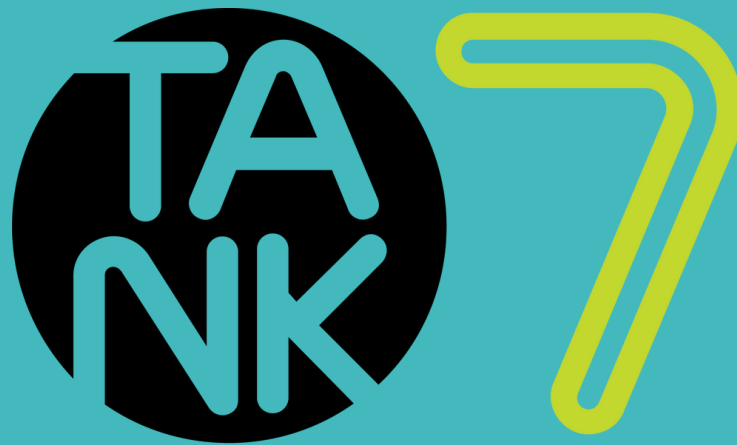
Trail Town Project

Since before 2017 the Shire of Nannup has been aspiring to be an accredited Trail Town. Since 2018, our Trail Town Journey has attracted more than \$4.5m investment from State and Federal funds and is predicted to attract more than 22,000 visitors, 61,400 visitor nights and generate \$12.0m in visitor expenditure.



YOUR TRAIL AWAITS

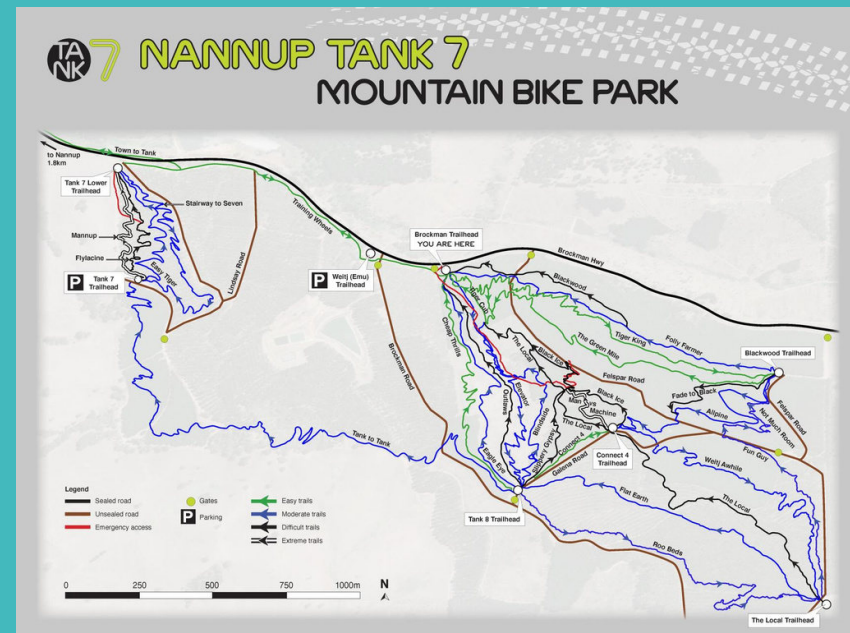




NANNUP MTB PARK

The Nannup Tank 7 Mountain Bike Park is located 2 kilometres east of Nannup town and opened in March 2022. The trails provide a rough, raw and rocky experience for mountain bike enthusiasts.

The extensive network includes 35km of track and is designed to maximise Nannup's natural elevation and make the most of its picturesque landscape, including forests of tall trees. The trails suit a range of abilities from beginners to more adventurous and experienced mountain bike riders.



YOUR TRAIL AWAITS



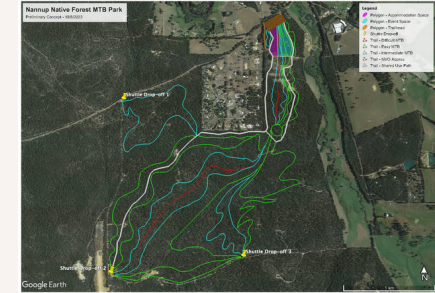
Mountain Bike Freestyle Jump Park



YOUR TRAIL AWAITS



Native Forest MTB Park



Nationally and internationally recognised trail construction company, World Trail, have been awarded the contract to develop the Native Forest MTB Park Concept Plan. World Trail have done extensive work in Derby, Tasmania, where Shire of Nannup staff visited in 2022.

