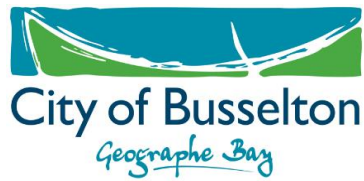


## SUPPLEMENTARY AGENDA 13 DECEMBER 2023 ATTACHMENTS

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**CITY OF BUSSELTON  
MONTHLY FINANCIAL REPORT  
For the period ended 31st October 2023**

***LOCAL GOVERNMENT ACT 1995  
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996***

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**City of Busselton****Statement of Financial Activity****Year to Date As At 31st October 2023**

	Note	2023/2024 Actual YTD	2023/2024 Amended Budget YTD	2023/2024 Original Budget YTD	2023/2024 Amended Budget	2023/2024 Original Budget	2023/24 YTD Bud (A) Variance	2023/24 YTD Bud (A) Variance
		\$	\$	\$	\$	\$	%	\$
<b>Operating Activities</b>								
<b>Revenue from Operating Activities</b>								
Rates		60,124,598	60,162,379	60,162,379	60,395,882	60,395,882	(0.06%)	(37,781)
Grants, Subsidies and Contributions	3.1	1,126,118	611,577	611,577	5,325,685	5,325,685	84.13%	514,541
Fees & Charges		13,204,514	12,424,740	12,424,740	22,404,393	22,404,393	6.28%	779,774
Other Revenue	3.2	194,390	67,970	67,970	334,932	334,932	185.99%	126,420
Interest Earnings	3.3	2,194,250	1,817,117	1,817,117	4,305,492	4,305,492	20.75%	377,133
Profit on Asset Disposals		97,808	5,754	5,754	24,120	24,120	1599.83%	92,054
		<b>76,941,678</b>	<b>75,089,537</b>	<b>75,089,537</b>	<b>92,790,504</b>	<b>92,790,504</b>	<b>2.47%</b>	<b>1,852,141</b>
<b>Expenses from Operating Activities</b>								
Employee Costs		(13,070,143)	(11,893,675)	(11,893,675)	(37,929,304)	(37,929,304)	(9.89%)	(1,176,468)
Materials & Contracts	3.4	(5,936,515)	(9,606,470)	(9,606,470)	(29,072,925)	(29,072,925)	38.20%	3,669,955
Utilities (Gas, Electricity, Water etc)	3.5	(673,768)	(850,283)	(850,283)	(2,980,399)	(2,980,399)	20.76%	176,516
Depreciation on non current assets		(9,076,840)	(8,625,758)	(8,625,758)	(25,541,373)	(25,541,373)	(5.23%)	(451,082)
Finance Costs		(478,768)	(470,975)	(470,975)	(1,749,875)	(1,749,875)	(1.65%)	(7,793)
Insurance Expenses		(883,198)	(808,452)	(808,452)	(894,395)	(894,395)	(9.25%)	(74,746)
Other Expenditure	3.6	(344,966)	(1,796,497)	(1,796,497)	(6,823,844)	(6,823,844)	80.80%	1,451,531
Allocations		242,142	665,535	665,535	1,996,605	1,996,605	63.62%	(423,393)
Loss on Asset Disposals		(62,777)	(25,300)	(25,300)	(205,278)	(205,278)	(148.13%)	(37,477)
		<b>(30,284,833)</b>	<b>(33,411,876)</b>	<b>(33,411,876)</b>	<b>(103,200,789)</b>	<b>(103,200,789)</b>	<b>9.36%</b>	<b>3,127,042</b>
Non-Cash Amounts Excluded from Operating Activities	2	9,083,598	8,645,304	8,645,304	16,372,855	16,372,855	5.07%	438,294
<b>Amount Attributable to Operating Activities</b>		<b>55,740,443</b>	<b>50,322,965</b>	<b>50,322,965</b>	<b>5,962,570</b>	<b>5,962,570</b>	<b>10.77%</b>	<b>5,417,478</b>
<b>Investing Activities</b>								
Capital Grants, Subsidies and Contributions	3.7	194,855	26,430	26,430	19,649,075	19,649,075	637.25%	168,425
Land & Buildings	3.8	(4,235,724)	(12,513,666)	(12,513,666)	(29,976,325)	(29,976,325)	66.15%	8,277,942
Plant & Equipment	3.9	(216,087)	(554,532)	(554,532)	(6,078,421)	(6,078,421)	61.03%	338,445
Furniture & Equipment	3.10	(64,401)	(558,902)	(558,902)	(1,510,209)	(1,510,209)	88.48%	494,501
Infrastructure	3.11	(2,180,399)	(5,731,161)	(5,791,494)	(21,896,529)	(21,896,529)	61.96%	3,550,761
Proceeds from Sale of Assets	3.12	204,487	135,300	135,300	863,800	863,800	51.14%	69,187
Self Supporting Loans - Repayment of Principal		53,569	42,502	42,502	193,385	193,385	26.04%	11,067
<b>Amount Attributable to Investing Activities</b>		<b>(6,243,701)</b>	<b>(19,154,029)</b>	<b>(19,214,362)</b>	<b>(38,755,225)</b>	<b>(38,755,225)</b>	<b>67.40%</b>	<b>12,910,329</b>
<b>Financing Activities</b>								
Repayment of Borrowings		(1,422,725)	(1,411,413)	(1,411,413)	(4,738,701)	(4,738,701)	(0.80%)	(11,312)
Principal Elements of Finance Lease Payments		(65,594)	(85,769)	(85,769)	(114,651)	(114,651)	23.52%	20,175
Proceeds from New Loans	3.13	0	1,750,000	1,750,000	2,000,000	2,000,000	100.00%	(1,750,000)
Advances to Community Groups		0	0	0	(250,000)	(250,000)	0.00%	0
Transfer to Restricted Assets	3.14	(5,162,473)	0	0	(11,180)	(11,180)	(100.00%)	(5,162,473)
Transfer from Restricted Assets	3.15	4,909,337	6,854,360	6,854,360	20,563,074	20,563,074	(28.38%)	(1,945,023)
Transfer to Reserves		(21,634,770)	(21,667,925)	(21,667,925)	(39,002,738)	(39,002,738)	0.15%	33,154
Transfer from Reserves	3.16	17,918,765	13,960,712	13,960,712	52,392,260	52,392,260	28.35%	3,958,053
<b>Amount Attributable to Financing Activities</b>		<b>(5,457,462)</b>	<b>(600,035)</b>	<b>(600,035)</b>	<b>30,838,065</b>	<b>30,838,065</b>	<b>809.52%</b>	<b>(4,857,427)</b>
<b>Opening Funds Surplus/ (Deficit)</b>		<b>1,954,590</b>	<b>1,954,590</b>	<b>1,954,590</b>	<b>1,954,590</b>	<b>1,954,590</b>		
<b>Amount Attributable to Operating Activities</b>		<b>55,740,443</b>	<b>50,322,965</b>	<b>50,322,965</b>	<b>5,962,570</b>	<b>5,962,570</b>		
<b>Amount Attributable to Investing Activities</b>		<b>(6,243,701)</b>	<b>(19,154,029)</b>	<b>(19,214,362)</b>	<b>(38,755,225)</b>	<b>(38,755,225)</b>		
<b>Amount Attributable to Financing Activities</b>		<b>(5,457,462)</b>	<b>(600,035)</b>	<b>(600,035)</b>	<b>30,838,065</b>	<b>30,838,065</b>		
<b>Net Current Position - Surplus / (Deficit)</b>	<b>2</b>	<b>45,993,871</b>	<b>32,523,491</b>	<b>32,463,158</b>	<b>0</b>	<b>0</b>	<b>41.42%</b>	<b>13,470,379</b>

**City of Busselton**  
**Statement of Financial Position**  
**Year to Date As At 31st October 2023**

	2023/24 YTD Actual	2022/23 Actual
	\$	\$
<b>Current Assets</b>		
Cash & Cash Equivalents	44,534,708	21,032,276
Trade & Other Receivables - Current	26,861,155	3,750,792
Other Financial Assets	94,682,579	94,682,579
Inventories	1,272,715	1,272,715
Contract Assets	309,426	309,426
Other Assets	1,123,408	483,906
Non-Current Assets Held for Sale	0	0
<b>Total Current Assets</b>	<b>168,783,990</b>	<b>121,531,695</b>
<b>Non Current Assets</b>		
Other Receivables	603,735	678,222
Other Financial Assets	1,423,229	1,431,938
Property, Plant & Equipment	201,963,806	199,363,753
Infrastructure	646,445,795	651,595,672
Contract Assets	7,672,464	7,672,464
Right of Use Assets Furniture & Equipment	104,784	104,784
<b>Total Non Current Assets</b>	<b>858,213,813</b>	<b>860,846,832</b>
<b>Total Assets</b>	<b>1,026,997,803</b>	<b>982,378,526</b>
<b>Current Liabilities</b>		
Trade & Other Payables	8,407,199	8,873,525
Contract Liabilities	1,266,220	1,266,220
Grant Liabilities	984,500	984,500
Lease Liabilities	51,802	117,396
Borrowings	4,620,953	4,620,953
Employee Provisions	5,885,190	5,885,190
Other Provisions	3,012,750	6,504,000
<b>Total Current Liabilities</b>	<b>24,228,614</b>	<b>28,251,784</b>
<b>Non Current Liabilities</b>		
Sundry Payable	0	0
Contract Liabilities	9,281,406	9,205,220
Grant Liabilities	9,998,485	6,861,059
Lease Liabilities	72,873	72,873
Borrowings	42,198,475	43,621,201
Employee Provisions	577,890	577,890
<b>Total Non Current Liabilities</b>	<b>62,129,130</b>	<b>60,338,243</b>
<b>Total Liabilities</b>	<b>86,357,744</b>	<b>88,590,027</b>
<b>Net Assets</b>	<b>940,640,060</b>	<b>893,788,500</b>
<b>Equity</b>		
Retained Surplus	526,958,907	483,823,213
Reserves	81,854,186	78,138,181
Revaluation Surplus	331,826,966	331,827,106
<b>Total Equity</b>	<b>940,640,060</b>	<b>893,788,500</b>



## CITY OF BUSSELTON

## NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY

For the period ended 31st October 2023

## Note 1 BASIS OF PREPARATION AND SIGNIFICANT ACCOUNTING POLICIES

## BASIS OF PREPARATION

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

**Local Government Act 1995 requirements**

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996*, prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the City to measure any vested improvements at zero cost.

*Local Government (Financial Management) Regulations 1996*, regulation 34 prescribes contents of the financial report. Supporting information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

**THE LOCAL GOVERNMENT REPORTING ENTITY**

All funds through which the City controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

**Judgements and estimates**

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation of fair values of land and buildings, infrastructure and investment property
- estimation uncertainties made in relation to lease accounting
- estimated useful life of intangible assets

**SIGNIFICANT ACCOUNTING POLICIES**

Significant accounting policies utilised in the preparation of these statements are as described within the 2023-24 Annual Budget. Please refer to the adopted budget document for details of these policies.

**PREPARATION TIMING AND REVIEW**

Date prepared: All known transactions YTD

**CITY OF BUSSELTON**  
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY**  
**For the period ended 31st October 2023**

**Note 2 STATEMENT OF FINANCIAL ACTIVITY INFORMATION**

	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Oct-23
<b>Net current assets used in the Statement of Financial Activity</b>			
<b>Current assets</b>	\$	\$	\$
Cash and cash equivalents	79,919,613	115,532,276	139,034,707
Trade and other receivables	2,523,748	2,734,377	26,861,582
Inventories	1,200,000	1,272,715	1,272,715
	83,643,361	119,539,369	167,169,005
<b>Less: current liabilities</b>			
Trade and other payables	3,765,648	3,765,648	3,386,862
Other liabilities	6,627,934	7,492,033	8,233,949
	10,393,582	11,257,681	11,620,812
<b>Net current assets</b>	<b>73,249,779</b>	<b>108,281,688</b>	<b>155,548,193</b>
<b>Less: Total adjustments to net current assets</b>	(c) (73,249,779)	(106,327,097)	(109,554,323)
<b>Closing funding surplus / (deficit)</b>	<b>0</b>	<b>1,954,590</b>	<b>45,993,871</b>

**(a) Non-cash amounts excluded from Net Current Position**

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Oct-23
<b>Non-cash amounts excluded from operating activities</b>	\$	\$	\$
<b>Adjustments to operating activities</b>			
Less: Profit on asset disposals	(24,120)	(200,266)	(97,808)
Less: Movement in finance leases	0	(47,238)	0
Less: Movement in prepayments	0	(130,714)	(627,450)
Less: Fair value adjustments to financial assets at amortised cost	0	(6,450)	0
Less: Movement in pensioner deferred rates (non-current)	0	(49,608)	18,573
Less: Movement in employee benefit provisions (non-current)	0	(69,787)	(3,491,250)
Add: Loss on disposal of assets	205,278	65,445	62,777
Less: Right of Use Assets (Depreciation)	0	(237,950)	0
Add: Depreciation on non-current assets	25,541,373	26,623,193	9,076,840
<b>Total non-cash amounts excluded from operating activities</b>	<b>25,722,531</b>	<b>25,946,624</b>	<b>4,941,681</b>

**(b) Non-cash amounts excluded from investing activities**

The following non-cash revenue and expenditure has been excluded from investing activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

<b>Adjustments to investing activities</b>			
Infrastructure received for substantially less than fair value	(9,300,000)	(5,204,907)	0
Movement in current liabilities for transfers to acquire or construct non-financial assets to be controlled by the entity associated with restricted cash	(49,677)	2,037,309	4,141,917
<b>Total non-cash amounts excluded from investing activities</b>	<b>(9,349,677)</b>	<b>(3,167,599)</b>	<b>4,141,917</b>
<b>Total non-cash amounts excluded from Net Current Position</b>	<b>16,372,854</b>	<b>22,779,026</b>	<b>9,083,598</b>

**(c) Current assets and liabilities excluded from budgeted deficiency**

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with *Financial Management Regulation 32* to agree to the surplus/(deficit) after imposition of general rates.

	Adopted Budget Closing 30-Jun-24	Last Year Closing 30-Jun-23	Year to Date 31-Oct-23
<b>Adjustments to net current assets</b>	\$	\$	\$
Less: Reserves/ Restricted - cash backed	(79,877,713)	(113,819,130)	(117,280,995)
- Current portion of contract liability held in restricted assets	1,551,401	1,266,220	1,266,220
- Current portion of unspent capital grants held in restricted assets	984,500	984,500	984,500
- Current portion of performance bonds held in restricted assets	4,092,033	4,092,033	5,020,337
<b>Total adjustments to net current assets</b>	<b>(73,249,779)</b>	<b>(107,476,377)</b>	<b>(110,009,938)</b>

**CURRENT AND NON-CURRENT CLASSIFICATION**

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

CITY OF BUSSELTON  
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY  
FOR THE PERIOD ENDED 31st OCTOBER 2023