They have designed United Cyclists International (UCI) level trails, built trails for the Commonwealth Games and International Downhill Mountain biking events in Queensland as well as International Gravity Enduro events in Tasmania.

The Concept Plan will outline potential trails and will adhere to guidelines informed by Aboriginal Cultural Heritage, flora, fauna and phytophthora dieback values.



YOUR TRAIL AWAITS



Munda Biddi Halfway Town



Shire of Nannup is promoted as the halfway town for the Munda Biddi Trail. This is to encourage riders of the trail, when planning their ride, to stay in Nannup for one or more nights.

It aims to have riders stay in local accommodation, eat out, conduct repairs and to restock their provisions. Many riders do the trail in sections and by promoting Nannup as the halfway town it sends the message that Nannup is a great starting, stopover or finishing point for their trail experience.



YOUR TRAIL AWAITS



Marinko Tomas Upgrades

As part of the official Nannup Munda Biddi Half Way Town launch, the Marinko Tomas Emu Nature Playground was also opened.

The playground includes a giant emu footprint, skeletal foot structures, an emu's nest. In April 2023 the flying fox was officially opened as an addition to the playground.



YOUR TRAIL AWAITS



UCI Gravel World Championships 2026

Nannup is hosting the UCI Gravel World Championships in 2026. It will be the first time this event has visited Australia.

Approximately 26,000 people are expected to visit Nannup for the event.

The Shire of Nannup are in communication with other Shires that have been through large scale events and are already planning for 2026.



YOUR TRAIL AWAITS





Action Register

Search Criteria

Showing Completed Items: Yes

Include Items Completed From: 01/07/2023

Generated By: Jo Barrett-Lennard

Generated On: 07/09/2023 at 1:57pm

Meeting Date	Item	Status	Action Required	Assignee/s	Action Taken	Due Date	Completed (Overdue)																		
			<div>5. Pursuant to r. 56 of the Regulations, should directions be given that modifications to Amendment 59 are required, direct these modifications to be undertaken accordingly, on behalf of the Council, unless they are considered by officers to significantly affect the purpose and intent of the Amendment, in which case the matter shall be formally referred back to the Council for assessment and determination</div> <div>CARRIED 7 / 0 EN BLOC</div>																						
26/07/2023	RFT 09/23 PARKS AND RESERVES	Completed	<div><div>COUNCIL DECISION</div><div>C2307/66 Moved Cr Paul Carter, seconded Cr Sue Riccelli</div><div>That the Council endorses the outcome of the evaluation panel’s assessment of RFT 09/23 Garden Maintenance Services and accepts the tender from Activ Foundation Inc as most advantageous.</div><div>CARRIED 7 / 0 EN BLOC</div></div> <div>Please action as per resolution.</div>	Iain Ferry	07/09/2023 Iain Ferry Tender has been awarded	02/08/2023	07/09/2023																		
26/07/2023	BUSINESS DEVELOPMENT, EVENTS AND MARKETING PROGRAM OUTCOMES - JUNE 2023	Completed	<div>Please action as per resolution.</div> <div><div>COUNCIL DECISION</div><div>C2307/67 Moved Cr Jodie Richards, seconded Cr Phill Cronin</div><div>That the Council:</div><div>1. Endorses the following multi year funding allocation, to be funded from the 2024/2025 - 2026/2027 Events Budgets:</div><table><tr><th>Event Name</th><th>Officer Recommendation (cash)</th><th>Officer Recommendation (in kind)</th></tr><tr><td rowspan="3">IRONMAN WA 2024 - 2026</td><td>2024/2025 \$200,000</td><td>2024/2025 \$20,000</td></tr><tr><td>2025/2026 \$200,000</td><td>2025/2026 \$20,000</td></tr><tr><td>2026/2027 \$200,000</td><td>2026/2027 \$20,000</td></tr><tr><td>TOTALS</td><td>2024/2025 \$200,000 2025/2026 \$200,000 2026/2027 \$200,000</td><td>2024/2025 \$20,000 2025/2026 \$20,000 2026/2027 \$20,000</td></tr></table><div>2. Endorses the following single year funding allocation, to be funded from the 2023/2024 Events and Marketing & Economic Development Budgets:</div><table><tr><th>Event Name</th><th>Officer Recommendation (2023/2024 Events Budget)</th><th>Officer Recommendation (2023/2024 Marketing & Economic Development Budgets)</th></tr><tr><td>Busselton Chamber of Commerce & Industry – Business Excellence Awards 2023</td><td>\$6,250</td><td>\$6250</td></tr><tr><td>TOTALS</td><td>\$6,250</td><td>\$6,250</td></tr></table></div> <div>Peta Pulford</div> <div>05/09/2023 Peta Pulford Two streams of Economic Development and Marketing funding have been developed. All associated application forms and guidelines have been produced. First round of funding for these streams are currently open for application, with closing date of 21 September 2023. Successful funding recipients of the Events Sponsorship (IRONMAN WA, BCCI Awards) have been advised of outcomes. Funding agreements are in progress, with full execution expected by end of September.</div> <div>02/08/2023</div> <div>05/09/2023</div>	Event Name	Officer Recommendation (cash)	Officer Recommendation (in kind)	IRONMAN WA 2024 - 2026	2024/2025 \$200,000	2024/2025 \$20,000	2025/2026 \$200,000	2025/2026 \$20,000	2026/2027 \$200,000	2026/2027 \$20,000	TOTALS	2024/2025 \$200,000 2025/2026 \$200,000 2026/2027 \$200,000	2024/2025 \$20,000 2025/2026 \$20,000 2026/2027 \$20,000	Event Name	Officer Recommendation (2023/2024 Events Budget)	Officer Recommendation (2023/2024 Marketing & Economic Development Budgets)	Busselton Chamber of Commerce & Industry – Business Excellence Awards 2023	\$6,250	\$6250	TOTALS	\$6,250	\$6,250
Event Name	Officer Recommendation (cash)	Officer Recommendation (in kind)																							
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Busselton Chamber of Commerce & Industry – Business Excellence Awards 2023	\$6,250	\$6250																							
TOTALS	\$6,250	\$6,250																							