Note 3 Material Variance Explanations

	Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
	\$	\$	\$	%	\$	\$
<b>Amounts Attributable to Operating Activities</b>	<b>55,740,443</b>	<b>50,322,965</b>	<b>5,962,570</b>	<b>10.77%</b>	<b>5,417,478</b>	<b>(826,012)</b>
<b>Revenue from Operating Activities</b>	<b>76,941,678</b>	<b>75,089,537</b>	<b>92,790,504</b>	<b>2.47%</b>	<b>1,852,141</b>	<b>(80,469)</b>
The material variance items contained within this category, on the face of the FAS, are explained below:						
<b>1 Grants, Subsidies and Contributions</b>	<b>1,126,118</b>	<b>611,577</b>	<b>5,325,685</b>	<b>84.13%</b>	<b>514,541</b>	<b>(30,981)</b>
<b>Corporate Strategy and Performance</b>	<b>87,341</b>	<b>56,277</b>	<b>180,540</b>	<b>55.20%</b>	<b>31,064</b>	<b>(5,262)</b>
1034 Rates	52,816	10,384	39,709	408.62%	42,432	(1,671)
The positive variance is mainly attributable to the 22/23 adjustment to the Financial Assistance Grants, plus an adjustment paid in relation to the advance payment made in June for the 23/24 year, none of which was not known or could have been predicted at time of budgeting (note that this item should have been allocated against the Finance cost centre).						
<b>Economic and Business Development</b>	<b>237,659</b>	<b>300,048</b>	<b>873,406</b>	<b>(20.79%)</b>	<b>(62,389)</b>	<b>(81,932)</b>
1003 Cultural Precinct	5,629	50,376	210,248	(88.83%)	(44,747)	-
The variance is due to a timing delay with programming for Saltwater. The grant income has been received but not yet allocated to the project as the expenses have not yet been incurred.						
1005 Library Services	73,555	84,232	91,619	(12.68%)	(10,677)	(27,932)
This budget relates to the contributions for the SW Library Consortia and eContent selector roles, which are contributed to by other LG's and the State Library. The variance relates to the timing of invoicing. All consortia invoices have now been issued, and the eSelector contributions will be invoiced every 2 months in arrears. It is expected that we will be over budget by approximately \$10K by the end of the FY.						
1041 Property and Land Leasing	100,772	110,832	287,102	(9.08%)	(10,060)	39,344
The variances are a mixture of utility charges still to be invoiced and insurance recoups that are being reviewed.						
<b>Community Planning</b>	<b>465,413</b>	<b>170,621</b>	<b>1,813,595</b>	<b>172.78%</b>	<b>294,792</b>	<b>69,585</b>
1010 Community and Recreation Development	2,500	18,833	106,500	(86.73%)	(16,333)	292
Every Club grant funding has been budgeted in two separate Community Planning areas, which is affecting year to date variance, correction pending.						
1013 Youth Development	85,609	-	85,620	100.00%	85,609	300
Funding was received for activities that have already been completed, so was recognised in revenue immediately. The budget however was allocated to the end of financial year, when the spend involved in most grant funded activities is fully reconciled and any associated grant funding recognised.						
1049 Strategic Planning	75,000	-	142,000	100.00%	75,000	-
Funding was received for activities that have already been completed, so was recognised in revenue immediately. The budget however was allocated to the end of financial year, when the spend involved in most grant funded activities is fully reconciled and any associated grant funding recognised.						
1051 Environmental Health Services	104,008	44,681	83,682	132.78%	59,327	129
The majority of the mosquito management program funding from Department of Health was receipted earlier than originally budgeted.						
1056 Emergency Services	200,084	99,040	1,022,972	102.02%	101,044	664
Variance is simply timing of the bushfire mitigation fund grant received versus budget spread.						
<b>Infrastructure and Environment</b>	<b>121,349</b>	<b>84,440</b>	<b>2,457,452</b>	<b>43.71%</b>	<b>36,909</b>	<b>(17,008)</b>
1015 Civil Infrastructure Management	65,846	18,842	71,605	249.46%	47,004	(3,381)
Positive variance relates to the receipt of workers compensation insurance reimbursements, which can never be predicted with any accuracy.						
1017 Parks & Gardens	32,236	22,195	48,169	45.24%	10,041	(1,707)
\$8.5K of the variance relates to unbudgeted RAC EV charging station reimbursements received, with the remainder relating to timing variance between when grants received from DPIRD for completed environmental activities were received as opposed to when they were budgeted to be recognised as revenue.						
<b>2 Other Revenue</b>	<b>194,390</b>	<b>67,970</b>	<b>334,932</b>	<b>185.99%</b>	<b>126,420</b>	<b>46,359</b>
<b>Corporate Strategy and Performance</b>	<b>48,882</b>	<b>13,204</b>	<b>29,869</b>	<b>270.19%</b>	<b>35,677</b>	<b>32,963</b>
1033 Finance	34,691	167	500	20712.63%	34,524	34,579
The positive over budget variance is due to the receipt of salary packaging amounts from the former third party staff salary packaging provider, but the new provider has not as yet reconciled the various accounts and requested the funds to be transferred to them.						
<b>Community Planning</b>	<b>13,171</b>	<b>28,927</b>	<b>87,796</b>	<b>(54.47%)</b>	<b>(15,756)</b>	<b>(1,797)</b>
1054 Ranger Services	10,110	26,034	75,676	(61.17%)	(15,924)	(1,791)
Animal registration renewals have gone out for those that expire on 31 October 2023. As these are renewed our income in this area will increase. Lower than expected parking infringement revenues is also due to our parking officers being away on annual leave.						
<b>Infrastructure and Environment</b>	<b>127,579</b>	<b>23,226</b>	<b>210,898</b>	<b>449.28%</b>	<b>104,353</b>	<b>19,687</b>
1026 Waste Services	115,383	21,747	184,847	430.58%	93,636	22,390
Over the YTD budget amount due higher volumes of sales of scrap metal at higher than expected prevailing prices.						
<b>3 Interest Earnings</b>	<b>2,194,250</b>	<b>1,817,117</b>	<b>4,305,492</b>	<b>20.75%</b>	<b>377,133</b>	<b>(63,154)</b>
Better than YTD budget due to higher than expected interest rates and cash on hand position earlier in the year, with the roll over of invested funds coming to fruition overlapping into the next financial year.						
<b>Expenses from Operating Activities</b>	<b>(30,284,833)</b>	<b>(33,411,876)</b>	<b>(103,200,789)</b>	<b>9.36%</b>	<b>3,127,042</b>	<b>(565,923)</b>
The expense line items on the face of the financial statement that have a YTD variance that meet the material reporting threshold are outlined below:						
<b>4 Materials &amp; Contracts</b>	<b>(5,936,515)</b>	<b>(9,606,470)</b>	<b>(29,072,925)</b>	<b>38.20%</b>	<b>3,669,955</b>	<b>656,069</b>
<b>Corporate Strategy and Performance</b>	<b>746,622</b>	<b>746,771</b>	<b>2,303,008</b>	<b>0.02%</b>	<b>149</b>	<b>(18,129)</b>
1028 People and Performance Management	46,397	437	1,312	(10509.49%)	(45,960)	(38,835)
Subscriptions and memberships and some software computer licence subscriptions have been misallocated to here as opposed to 1029 and will be corrected.						
1029 Governance Services	53,773	72,613	286,090	25.95%	18,841	4,428

**CITY OF BUSSELTON**  
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD ENDED 31st OCTOBER 2023**

**Note 3 Material Variance Explanations**

		Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$	\$
Underspend is primarily due to consultancy costs budgeted for and not expended in the period, and subscriptions costs not incurred against the budget YTD (timing variance). Utilisation of this forecast is expected in subsequent periods. Additionally some computer software license and publication costs have been misallocated to an incorrect cost centre budget.							
1030	Human Resources and WHS	25,478	38,203	114,608	33.31%	12,724	7,635
Underspend is due to expected consultancy spend being behind schedule on the Mercer Remuneration Project.							
1033	Finance	61,885	35,812	95,729	(72.80%)	(26,073)	(18,606)
The overspend is primarily due to a timing issue with how bank charges have been shaped through the year. The budget has been evenly spread, however the bulk of the bank charges arise when people pay their rates in September. There has also been higher than expected consultancy costs due to the resetting of the Long Term Financial Plan model.							
1034	Rates	90,130	73,660	220,979	(22.36%)	(16,470)	(6,040)
Printing and postage costs for the City's annual rates plus the first instalment reminder notices were higher than expected. This will be somewhat offset by year end due to savings against the photocopying budget.							
1036	Information Technology	301,175	444,063	1,332,305	32.18%	142,888	26,860
The budget has been equally proportioned across the financial year, however, the significant IT projects that are expected to require consultancy have had a delayed start. Also, there has been delays in receiving and/or processing various software licensing renewals.							
1040	Legal Services	133,875	50,840	152,520	(163.33%)	(83,035)	(96,422)
Legal expenditure is exceeding the YTD budget because the City has had to engage external legal advisors for a number of contractual disputes, State Administrative Tribunal matters and prosecutions.							
<b>Economic and Business Development</b>		<b>528,037</b>	<b>855,315</b>	<b>2,591,624</b>	<b>38.26%</b>	<b>327,277</b>	<b>56,546</b>
1003	Cultural Precinct	20,275	76,357	287,154	73.45%	56,082	2,717
The variance is due to a timing delay with programming expenses for Saltwater. We've pushed back the expenses related to the grant for the opening production.							
1005	Library Services	41,514	57,950	144,683	28.36%	16,436	159
The underspend in the libraries budget YTD is due to delays in the finalisation of procurement waivers. Orders are now in place with all suppliers and we are waiting on delivery of goods and the associated processing of the invoices.							
1007	Airport Operations	234,952	405,883	1,186,936	42.11%	170,931	35,484
Some activities falling under Airport Screening services, Security costs, Airport Maintenance, Inspections, Consultancy, Contractors and purchase of materials have started and commitments have been raised, other works have either not commenced and hence PO's not raised. Account codes such as Airport Maintenance, Consultancy, Contractors and purchase of materials will be dependent on staff and contractor availability and hence variations occurring as a result of timing issues.							
1008	Economic Development	196,109	235,895	735,262	16.87%	39,786	(40,011)
Variance is due to a month lag in the invoicing for the contracted management services of the Jetty Tourist Park being processed and paid.							
1042	Aged and Community Housing	16,937	47,245	141,735	64.15%	30,307	6,301
The variance is due to the timing of invoices being issued as there are a number of commitments recorded against the operating expenses for both the Harris Road and Winderup Villa units. There has also been a delay in obtaining quotes from contractors for certain works.							
<b>Community Planning</b>		<b>608,304</b>	<b>1,116,879</b>	<b>3,389,144</b>	<b>45.54%</b>	<b>508,575</b>	<b>(3,043)</b>
1010	Community and Recreation Development	38,416	168,353	390,089	77.18%	129,937	46,390
The YTD underspend variance is due to lower consultancy fees because not all club development workshops have been completed. Also, the Surf Lifesaving fees and GLC consultant costs are yet to be paid out.							
1011	Leisure Centres	183,794	159,968	477,767	(14.89%)	(23,827)	(5,854)
Actuals have exceeded YTD forecast due to unplanned maintenance work required to fix the indoor pool liner and invoicing of the Geothermal license fee occurring earlier than expected.							
1013	Youth Development	9,940	27,833	81,500	64.29%	17,894	4,875
Planned large mental health week and Halloween activities/events did not occur due to staffing issues. Investigations are underway regarding other events to be run during Feb/ March 2024 to meet contractual funding agreement with Rio.							
1043	Planning and Development Directorate	29,754	291,533	874,600	89.79%	261,779	72,802
The variance between YTD budget and actuals, is attributable to the budget being distributed across the financial year, but in reality funds are spent as works progress, which is not divided evenly across the year. This is mainly related to Lower Vasse River sediment removal project.							
1048	Statutory Planning	4,664	18,570	57,023	74.88%	13,905	3,200
This relates mainly to consultancy spend, which in this area mainly relates to design review or peer review of technical documents (e.g. traffic impact assessments) in support of applications. The timing of that spend largely relates to the lodgement and assessment of applications, and is not determined by the City.							
1049	Strategic Planning	39,735	103,747	430,540	61.70%	64,012	(3,428)
A large proportion of total spend in this area (approx.. 280K) is for coastal planning project in the Siesta Park/Marybrook area, and the timing of that spend will be determined by a RFT and subsequent contractual process, but none of that spend has yet been incurred. The variance in this area is entirely attributable to that.							
1051	Environmental Health Services	59,801	39,530	118,591	(51.28%)	(20,271)	3,905
Mosquito management product was purchased earlier than originally budgeted as a bulk purchase in preparation for commencement of the mosquito season. Analytical services were higher than budgeted this quarter as the annual one-off payment for the WA state analytical sampling program was paid in July.							
1054	Ranger Services	24,528	46,707	177,121	47.49%	22,179	1,325

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**CITY OF BUSSELTON**  
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD ENDED 31st OCTOBER 2023**

**Note 3 Material Variance Explanations**

		Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$	\$
Variance due to spread of budget versus timing of projects.							
1056	Emergency Services	202,633	244,897	734,692	17.26%	42,264	(128,712)
The 17% under expenditure is due to awaiting completion of delivery of PPC/Building maintenance services for the Bushfire Brigades. This is accounted for in the Commitments column. All this will be paid for in November. Mitigation (MAF) is tracking well.							
<b>Infrastructure and Environment</b>		<b>4,048,453</b>	<b>6,884,886</b>	<b>20,780,663</b>	<b>41.20%</b>	<b>2,836,433</b>	<b>621,864</b>
1014	Infrastructure and Environment Directorate	330	148,884	446,651	99.78%	148,554	37,138
This is a timing variance only as works have not commenced and or been invoiced.							
1016	Construction and Maintenance	516,554	736,285	2,365,801	29.84%	219,731	(5,593)
The main variances relate to budget timing and include: • \$87,898 Bridge maintenance – works scheduled for second half of the financial year • \$82,020 Rural Verge Maintenance • \$33,576 Street & Drain Cleaning • \$19,171 Roadside spraying rural areas Expenditure is on track in relation to the full year budget. The budget spread over the year in this item will be reviewed.							
1017	Parks & Gardens	765,645	1,373,472	4,117,442	44.25%	607,827	133,199
Activities to date have been largely focused on low external cost winter maintenance activities. This is consistent with lower YTD costs at this time of year compared to YTD budget which is evenly spread over the year. Commencement of spring maintenance activities has seen an increase in commitments and will see an increase in expenditure during the second quarter. The budget spread over the year in this item will be reviewed.							
1019	Facilities Services	981,918	1,359,779	4,107,318	27.79%	377,861	97,281
This is a timing issue only, expenditure will increase as the tourist season approaches at that point the variance is expected to reduce. It is expected that all funds will be expended this FY.							
1020	Engineering and Facilities Services Management	118,568	1,423,415	4,165,954	91.67%	1,304,847	315,622
The main variances can be attributed to the following: (1) Coastal Works, that's currently in its planning phase, with Coastal Modelling being undertaken. The majority of this funding is associated with Federal Grant funds. (2) Street lighting replacement and new installations programs, that's also currently in the planning phase. (3) Safer Speed Trial JV Initiative – grant that is being rolled out by the RAC, this project is currently in progress. (4) General Design and Traffic Modelling, procurement is currently underway for updated base traffic models for Busselton and Dunsborough CBD areas. All of the above require upfront planning and design before the bulk expenditure will be recorded. Therefore the variance can be attributed to timing.							
1021	Asset Planning	2,905	26,672	80,015	89.11%	23,766	5,884
The underspend for this area can be attributed to the timing of the procurement of contractors to assist with data collection. Subscriptions and memberships are also underspent significantly, mainly due to timing.							
1022	Design and Survey	1,088	14,286	35,357	92.39%	13,198	1,291
The underspend for this area can be attributed to the timing of the procurement of contractors to undertake the feasibility study for the Dunsborough to Yallingup Footpath, as well as the procurement of contractors for general design services.							
1023	Development Control	23	27,921	98,764	99.92%	27,898	3,230
The variance in this area can be attributed to the timing for the procurement of contractor services to undertake drainage data collection. This is currently in the planning phase, with drainage data collection normally undertaken during the dryer summer months. The variance can be attributed to timing.							
1025	Fleet Services	851,037	769,045	2,307,134	(10.66%)	(81,992)	(29,636)
Actuals over YTD budget associated to an increase in Fuels, Oils and Lubricants overall. Also the amount spent and number of replacement parts have increased as well.							
1026	Waste Services	786,876	993,638	3,021,845	20.81%	206,762	66,872
This underspend is due to works that have not been completed, or they have not been invoiced.							
5	Utilities	(673,768)	(850,283)	(2,980,399)	20.76%	176,516	209,013
The underspend variance is mainly due to delays in reconciling and processing the October invoicing for electricity and water, for all facilities.							
6	Other Expenditure	(344,966)	(1,796,497)	(6,823,844)	80.80%	1,451,531	218,430
<b>Office of the CEO</b>		<b>45,882</b>	<b>69,392</b>	<b>251,126</b>	<b>33.88%</b>	<b>23,510</b>	<b>(572)</b>
1031	Stakeholder Relations	10,609	32,500	103,902	67.36%	21,891	(2,484)
YTD expenses of \$5K have been misallocated to an incorrect cost centre budget. Will be rectified in November. Blanket orders to be changed to rectify this moving forward. The remainder is a timing issue.							
<b>Corporate Strategy and Performance</b>		<b>168,667</b>	<b>253,522</b>	<b>1,483,915</b>	<b>33.47%</b>	<b>84,856</b>	<b>23,041</b>
1028	People and Performance Management	16,025	33,333	100,000	51.92%	17,308	10,402
The variance is related to misallocations of various actuals against 1028 as opposed to 1029 and also some misallocation of advertising actuals against 1028 as opposed to 1031. Will be corrected in November's report.							
1029	Governance Services	131,737	203,247	898,091	35.18%	71,510	16,326

**CITY OF BUSSELTON**  
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY**  
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**Note 3 Material Variance Explanations**

		Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$	\$
The underspend on year to date budget is primarily due to \$60,000 budgeted for election expenses and not expended at the end of the period (utilisation of forecast is expected in subsequent period/s). There are likewise some scheduling variances between monthly forecast and utilisation of budget for miscellaneous other expenses including allowances and sitting fees, elected member conference and training, and refreshment and functions.							
<b>Economic and Business Development</b>		<b>(65,131)</b>	<b>1,274,815</b>	<b>4,409,343</b>	<b>105.11%</b>	<b>1,339,947</b>	<b>185,580</b>
1003	Cultural Precinct	1,075	28,451	108,649	96.22%	27,375	6,975
This is due to delayed timing of marketing and promotions for Saltwater, based on opening dates for the venue.							
1004	Events	327,345	459,155	1,394,788	28.71%	131,810	31,993
The underspend variance is due to the timing of invoicing. Due to the establishment of milestone payments relating to post event reporting, this has created a lag in release of final payments to event sponsorships.							
1007	Airport Operations	(470,954)	682,062	2,663,611	169.05%	1,153,016	105,033
The April – June statements to finalise the 2022/23 FY incentive program have been received however are incorrect and Jetstar have been asked to review and provide corrected statements. Once this has been done then the final reconciliation for the 2022/23 accruals can be completed. Jetstar have been asked for the 2023/24 statements however they have not been sent.							
1008	Economic Development	59,080	90,891	205,775	35.00%	31,811	42,364
MRBTA have not invoiced for the 1st quarter yet for visitor servicing. It was budgeted to be received in October.							
<b>Community Planning</b>		<b>143,615</b>	<b>161,163</b>	<b>553,251</b>	<b>10.89%</b>	<b>17,548</b>	<b>15,021</b>
1010	Community and Recreation Development	57,533	98,438	370,056	41.55%	40,905	(7,042)
The underspend variance is attributed to the budget being evenly distributed across the FY, however the actuals for the Community Assistance Program acquittals are sporadic and difficult to predict.							
1046	Building Services	19,272	-	-	100.00%	(19,272)	-
The unbudgeted spend YTD represents a contribution of Long Service Leave entitlements to another Local Government Authority, for a previous employee. This is funded from the LSL Reserve.							
1049	Strategic Planning	-	20,400	31,387	100.00%	20,400	9,681
The City has yet to receive an invoice for its contribution towards the Peron Naturaliste Partnership, once received the budget will be utilised for this purpose.							
1051	Environmental Health Services	37,981	15,004	28,757	(153.14%)	(22,977)	19,174
Mosquito management product was purchased earlier than originally budgeted as a bulk purchase in preparation for commencement of the mosquito season. Analytical services were higher than budgeted this quarter as the annual one-off payment for the WA state analytical sampling program was paid in July.							
<b>Infrastructure and Environment</b>		<b>51,934</b>	<b>37,605</b>	<b>126,210</b>	<b>(38.10%)</b>	<b>(14,329)</b>	<b>(4,640)</b>
1017	Parks & Gardens	5,577	-	22,515	100.00%	(5,577)	(98)
This relates to a late Biodiversity Incentive rate rebate that the City pays from last financial year.							
1019	Facilities Services	21,247	12,018	21,653	(76.79%)	(9,229)	(8,683)
Outgoings relate to the annual Emergency Services Levy charges from DFES on all of the City properties. Costs are as expected poer the full year budget.							
<b>Amounts Attributable to Investing Activities</b>							
Items included in Investing Activities are Capital Grants, Subsidies & Contributions, Capital Expenditure in the various classes of assets, and Proceeds from Sale of Assets. The attachments to this report includes the detailed listings of all capital expenditure (project) items. The main areas of YTD variance to budget for Investing Activities that appear on the face of the Financial Activity Statement are summarised as follows:							
<b>7</b>	<b>Capital Grants, Subsidies and Contributions</b>	<b>194,855</b>	<b>26,430</b>	<b>19,649,075</b>	<b>637.25%</b>	<b>168,425</b>	<b>120,425</b>
The positive variance of \$168K is due to a reimbursement of the municipal fund required for cashflow purposes, a lot earlier than was initially budgeted. The majority of externally funded capital projects are reconciled toward year end, with the associated funding recognised as revenue at that time. As such, the majority of the full year budget for this items has been allocated to the June period.							
<b>8</b>	<b>Land &amp; Buildings</b>	<b>(4,235,724)</b>	<b>(12,513,666)</b>	<b>(29,976,325)</b>	<b>66.15%</b>	<b>8,277,942</b>	<b>341,243</b>
12847 & 15073	Strategic Land Purchases	-	3,900,000	3,900,000	100.00%	3,900,000	-
Strategic land purchases are currently under negotiation and the expenditure is subject to agreements being reached.							
Various	Aged Housing	13,720	37,528	111,000	63.44%	23,808	5,930
The variance is due to the timing of unit refurbishments and receipt of associated supplier invoicing. Harris Road has one unit is vacant and currently undergoing a full refurbishment. Winderup Court has one unit due for refurbishment by the end of November.							
Various	BPACC (Saltwater)	3,927,111	7,606,430	20,707,633	48.37%	3,679,319	61,810
This variance is due to smaller than anticipated progress claims submitted by the contractor. This is due to delays experienced on site due to materials and contractor availability.							
10025	Weld Theatre (C)	60,146	-	250,000	-	(60,146)	-
This is timing variances only. Purchases associated with the project have commenced showing a negative balance year to date but under the total budget.							
10585	BMRA Hangars(C)	-	101,263	303,790	100.00%	101,263	101,263
This project is to construct 2 hangars in the GA precinct. This project has not been started yet due to competing priorities and unlikely to go out to RFQ until the end of first quarter 2024.							
10589	Airport Construction, Existing Terminal Upgrade(C)	33,443	103,847	103,847	67.80%	70,404	(7,793)



**CITY OF BUSSELTON**  
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**Note 3 Material Variance Explanations**

		Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$	\$
This is the remaining terminal operational improvements for which the total budget has been budgeted in the first month. These should actually be complete by Oct/Nov.							
10642	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	140,550	-	1,620,434	-	(140,550)	(45,274)
The new pavilion project is currently on hold and subject to further design and consultation with no specific timeline developed for implementation until this is completed. Expenditure to date is for the provision of temporary facilities for the area to be used in the meantime.							
10787	Geographe Leisure Centre Upgrade(C)	2,120	189,155	567,464	98.88%	187,035	47,289
The YTD underspend is due to the procurement process taking longer than anticipated due to contractor availability.							
12331	Smiths Beach New Public Toilet(C)	-	83,333	250,000	100.00%	83,333	20,833
This project is on hold and will not be undertaken this financial year.							
12428	Re-use shop Busselton Transfer Station(C)	-	155,851	275,000	100.00%	155,851	78,685
Reuse Shop is currently still in the development phase, which has taken longer than expected.							
12440	Energy Efficiency Initiatives (Various Buildings) (C)	-	26,055	78,166	100.00%	26,055	6,514
Project is delayed due to Western Power delays.							
12796	Depot Training Room (C)	-	25,000	75,000	100.00%	25,000	6,250
This variance is due to timing of works – planning and procurement has taken longer than anticipated.							
12800	Old Courthouse and Jail Cells (C)	1,500	34,284	102,853	95.62%	32,784	7,071
This variance is due to timing of works – planning and procurement has taken longer than anticipated.							
12939	Administration Building- 2-16 Southern Drive(C)	-	15,000	45,000	100.00%	15,000	3,750
This is a timing variance only, works will be completed appropriately by the end of the financial year.							
12940	Depot Building-Busselton(C)	2,600	90,000	270,000	97.11%	87,400	22,500
This is a timing issue due to the budget being evenly spread across the year. The actual timing of the works is scheduled for December/January, depending on contractor availability.							
14942	Lions Park Shopping Centre Toilets (C)	-	83,333	250,000	100.00%	83,333	20,833
City officers have been given direction to re-negotiate terms with the Strata company. Therefore works have not been able to progress as planned.							
14943	Changing Places Accessible Ablutions (C)	-	33,333	100,000	100.00%	33,333	8,333
This is a timing issue. This project is still in the planning phase, consultation is due to start in October 2023, with the results due by Mid-November. Design and Procurement to commence thereafter.							
15077	Lunch / Meeting Room for Transfer Station(C)	47,500	-	50,000	-	(47,500)	-
This facility was purchased earlier than originally forecast. The YTD variance is timing only.							
9	<b>Plant &amp; Equipment</b>	<b>(216,087)</b>	<b>(554,532)</b>	<b>(6,078,421)</b>	<b>61.03%</b>	<b>338,445</b>	<b>82,383</b>
Delay in procuring some of the new Plant and Fleet equipment as manufacturers pause taking any new orders due to the global semiconductor shortage from the COVID pandemic. Orders are expected to pick up in the new year.							
10	<b>Furniture &amp; Office Equipment</b>	<b>(64,401)</b>	<b>(558,902)</b>	<b>(1,510,209)</b>	<b>88.48%</b>	<b>494,501</b>	<b>83,596</b>
12781	BPACC - Loose Furniture & Fittings(C)	-	114,276	228,551	100.00%	114,276	28,569
Delays to the BPACC project timeline have meant that procurement of Furniture and Fittings has not yet commenced. However all funds are expected to be expended by the end of the financial year.							
12876	ICT Services - Equipment & Software Purchases(C)	31,834	321,832	965,497	90.11%	289,999	48,624
The significant items that will comprise much of the allocated capital budget will be procured between November 2023 and June 2024 to coincide with the related implementation projects.							
12878	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	-	20,000	20,000	100.00%	20,000	-
Carryover of capital budget, most likely to be expended by mid-year dependant on supply availability.							
14730	Geographe Leisure Centre Fitness Equipment(C)	-	18,160	18,160	100.00%	18,160	-
Carryover of capital budget, most likely be expended by mid-year.							
15088	Busselton Depot Building Furniture & Equipment (C)	(2,600)	10,813	10,813	124.05%	13,413	-
This is a timing issue as the purchase of furniture is linked to the refurbishment of the training room. Once completed the furniture will be purchased using these funds.							
11	<b>Infrastructure</b>	<b>(2,180,399)</b>	<b>(5,731,161)</b>	<b>(21,896,529)</b>	<b>61.96%</b>	<b>3,550,761</b>	<b>1,730,260</b>
Various	Roads	1,539,493	3,261,998	10,093,354	52.81%	1,722,505	952,168
The budget spread for the majority of projects in this item is even across the financial year and based on the construction schedule there are some budget timing variances within this item.							
Projects on Cook St, Kershaw St, Artisan St, Yallingup Beach Rd and Downs Road have been completed. Road projects commenced in October include:							
<ul style="list-style-type: none"> <li>• 15108 Bussell Highway resurfacing SLK 0 to 3.8</li> <li>• 12005 Payne Road Reconstruction</li> <li>• 14869 Silverwood Road – unsealed road resheet SLK 0.01 to 1.3</li> </ul>							
Various	Car Parks	50,507	308,992	541,885	83.65%	258,486	27,933
The budget timing reflects an even spread of expenditure across the financial year, with the exception of Carpark Hotel Site 2, which has the budget spread over July and August. As a result there are some budget timing variances within this item, with Carpark Hotel Site 2 comprising \$146k of the variance and Forrest Beach Horse Float Carparking Area \$65k. Carpark Hotel Site 2 civil works are complete and landscaping will be completed by the end of November.							