Meeting Date	Item	Status	Action Required	Assignee/s	Action Taken	Due Date	Completed (Overdue)
			<p>3. Endorses the allocation of grant funding from the Marketing and Economic Development Initiatives budget through two (2) funding streams:</p> <p style="margin-left: 40px;">a. Economic Development and Marketing Grants; and b. Quick Response Grants</p> <p>4. Delegates authority to the Chief Executive Officer to approve applications for the Economic Development and Marketing Grants and the Quick Response Grants funding streams.</p> <p style="text-align: right;">CARRIED 7 / 0 BY ABSOLUTE MAJORITY</p>				
16/08/2023	Policy and Legislation Committee - 26/07/2023 - Dogs Local Law	Completed	<p>Please action as per resolution.</p> <p>COUNCIL DECISION</p> <p>C2308/78 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council:</p> <p>1. Commences the law-making process for the <i>City of Busselton Dogs Local Law 2023</i>; the purpose and effect of the local law being as follows:</p> <p style="margin-left: 40px;">Purpose: To repeal the Dogs Local Law of 2014 and make provisions about dogs which are permitted under the <i>Dog Act 1976</i>.</p> <p style="margin-left: 40px;">Effect: To provide Council with controls and regulatory measures in relation to matters such as the impounding of dogs, to control the number of dogs that can be kept on premises and the manner of keeping those dogs.</p> <p>2. Authorises the CEO to carry out the law-making procedure under section 3.12(3) of the <i>Local Government Act 1995</i>, by:</p> <p style="margin-left: 40px;">(a) Giving local public notice of the Proposed Local Law; and</p> <p style="margin-left: 40px;">(b) Giving a copy of the Proposed Local Law and public notice to the Minister for Local Government.</p> <p>3. Notes that the CEO, after the close of the public consultation period, will submit a report to the Council on any submissions received on the Proposed Local Law to enable the Council to consider the submissions made and to determine whether to make the local law in accordance with section 3.12(4) of the Act.</p> <p style="text-align: right;">CARRIED 7 / 0 EN BLOC</p>	Briony McGinty	06/09/2023 Briony McGinty Local Law advertised and sent to Minister.	23/08/2023	06/09/2023