**CITY OF BUSSELTON**  
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY**  
**FOR THE PERIOD ENDED 31st OCTOBER 2023**

**Note 3 Material Variance Explanations**

		Actual YTD	Budget YTD	Full Year Budget	Variance YTD	Variance YTD	Change in Variance Current Month
		\$	\$	\$	%	\$	\$
Various	Footpaths & Cycleways	135,070	658,521	1,824,587	79.49%	523,451	177,436
<p>Budget timing variances compared to construction schedule, of which \$429k is attributed to the following projects:</p> <ul style="list-style-type: none"> <li>• \$301k – Forth St to Holgate and Vincent Street to Geographe Bay Road shared path projects which are planned for construction February - May</li> <li>• \$49K – Peron Avenue on which landowners are currently being consulted</li> <li>• \$41K – Bayview Street footpath construction delayed pending Busselton Water asset replacement works.</li> <li>• \$38K – Carey Street footpath construction planned following drainage upgrades in February/ March</li> </ul>							
Various	Parks, Gardens & Reserves	426,556	1,189,981	7,043,950	64.15%	763,425	479,761
<p>Budget timing for most projects within this item reflect an even spread of expenditure across the financial year. A large number of projects within this item are currently in design and procurement stage.</p> <p>A variance compared to construction schedule totalling \$653k is attributed to the following projects:</p> <ul style="list-style-type: none"> <li>• \$308k - Dunsborough Lakes Sporting Precinct (Stage 1)</li> <li>• \$178k - Churchill Park - Main Oval Renewal – scheduled January to April</li> <li>• \$88k - New Shade Sails – scheduled February to April</li> <li>• \$79k - Meelup Coastal Parking &amp; Landscaping – carpark, drainage and footpath to be completed in November, with footpath artwork following in the New Year.</li> </ul>							
Various	Drainage	28,458	310,002	1,104,476	90.82%	281,545	92,862
<p>Budget timing does not reflect construction schedule for projects within this item, which sees projects delivered largely in the 3rd and 4th quarters.</p>							
12	Proceeds from Sale of Assets	204,487	135,300	863,800	51.14%	69,187	(32,165)
<p>Amount over budget YTD due to the delayed sale of assets from last financial year, resulting in the proceeds from the auction were received in July, instead of June.</p>							
<b>Amounts Attributable to Financing Activities</b>		<b>(5,457,462)</b>	<b>(600,035)</b>	<b>30,838,065</b>	<b>809.52%</b>	<b>(4,857,427)</b>	<b>2,662,883</b>
13	Proceeds from New Loans	-	1,750,000	2,000,000	(100.00%)	(1,750,000)	-
<p>Planning and negotiations for the strategic purchases of land have been delayed, therefore the requirements to apply for and draw down on loan facilities has not been required to date.</p>							
14	Transfer to Restricted Assets	(5,162,473)	-	(11,180)	(100.00%)	(5,162,473)	(1,317,547)
<p>There is a YTD variance in transfers to Restricted Assets because there is no budget at all for this item. The transfers are not possible to predict, and are fully reconciled only at year end.</p> <p>At the time of budgeting it is not possible to predict what grants, contributions or developer bonds will be received, and in what timeframe, nor when they will be spent and hence potentially transferred to Restricted Assets (or unspent portions thereof).</p> <p>Transfers to restricted assets are offset by the incoming receipt, be it a grant, contribution, subsidy or even loan proceeds, so the net impact on the Net Current Position is always nil (once full reconciliation has occurred at year end).</p> <p>YTD, \$3.3M in various government grants were restricted, as well as \$1M in Roadwork Bonds, \$380K in BJTP deposits, \$28K in developer contributions and \$454K in various other deposits and bonds.</p>							
15	Transfer from Restricted Assets	4,909,337	6,854,360	20,563,074	(28.38%)	(1,945,023)	1,699,505
<p>The transfers are usually not possible to predict, and are fully reconciled only at year end. The transfers YTD are attributable to \$142K of prepaid grants utilised, \$12K of Developer Contributions utilised, \$74K of BJTP deposits utilised or returned, \$3.8M of unspent loan borrowings utilised, \$397K of Roadwork Bonds returned and \$457K of various other bonds and deposits returned or utilised.</p>							
16	Transfer from Reserves	17,918,765	13,960,712	52,392,260	28.35%	3,958,053	1,861,343
<p>Works on a number of large reserve funded projects have been substantively completed, so for unrestricted cashflow purposes some of the reserve transfers were partially brought forward from the end of year, when all reserve funded project reconciliations are usually done.</p>							



City of Busselton Capital Acquisitions & Construction Report For the period ended 31st October 2023					
Project	Project Description	2023/24	2023/24	2023/24	2023/24
		Actual YTD	Amended Budget YTD	Original Budget YTD	Amended Budget
		\$	\$	\$	\$
Land					
12847	Strategic Land Purchase - Sues Road(C)	-	500,000	500,000	500,000
15073	Strategic Land Purchase - Dunsborough(C)	-	3,400,000	3,400,000	3,400,000
	Total Land	-	3,900,000	3,900,000	3,900,000
Buildings					
Aged Housing					
12231	Aged Housing Capital Improvements - Harris Road(C)	13,720	7,128	7,128	22,000
12233	Aged Housing Capital Improvements - Winderlup(C)	-	11,890	11,890	40,000
12234	Aged Housing Capital Improvements - Winderlup Court (City)(C)	-	18,511	18,511	49,000
		13,720	37,528	37,528	111,000
Saltwater					
12471	BPACC - Construction(C)	2,909,310	6,080,205	6,080,205	18,240,616
12652	BPACC - Design of Structure / Professional Fees(C)	296,661	70,897	70,897	212,690
12779	BPACC - Contingency (C)	679,460	1,407,771	1,407,771	2,111,657
12782	BPACC - Utility Costs (C)	41,680	47,557	47,557	142,670
		3,927,111	7,606,430	7,606,430	20,707,633
10016	Civic and Administration Centre Minor Upgrades(C)	-	-	-	35,000
10025	Weld Theatre(C)	60,146	-	-	250,000
10585	BMRA Hangars(C)	-	101,263	101,263	303,790
10589	Airport Construction, Existing Terminal Upgrade(C)	33,443	103,847	103,847	103,847
10592	Airport Terminal Stage 2(C)	81	-	-	-
10642	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	140,550	-	-	1,620,434
10787	Geographe Leisure Centre Upgrade(C)	2,120	189,155	189,155	567,464
12331	Smiths Beach New Public Toilet(C)	-	83,333	83,333	250,000
12428	Re-use shop Busselton Transfer Station(C)	-	155,851	155,851	275,000
12440	Energy Efficiency Initiatives (Various Buildings) (C)	-	26,055	26,055	78,166
12795	Busselton Depot CCTV & Electronic Gate(C)	6,952	16,259	16,259	16,259
12796	Depot Training Room (C)	-	25,000	25,000	75,000
12798	High Street Hall (C)	-	3,500	3,500	10,500
12800	Old Courthouse and Jail Cells (C)	1,500	34,284	34,284	102,853
12804	Airport Terminal Building(C)	-	9,493	9,493	28,481
12868	Busselton Jetty Tourist Park - Cabin Replacement/Upgrade (C)	-	-	-	540,000
12939	Administration Building- 2-16 Southern Drive(C)	-	15,000	15,000	45,000
12940	Depot Building-Busselton((C)	2,600	90,000	90,000	270,000
14942	Lions Park Shopping Centre Toilets (C)	-	83,333	83,333	250,000
14943	Changing Places Accessable Ablutions (C)	-	33,333	33,333	100,000
15067	Commonage Fire Facility (C)	-	-	-	40,000
15074	Vasse Toilet (C)	-	-	-	125,000
15077	Lunch / Meeting Room for Transfer Station(C )	47,500	-	-	50,000
15087	Mosquito Management Facility (C)	-	-	-	120,899
	Total Buildings	4,235,724	8,613,666	8,613,666	26,076,325
	Total Land & Buildings	4,235,724	12,513,666	12,513,666	29,976,325
Plant and Equipment					
10700	Dunsborough Cemetery(C)	-	7,092	7,092	21,276
12870	Busselton Jetty Tourist Park- Replace Holden Colorado 4x4(C)	36,160	35,000	35,000	35,000
12872	Busselton Jetty Tourist Park - Battery Powered Mule (C)	-	-	-	35,000
12881	HINO FD1024 Beavertail Truck (Turf) (C)	-	-	-	100,000
12882	Isuzu NPR65-190 Single Cab (Turf) (C)	-	-	-	100,000
12884	KUBOTA F3690 OUTFRONT MOWER (C)	-	29,200	29,200	29,200
12885	KUBOTA F3690 OUTFRONT MOWER (C)	-	29,200	29,200	29,200
12886	Brush / Tree Chipper (C)	-	100,000	100,000	100,000
12887	Plant Purchases (P11) - Redexim Easyspread 1600 Sand Spre(C)	-	20,000	20,000	20,000
12888	HINO FS2848 Tipper Truck (C&M) (C)	-	-	-	230,000
12890	Caterpillar CS56 Roller (C&M) (C)	-	-	-	180,000
12892	ISUZU FVZ1400 Tipper Truck (C&M) (C)	-	-	-	230,000
12894	Nissan Xtrail ST-L 2WD (Strategic Planning Coord) (C)	-	-	-	35,000
12895	NISSAN X-TRAIL ST-L 2WD SUV (ASSET MGMT COORD) (C)	-	-	-	35,000
12896	Facilities Operational Ute(C)	35,280	-	-	42,000
12897	ISUZU D-MAX SX 4X2 SINGLE CAB UTILITY (IRRIGATION) (C)	-	-	-	42,000
12898	MITSUBISHI TRITON 4X2 SINGLE CAB UTE (P&G) (C)	-	42,000	42,000	42,000
12899	Construction & Maintenance Ute (C)	41,124	-	-	42,000
12900	TOYOTA HILUX DUAL CAB 4X4 (CONST SUPERVISOR) (C)	-	-	-	45,000
12901	TOYOTA HILUX DUAL CAB 4X4 (MTCE SUPERVISOR) (C)	-	45,000	45,000	45,000
12902	Manager Governance & Corp Services Vehicle (C)	39,134	-	-	40,000
12904	Plant Purchases (P11) - Minor Plant (P&G) (C)	-	-	-	15,000
12906	Plant Purchases (P12) - Minor Plant (C&M) (C)	-	-	-	20,000
12908	Program 12 - Minor Plant (Workshop) (C)	-	-	-	10,000