16/08/2023	Policy and Legislation Committee - 26/07/2023- Delegation of Power to Dispose of Residential Property by Lease	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/79 Moved Cr Anne Ryan, seconded Cr Kate Cox</p> <p>That the Council adopts the instrument of delegation at Attachment 1.</p> <p>CARRIED 7 / 0 BY ABSOLUTE MAJORITY</p> </div>	Ann Strang, Sarah Pierson	<p>31/08/2023 Ann Strang No action required by Property Services, forwarded to Governance to amend delegation register.</p> <p>06/09/2023 Sarah Pierson Delegation register amended</p>	31/08/2023	06/09/2023
16/08/2023	Policy and Legislation Committee - 26/07/2023 - Review of the Policy and Legislation Committee	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/80 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council</p> <ol style="list-style-type: none"> notes the outcome of the evaluation of the Policy and Legislation Committee's (the Committee) effectiveness, in accordance with clause 8 of the Committee's Terms of Reference; acknowledge that while the Committee is operating effectively, increased information and training for members would further improve its effectiveness and requests the CEO consider how this can be actioned; Endorses the amendments proposed to the Committee's Terms of Reference as per Attachment 1. <p>CARRIED 7 / 0 EN BLOC</p> </div>	Jo Barrett-Lennard	<p>31/08/2023 Jo Barrett-Lennard ToR Updated on City Website</p>	23/08/2023	04/09/2023
16/08/2023	Policy and Legislation Committee - 26/07/2023 - RESCISSION OF COUNCIL POLICY 'SWEARING IN OF ELECTED MEMBERS'	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/81 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council rescind Council Policy 'Swearing in of Elected Members' (Attachment 1), effective immediately.</p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Jo Barrett-Lennard	<p>31/08/2023 Jo Barrett-Lennard Policy removed from website and moved to 'Rescinded' folder</p>	23/08/2023	31/08/2023

16/08/2023	Policy and Legislation Committee - 26/07/2023 - REVIEW OF COUNCIL POLICY 'FEES, ALLOWANCES AND EXPENSES FOR ELECTED MEMBERS'	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/82 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council adopts the amended Council Policy 'Elected Member Fees, Allowances and Expenses' (Attachment 1), to replace the current policy titled 'Fees, Allowances and Expenses for Elected Members' (Attachment 2), inclusive of Committee amendments so that the following points read as follows, with subsequent renumbering as required:</p> <p>5.5 As per Section 5.99 of the Act, Elected Members will be paid an annual attendance fee in lieu of fees for attending meetings referred to in Section 5.98(1) of the Act. Elected Members will be paid an annual fee within the relevant band set out in the Determination, as set each year by Council through the adoption of its budget.</p> <p>5.8 Any equipment provided in accordance with this policy must be returned to the City at the expiry of an Elected Members term. After having served a minimum of 24 months, an Elected Member may on retiring choose to keep the equipment, subject to it being cleared by the City's IT department.</p> <p>5.18 Spouse/ partner attendance on City sanctioned activities must be approved by the Mayor and CEO and will be at the Elected Member's expense. <i>(new)</i></p> <p>5.19 The City will also meet the following expenses:</p> <ul style="list-style-type: none"> a. cost of laundry for Elected Member for greater than 5 nights; b. reimbursement of taxi fares or other public transport where these directly relate to the activity and no other transport is provided; c. reimbursement of a daily sustenance allowance per day, in accordance with the Public Service Award 1992; d. specific conference / event related meals. <p>5.27 In addition to their entitlements as an Elected Member under this Policy, the Mayor is eligible for a Mayoral allowance in accordance with the Act. The Mayor will be paid an allowance within the relevant Band set out in the Determination, as set each year by Council through adoption of its budget. <i>(previously 5.26)</i></p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Jo Barrett-Lennard	31/08/2023 Jo Barrett-Lennard Policy updated, updated version on website	23/08/2023	31/08/2023
16/08/2023	Policy and Legislation Committee - 26/07/2023 - REVIEW OF COUNCIL POLICY 'DESIGNATION OF SENIOR EMPLOYEE AND ACTING CEO'	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/83 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council adopts the amended Council Policy 'Designation of Senior Employees and Acting CEO' (Attachment 1), to replace the current policy (Attachment 2).</p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Jo Barrett-Lennard	<p>31/08/2023 Jo Barrett-Lennard Policy 'Designation of Senior Employees and Acting CEO' removed from website, moved to 'Rescinded' folder in ECM.</p> <p>New Policy "Acting CEO" has been adopted and added to Website.</p>	23/08/2023	06/09/2023