City of Busselton Capital Acquisitions & Construction Report For the period ended 31st October 2023						
Project	Project Description	2023/24	2023/24	2023/24	2023/24	2023/24
		Actual YTD	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
12911	VOLVO FE320 WASTE TRUCK (C)	-	-	-	459,660	459,660
12914	Minor Plant - Program 10 (C)	-	-	-	10,000	10,000
12932	Airport Operations - Replacement Toro Groundmaster 7200 M(C)	-	30,000	30,000	30,000	30,000
12948	TOYOTA HILUX SR 4X4 DUAL CAB UTILITY (BMO) (C)	-	-	-	45,000	45,000
14744	MITSUBISHI PAJERO GLX 4X4 (MGR REG SERV) (C)	-	41,500	41,500	41,500	41,500
14818	Wheeled 20t excavator Inc. Accessories(C )	-	-	-	485,000	485,000
14819	Positrak (Cat 299) with Accessories (C)	-	-	-	250,000	250,000
14820	Trailer for Towing Positrak & Traffic Lights(C )	43,090	-	-	40,000	40,000
14821	Trailer Traffic Lights x 2 (and Sign Cones)(C )	-	-	-	45,000	45,000
14823	VOLVO FE320 WASTE TRUCK (C)	-	-	-	473,545	473,545
14842	HINO CREW CAB TIPPER TRUCK (C)	-	100,540	100,540	100,540	100,540
14946	PERUZZO BULL SLASHER (C)	-	60,000	60,000	60,000	60,000
14949	KUBOTA MULE (C)	-	-	-	15,000	15,000
14951	1500L SELF BUNDED DIESEL FUEL TANK (C)	-	15,000	15,000	15,000	15,000
14954	MITSUBISHI TRITON 4x2 SINGLE CAB (C)	-	-	-	35,000	35,000
14960	VOLVO FE320 WASTE TRUCK (C)	-	-	-	480,000	480,000
14962	WATER TANK FOR DUST SUPPRESSION (C)	-	-	-	25,000	25,000
14966	DIESEL TANK DWF (C)	-	-	-	50,000	50,000
14968	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14970	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14972	HOOKLIFT BIN BWTS (C)	-	-	-	18,000	18,000
14974	HOOKLIFT BIN (C)	-	-	-	18,000	18,000
14976	HOOKLIFT BIN (C)	-	-	-	18,000	18,000
14978	ABLE GL3013 GENERATOR (C)	21,300	-	-	50,000	50,000
14980	WASTE COORDINATOR VEHICLE (C)	-	-	-	35,000	35,000
14982	TOYOTA HILUX 4x2 SINGLE CAB (C)	-	-	-	36,000	36,000
14984	ISUZU D-MAX 4x4 DUAL CAB (C)	-	-	-	40,000	40,000
14986	HOLDEN COLORADO 4x4 DUAL CAB (C)	-	-	-	36,000	36,000
15004	HUSQVARNA RC318T RIDE ON MOWER (C)	-	-	-	18,000	18,000
15006	HINO 917 CREW CAB (C&M) (C)	-	-	-	100,000	100,000
15008	ISUZU NPR400 CREW CAB (C&M) (C)	-	-	-	100,000	100,000
15013	HINO GH1728 AUTO TRUCK (C&M) (C)	-	-	-	400,000	400,000
15016	HINO GF1628 REAR TIPPING TRUCK (P&G) (C)	-	-	-	150,000	150,000
15018	TORO 4010D GROUNDMASTER MOWER (P&G) (C)	-	-	-	150,000	150,000
15023	ISUZU DMAX 4X2 SINGLE CAB (P&G) FORESHORE IRRIGATION (C)	-	-	-	42,000	42,000
15025	TOYOTA HILUX 4X4 EXTRA CAB UTILITY (IRRIGATION) (C)	-	-	-	45,000	45,000
15028	FORD RANGER 4X4 DUAL CAB UTE (CESM) (C)	-	-	-	55,000	55,000
15032	SUBARU OUTBACK 2.5i PREMIUM WAGON (C)	-	-	-	35,000	35,000
15034	SUBARU OUTBACK AWD WAGON (RANGERS CO-ORDINATOR) (C)	-	-	-	35,000	35,000
15036	SUBARU OUTBACK 2.5i AWD PREMIUM (MGR CULTURE & EVENTS) (C)	-	-	-	40,000	40,000
15038	MAZDA CX9 FWD SUV (Director CCS) (C)	-	-	-	50,000	50,000
15040	SUBARU OUTBACK AWD (Director PDS) (C)	-	-	-	50,000	50,000
15042	Nissan X-Trail Ti 4x4 SUV (Mgr Fin Serv) (C)	-	-	-	40,000	40,000
15045	Toyota Fortuner GX 4x4 SUV (Mgr Eng Tech Srv) (C)	-	-	-	40,000	40,000
15048	SUBARU FORESTER 2.5i-S AWD (MGR DEV SERV) (C)	-	-	-	40,000	40,000
15050	NISSAN X TRAIL STL 4X4 SUV (LIESURE CENTRES COORD) (C)	-	-	-	35,000	35,000
15052	MITSUBISHI OUTLANDER LS AWD (HR COORD) (C)	-	-	-	35,000	35,000
15078	HAZMET and Dangerous Goods Storage(C)	-	-	-	108,500	108,500
15083	New Airport Manager Vehicle (C)	-	-	-	40,000	40,000
Total Plant & Equipment		216,087	554,532	554,532	6,078,421	6,078,421
Furniture and Equipment						
10965	P&E - P&G Smart Technologies(C)	19,817	25,000	25,000	75,000	75,000
12781	BPACC - Loose Furniture & Fittings (C)	-	114,276	114,276	228,551	228,551
12783	BPACC - IT Hardware & Software (C)	14,875	23,750	23,750	71,250	71,250
12876	ICT Services - Equipment & Software Purchases(C)	31,834	321,832	321,832	965,497	965,497
12878	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	-	20,000	20,000	20,000	20,000
14729	Events Furniture & Equipment(C)	-	5,138	5,138	5,138	5,138
14730	Geographe Leisure Centre Fitness Equipment(C)	-	18,160	18,160	18,160	18,160
14731	Cultural Planning Furniture & Equipment(C)	-	9,500	9,500	9,500	9,500
14927	Dunsborough Depot(C)	-	7,100	7,100	21,300	21,300
14939	Ice Machine (C)	-	3,333	3,333	10,000	10,000
15059	Sculpture By The Bay (C)	-	-	-	12,000	12,000
15063	NCC - Les Mills Pump Rack (C)	-	-	-	8,000	8,000
15064	GLC Cafe Double Fridge (C)	-	-	-	20,000	20,000
15065	Differential GPS (C)	-	-	-	20,000	20,000
15082	Administration Building Furniture& Equipment C)	476	-	-	15,000	15,000
15088	Busselton Depot Building Furniture & Equipment (C)	2,600	10,813	10,813	10,813	10,813
Total Furniture & Equipment		64,401	558,902	558,902	1,510,209	1,510,209
Roads Infrastructure						