16/08/2023	Policy and Legislation Committee - 26/07/2023 - REVIEW OF COUNCIL POLICY 'CLOSED CIRCUIT TELEVISION SYSTEMS'	Completed	<div>Please action as per resolution.</div> <div><div><div><div>COUNCIL DECISION</div><div>C2308/84 Moved Cr Paul Carter, seconded Cr Phill Cronin</div><div>That the Council adopts the amended Council policy: Closed Circuit Television Systems (the Policy) (Attachment 1) to replace the current policy (Attachment 2).</div><div>CARRIED 7 / 0 EN BLOC</div></div></div></div>	Jo Barrett-Lennard	31/08/2023 Jo Barrett-Lennard Policy updated	23/08/2023	06/09/2023								
16/08/2023	Finance Committee - 09/08/2023 - Rate Exemption - Lamp Inc.	Completed	<div>Please action as per resolution.</div> <div><div><div><div>COUNCIL DECISION</div><div>C2308/87 Moved Cr Paul Carter, seconded Cr Phill Cronin</div><div>That the Council:<div><div>1. Grant rate exemption to Lamp Inc. for 224 Bussell Highway WEST BUSSELTON, effective from the 27th of June 2023 application date, under section 6.26(2)(d) of the <i>Local Government Act 1995</i>;</div><div>2. Agree that this rate exemption is to continue where Lamp Inc. continue to own and use the property as stated in the application at Attachment A;</div><div>3. Continue to advocate, through the South West Zone of WALGA, for a review of Rating Exemptions; and</div><div>4. Continue to note in the City’s Annual Report the annual total cost to the City of rating exemptions.</div></div></div><div>CARRIED 7 / 0 EN BLOC</div></div></div></div>	David Nicholson	31/08/2023 David Nicholson Rate exemption applied.	23/08/2023	31/08/2023								
16/08/2023	Amendment 54 to Local Planning Scheme 21 Lot 2883 Puzey Road, Wilyabrup	In Progress	<div>Please action as per resolution.</div> <div><div><div><div>COUNCIL DECISION</div><div>C2308/88 Moved Cr Paul Carter, seconded Cr Phill Cronin</div><div>That the Council:<div><div>1. In pursuance of the Planning and Development Act (Local Planning Schemes) Regulations 2015 (the Regulations) adopts Amendment 54 to the City of Busselton Local Planning Scheme 21 (the Scheme) for final approval, for the purposes of:<div><div>a) Inserting a new ‘Special Provision Area 76’ as follows:</div><table><tr><th>No.</th><th>Particulars of Land</th><th>Zone</th><th>Special Provisions</th></tr><tr><td>SP76</td><td>Strata Lots 20, 21, 31, 37, 46 and 47 on Survey-Strata</td><td>Viticulture and Tourism</td><td>For Lots 20, 21, 31, 37, 46 and 47, as shown on the current Strata Plan 54626 (approved on 24 December 2021), one Chalet per lot is permitted as unrestricted length of stay.</td></tr></table></div></div></div></div></div></div></div>	No.	Particulars of Land	Zone	Special Provisions	SP76	Strata Lots 20, 21, 31, 37, 46 and 47 on Survey-Strata	Viticulture and Tourism	For Lots 20, 21, 31, 37, 46 and 47, as shown on the current Strata Plan 54626 (approved on 24 December 2021), one Chalet per lot is permitted as unrestricted length of stay.	David Sands	Letter drafted, to be sent once approved by CEO.	23/08/2023	
No.	Particulars of Land	Zone	Special Provisions												
SP76	Strata Lots 20, 21, 31, 37, 46 and 47 on Survey-Strata	Viticulture and Tourism	For Lots 20, 21, 31, 37, 46 and 47, as shown on the current Strata Plan 54626 (approved on 24 December 2021), one Chalet per lot is permitted as unrestricted length of stay.												

			<div> <div>Plan 54626 (Lot 2883) Puzey Road, Wilyabrup</div> <div>** removed for brevity</div> <div>CARRIED 7 / 0 EN BLOC</div> </div>				
16/08/2023	Proposed Amendment 56 to Local Planning Scheme 21 Special Character Area	In Progress	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/90 Moved Cr Phill Cronin, seconded Cr Anne Ryan</p> <p>That the Council:</p> <ol style="list-style-type: none"> In pursuance of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> (the Regulations) initiates Amendment 56 to the City of Busselton Local Planning Scheme No. 21 (the Scheme) for community consultation for the purposes of: <ol style="list-style-type: none"> Amending clause 5.7.3 to read as follows: <ol style="list-style-type: none"> 5.7.3 Where such objectives, provisions and/or controls are specified in Schedule 4 in relation to a designated Special Character Area, those objectives, provisions and/or controls act in conjunction with the other provisions of this Scheme relevant to that area. Pursuant to r.35(2) determine that Amendment 56 is a 'standard amendment' as it is: <ol style="list-style-type: none"> An amendment that would have minimal impact on land in the scheme area that is not the subject of the amendment; An amendment that does not result in any significant environmental, social, economic or governance impacts on land in the Scheme area; and Any other amendment that is not a complex or basic amendment. <p>** removed for brevity</p> <p>CARRIED 6 / 0 BY ABSOLUTE MAJORITY</p> </div>	Justin Biggar	01/09/2023 Justin Biggar Amendment report prepared, waiting for signature then will be sent to the EPA and the Minister for consent to start advertising.	23/08/2023	
16/08/2023	PROPOSED ABBEY SOUTH STRUCTURE PLAN AND ASSOCIATED AMENDMENT NO. 55 TO LOCAL PLANNING SCHEME NO. 21 - CONSIDERATION FOR FINAL APPROVAL	In Progress	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/91 Moved Cr Kate Cox, seconded Cr Jodie Richards</p> <p>That the Council:</p> <ol style="list-style-type: none"> Pursuant to Part 4 of Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> (the Regulations), adopts the Abbey South Structure Plan at Attachment 2 for final approval, in accordance with the modifications proposed in the Schedule of Modifications at Attachment 7. <p>** removed for brevity</p> <p>CARRIED 6 / 1 FOR: Cr Grant Henley, Cr Paul Carter, Cr Jodie Richards, Cr Kate Cox, Cr Phill Cronin and Cr Ross Paine AGAINST: Cr Anne Ryan</p> </div>	Noah Scott-McDonald	06/09/2023 Noah Scott-McDonald Amendment document has been forwarded to the Deputy Mayor for signing.	23/08/2023	Overdue

16/08/2023	APPLICATION FOR DEVELOPMENT APPROVAL (DA21/0822) - PROPOSED EXTRACTIVE (SAND) - LOT 4205 GALE ROAD KALOORUP	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/92 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council:</p> <ol style="list-style-type: none"> 1. That application DA21/0822 submitted for development of Industry – Extractive (Sand) at Lot 4205 Gale Road Kaloorup is considered by the Council to be generally consistent with Local Planning Scheme No. 21 and the objectives of the zone within which it is located. 2. That Development Approval is granted for the proposal referred to in (1) above subject to the following conditions: <p>GENERAL CONDITIONS</p> <ol style="list-style-type: none"> 1. The development hereby approved is permitted to operate for five years from the date of this Decision Notice. The site shall be fully rehabilitated in accordance with the approved development plans before the expiry date of this development approval. 2. The owner must ensure that the development is undertaken in accordance with the approved development plans, the following management plans and any plans or details approved pursuant to other conditions of this approval: <ol style="list-style-type: none"> 2.1 Excavation – Rehabilitation Management Plan (Landform Research) dated 8 August 2023; and 2.2 Water Management Plan (Accendo Australia) dated August 2023. <p>Where there is a conflict between a provision contained within a condition of this development approval and a provision contained within one of the plans listed above, the requirements of the condition shall prevail.</p> <p><i>** removed for brevity</i></p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Kellie Woodcoe-Bryant, Louise Hughes	07/09/2023 Kellie Woodcoe-Bryant DA Issued 30/8/2023	23/08/2023	Completed
16/08/2023	NAMING PORT GEOGRAPHE COVES AND PARKS	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/93 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council:</p> <ol style="list-style-type: none"> 1. That the Council approve the suggested names in this report resulting from consultation with representatives of the Traditional Owners of the Port Geographe area. 2. That the Council approve for the City Officer to submit an application with Landgate for using the names in the Port Geographe area. <p>CARRIED 7 / 0 EN BLOC</p> </div>	Daniell Abrahamse	07/09/2023 Daniell Abrahamse The City has received approval from Landgate of the proposed names and will be obtaining quotes to manufacture and install the signs as soon as possible.	23/08/2023	07/09/2023

16/08/2023	RFT10/23 Arboriculture Services	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/94 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council endorses the outcome of the evaluation panel's assessment of RFT10/23 Arboriculture Services and accepts the tender from Fine Brand Pty Ltd as trustee for Guy Badger Family Trust trading as Arbor Guy as most advantageous.</p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Iain Ferry	<p>07/09/2023 Iain Ferry Tender has been awarded</p>	23/08/2023	07/09/2023
16/08/2023	Council Policy - Appointment of Acting Chief Executive Officer	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2308/96 Moved Cr Paul Carter, seconded Cr Phill Cronin</p> <p>That the Council adopt the Council Policy 'Appointment of Acting Chief Executive Officer' as per Attachment 1.</p> <p>CARRIED 7 / 0 EN BLOC</p> </div>	Jo Barrett-Lennard	<p>31/08/2023 Jo Barrett-Lennard Policy adopted and uploaded to website.</p>	23/08/2023	01/09/2023
25/12/2030	Policy and Legislation Committee - 10/5/2023 - CONSOLIDATED PARKING SCHEME AMENDMENT - PROWSE WAY, DUNSBOROUGH	Awaiting external response	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2306/109 Moved Councillor P Cronin, seconded Councillor J Richards</p> <p>That the Council:</p> <ol style="list-style-type: none"> Resolves, pursuant to clause 2.1(1)(a) of the City of Busselton <i>Parking Local Law 2020</i>, that the bend abutting 17 Prowse Way, Dunsborough be determined a no-stopping road or verge area as shown in the attached Line Marking and Sign Installation Plan (Attachment A); Notes: <ol style="list-style-type: none"> that the resolution will take affect after the giving of public notice by the CEO; and the Consolidated Parking Scheme will be amended to reflect the resolution. <p>CARRIED 8/0</p> <p>EN BLOC</p> </div>	Ian McDowell	<p>03/08/2023 Ian McDowell</p> <ol style="list-style-type: none"> The Consolidated Parking Scheme has been amended to reflect this new restriction. Public Notice of the amendment to the scheme was published on the City's website on Monday, 3 July 2023; and in the local newspaper on Friday, 7 July 2023. A CRM has been raised and assigned to EWS to carry out the line marking, and install the regulatory signage. CRM WE23/1610 refers. <p>07/08/2023 Ian McDowell No Stopping Signs have been installed. Line marking to be carried out in the next 1-2 weeks.</p>	01/01/2031	

25/12/2030	Audit and Risk Committee - 7/6/2023 - CEO REVIEW OF SYSTEMS AND PROCEDURES (REG 17)	In Progress	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2306/111 Moved Councillor P Cronin, seconded Councillor J Richards</p> <p>That the Council</p> <ol style="list-style-type: none"> 1. Accept the CEO's Regulation 17 review of the appropriateness and effectiveness of the City of Busselton systems and procedures in relation to risk management, internal control and legislative compliance; and 2. request that the Chief Executive Officer provide quarterly updates to the Audit and Risk Committee on the progress of the recommendations for improvement identified as part of the review. <p>CARRIED 8/0 EN BLOC</p> </div>	Tim Allingham	<p>01/09/2023 Tim Allingham Confirmed with Governance that this item should be transferred to Director FCS.</p> <p>Transferred to Governance .</p>	01/01/2031	
25/12/2030	Policy and Legislation Committee - 10/5/2023 - BUSHFIRES BRIGADES LOCAL LAW	Completed	<p>Please action as per resolution.</p> <div> <p>COUNCIL DECISION</p> <p>C2306/121 Moved Councillor K Cox, seconded Councillor R Paine</p> <p>That the Council:</p> <ol style="list-style-type: none"> 1. Commences the law-making process for the City of Busselton Bush Fire Brigades Local Law; the purpose and effect of the local law being as follows: Purpose: To make provisions about the organisation, establishment, maintenance and equipment of bush fire brigades. Effect: Bush fire brigades are created in accordance with the <i>Bush Fires Act 1954</i>. 2. Authorises the CEO to carry out the law-making procedure under section 3.12(3) of the <i>Local Government Act 1995</i>, by: <ol style="list-style-type: none"> (a) Giving local public notice of the Proposed Local Law; and (b) Giving a copy of the Proposed Local Law and public notice to the Minister for Local Government and the Minister for Emergency Services. 3. Notes that the CEO, after the close of the public consultation period, will submit a report to the Council on any submissions received on the Proposed Local Law to enable the Council to consider the submissions made and to determine whether to make the local law in accordance with section 3.12(4) of the Act. <p>CARRIED 8 / 0</p> </div>	Briony McGinty	<p>03/08/2023 Briony McGinty Local public notice done. Letters to Minister for LG and ES done. Waiting for close of submission period before referring back to Council.</p>	01/01/2031	06/09/2023

25/12/2030	Policy and Legislation Committee - 10/5/2023 - PROPOSED LOCAL PLANNING POLICY: IDENTIFICATION OF COMPLEX DEVELOPMENT APPLICATIONS - CONSIDERATION OF ADOPTION FOR ADVERTISING	Completed	<p>Please action as per resolution.</p> <div> <p><u>COUNCIL DECISION</u></p> <p>C2306/108 Moved Councillor P Cronin, seconded Councillor J Richards</p> <p>That the Council, pursuant to clauses 3 and 4 of Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>, prepare and advertise Draft Local Planning Policy: Complex Development Applications (the Draft Policy) (Attachment A) as a draft local planning policy.</p> <p>CARRIED 8/0</p> </div>	Paul Needham	05/09/2023 Paul Needham Draft LPP advertised and follow-up report prepared for September Policy & Legislation Committee meeting.	01/01/2031	05/09/2023
25/12/2030	RFT 06/23 Mechanical Services	Completed	<p>Please action as per resolution.</p> <div> <p><u>COUNCIL DECISION</u></p> <p>C2306/116 Moved Councillor P Cronin, seconded Councillor J Richards</p> <p>That the Council</p> <ol style="list-style-type: none"> 1. endorses the outcome of the evaluation panel's assessment of RFT06/23 Mechanical Services and 2. accepts the tender from CBRE (GWSLA) Pty Ltd in respect of SP1 Mechanical Services to the City of Busselton Administration Building and SP2 Mechanical Services to all City of Busselton owned facilities and buildings (excluding the Administration building) as the most advantageous tender. <p>CARRIED 8/0</p> </div>	Oliver Darby	07/09/2023 John Farrier Tender awarded as per council resolution	01/01/2031	07/09/2023
25/12/2030	Airport Advisory Committee - 20/10/2021 - BUSSELTON MARGARET RIVER AIRPORT OPERATIONS UPDATE	Completed	<p>Please action as per resolution.</p> <div> <p><u>COUNCIL DECISION</u></p> <p>C2111/082 Moved Councillor P Carter, seconded Councillor A Ryan</p> <p>That the Council receives and notes the Airport Operations Report and requests that the Chief Executive Officer investigates the potential for recreational helicopter flights to operate from the Busselton Jetty.</p> <p>CARRIED 9 / 0</p> </div>	Jennifer May	07/09/2023 Jo Barrett-Lennard Completed	01/01/2031	07/09/2023

25/12/2030	EXPRESSION OF INTEREST - RESERVE 46187 LOT 448 MARINE TERRACE; OLD TENNIS CLUB BUILDING	Not yet started	<div> <p>COUNCIL DECISION C2112/119 Moved Councillor A Ryan, seconded Councillor P Cronin That the Council:</p> <ol style="list-style-type: none"> 1. Acknowledges the receipt of two responses to a publicly advertised expression of interest process seeking a commercial operator to lease Reserve 46187 – Lot 448 Marine Terrace to operate a business venture consistent with the permissible building uses. 2. Nominates Geographe Bay Brewing Co. as the ‘preferred proponent’ for a period of 6 months, as potential future lessee of Reserve 46187 – Lot 448 Marine Terrace, Busselton. 3. Authorises the CEO to continue negotiations with the Department of Planning, Lands and Heritage to change the purpose of Lot 448 on Reserve 46187 and agree the terms of head lease with the State Government. 4. Subject to the outcome of recommendation 3 above, authorises the CEO to enter into negotiations for the terms and conditions of a sub-lease with Geographe Bay Brewing Co, including ground rent, lease term, asset management, potential landscaping proposals and any legal considerations to operate a commercial venture and return to Council with recommendations in relation to the heads of terms. <p>CARRIED 9 / 0</p> </div> <p>Please action as per resolution.</p>	Jennifer May, Tiffany Sweatman		29/09/2023	
25/12/2030	RESERVE 46187 LOT 448 MARINE TERRACE: OLD TENNIS CLUB BUILDING PREFERRED PROPONENT EXTENSION	In Progress	<div> <p>COUNCIL DECISION C2302/024 Moved Councillor P Carter, seconded Councillor K Cox That the Council extends the ‘preferred proponent’ status for Geographe Bay Brewing Co. as potential lessee of Reserve 46187 – Lot 448 Marine Terrace, Busselton until 31 December 2023</p> <p>CARRIED 9 / 0 FOR: Cr Grant Henley, Cr Paul Carter, Cr Anne Ryan, Cr Jodie Richards, Cr Kate Cox, Cr Phill Cronin, Cr Sue Riccelli, Cr Mikayla Love and Cr Ross Paine AGAINST: Nil</p> </div> <p>Please action as per resolution.</p>	Maxine Palmer, Tiffany Sweatman	<p>03/08/2023 Tiffany Sweatman Working with DLPH with regards to terms of the headlease and proposed commercial use. Further information has been requested to justify our request for a nominal rent headlease on the basis of placing the income from the sublease into the Jetty Maintenance Reserve. Teams meeting has been sent up, which had to be rescheduled due to absence.</p>	01/01/2031	