City of Busselton Capital Acquisitions & Construction Report For the period ended 31st October 2023		2023/24	2023/24	2023/24	2023/24	2023/24
Project	Project Description	Actual YTD	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
11152	Donnelly Court Reseal(C)	6,247	-	-	-	-
11190	Sanson Road Resheet(C)	368	-	-	-	-
11193	Wilyabrup Road Resheet(C)	-	10,080	10,080	80,643	80,643
11199	Bussell Highway(C)	803,763	678,237	678,237	2,034,712	2,034,712
11987	Caves Road - Median Crossing(C)	-	2,130	2,130	17,043	17,043
11996	Geographe Bay Road Quindalup(C)	460	-	-	-	-
12005	Payne Road(C)	211,080	292,689	292,689	878,066	878,066
12576	Peel Terrace (Stanley Pl/Cammilleri St Intersection Upgra(C)	79	-	-	-	-
12605	Queen Elizabeth Avenue(C)	210	-	-	-	-
12608	Markey Road(C)	41	-	-	-	-
12609	Geographe Bay Road - Gifford Road to Elmore Road(C)	2,105	-	-	-	-
12611	North Jindong Road(C)	4,116	264,200	264,200	792,600	792,600
12621	Ruabon Road(C)	960	-	-	-	-
12626	Reading Street Reconstruction and Widen(C)	60	-	-	-	-
12643	Vasse Yallingup Siding Road(C)	619	-	-	-	-
12645	Marine Terrace(C)	3,307	-	-	-	-
12739	Tuart Drive(C)	124	-	-	-	-
12754	Hannay Lane Dunsborough(C)	350	-	-	-	-
12824	Acton Park Road(C)	578	-	-	-	-
12827	Commonage Road(C)	47,503	256,500	256,500	769,500	769,500
12835	Ludlow-Hithergreen Road(C)	2,851	-	-	-	-
12837	Pre-emptive Design Works (C)	2,422	-	-	-	-
12841	Strelly Street (C)	6,144	-	-	-	-
12842	Nuttman Road (C)	-	6,841	6,841	54,724	54,724
12851	Bussell Highway(C)	104	-	-	-	-
14817	Road Access Seal - Busselton Animal care facility(C )	104	6,221	6,221	49,766	49,766
14850	Cook Street - Asphalt Overlay SLK 0.39 to 1.25 (C)	182,459	117,191	117,191	351,574	351,574
14851	Strelly Street - Rehabilitation SLK 0.05 to 1.2 (C)	19,686	240,000	240,000	720,000	720,000
14852	North Jindong Road - Prelims and Land Acq SLK 0 to 0 (C)	-	4,000	4,000	12,000	12,000
14853	Jalbarragup Road - Reseal SLK 0 to 10.75 (C)	727	200,000	200,000	600,000	600,000
14854	Boallia Road - Recon and Widening SLK 1.5 to 2.3 (C)	21,433	184,611	184,611	553,832	553,832
14855	Vasse Yallingup Siding Road - Design only SLK 0 to 0 (C)	-	5,500	5,500	16,500	16,500
14856	Peron Avenue - Asphalt Overlay SLK 0.17 to 0.76 (C)	28,592	150,010	150,010	450,030	450,030
14857	West Street - Rehabilitation SLK 1.02 to 1.15 (C)	680	-	60,333	-	181,000
14858	Artisan Street - Asphalt Overlay SLK 0.02 to 0.16 (C)	25,019	15,384	15,384	46,152	46,152
14859	Kershaw Street - Asphalt Overlay SLK 0 to 0.25 (C)	50,446	23,090	23,090	69,271	69,271
14860	Thornbill Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	6,887	6,887	20,662	20,662
14861	Grevillea Cove - Asphalt Overlay SLK 0 to 0.08 (C)	-	7,414	7,414	22,243	22,243
14862	Baudin Street - Asphalt Overlay SLK 0 to 0.1 (C)	403	31,711	31,711	95,132	95,132
14863	Cormorant Court - Asphalt Overlay SLK 0 to 0.08 (C)	-	7,872	7,872	23,616	23,616
14864	Sugarloaf Road - Second Coat Seal SLK 0 to 0 (C)	-	22,174	22,174	66,521	66,521
14865	Yallingup Beach Road - Reseal SLK 0 to 0.19 (C)	23,067	10,233	10,233	30,698	30,698
14866	Old Vasse Highway - Reseal SLK 0 to 1.83 (C)	-	4,512	4,512	13,535	13,535
14867	McDonald Road - Unsealed Resheet SLK 0.02 to 0.88 (C)	-	20,178	20,178	60,534	60,534
14868	Chambers Road - Unsealed Resheet SLK 2.1 to 4.26 (C)	-	50,616	50,616	151,848	151,848
14869	Silverwood Road - Unsealed Resheet SLK 0.01 to 1.3 (C)	36,994	30,438	30,438	91,314	91,314
14870	Downs Road - Unsealed Resheet SLK 2.0 to 3.35 (C)	35,806	31,806	31,806	95,418	95,418
15085	Jalbarragup Road New Shoulders (C)	-	581,473	581,473	1,744,420	1,744,420
15103	Prince Street Laneway(C)	28,003	-	-	-	-
15108	Bussell Highway Resurfacing SLK 0 to 3.8 (C)	-	-	-	181,000	-
<b>Total Roads Infrastructure</b>		<b>1,539,493</b>	<b>3,261,998</b>	<b>3,322,331</b>	<b>10,093,354</b>	<b>10,093,354</b>
<b>Bridges Infrastructure</b>						
12377	Gale Road Bridge 3408A(C)	317	-	-	-	-
<b>Total Bridges Infrastructure</b>		<b>317</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Car Parks Infrastructure</b>						
10608	Dunsborough Yacht Club Carpark(C)	379	-	-	-	-
12653	Hotel Site 2 Carpark(C)	600	-	-	-	-
14815	Carpark Hotel Site 2(C )	46,642	192,546	192,546	192,546	192,546
14873	Forrest Beach Horse Float Carparking Area(C)	-	64,815	64,815	194,446	194,446
14874	Disabled Parking Bays BussForesore (Old ennisCourt)(C)	-	3,333	3,333	10,000	10,000
14875	Eagle Bay Boat Ramp Parking off Fern Road(C)	1,864	10,000	10,000	30,000	30,000
14876	Eagle Cresnet on road parking - Eagle Bay(C)	-	12,333	12,333	37,000	37,000
14877	Rotary Park Stage 1 - Design, permits and clearing(C)	-	6,667	6,667	20,000	20,000
14878	Senior Citizens Universal Access Parking(C)	1,022	19,298	19,298	57,893	57,893
<b>Total Car Parks Infrastructure</b>		<b>50,507</b>	<b>308,992</b>	<b>308,992</b>	<b>541,885</b>	<b>541,885</b>
<b>Footpaths Infrastructure</b>						
10741	Busselton CBD Footpath Renewal(C)	398	18,195	18,195	54,585	54,585

City of Busselton Capital Acquisitions & Construction Report For the period ended 31st October 2023		2023/24	2023/24	2023/24	2023/24	2023/24
Project	Project Description	Actual YTD	Amended Budget YTD	Original Budget YTD	Amended Budget	Budget Original
		\$	\$	\$	\$	\$
10903	DAIP - Disability Access(C)	4,371	10,000	10,000	30,000	30,000
11986	Causeway Road Shared Path(C)	104,696	-	-	-	-
12727	Valley Road Footpath(C)	103	-	-	-	-
12816	Coastal Principled Shares Path (C)	241	70,488	70,488	70,488	70,488
12818	Kaloorup Road (C)	124	-	-	-	-
14814	Townscape Works Busselton(C )	-	33,333	33,333	100,000	100,000
14887	Coastal Shared Path - Forth St to Holgate(C)	-	153,333	153,333	460,000	460,000
14888	Bay View Street - Bussell Hwy to Dorset Street(C)	1,039	42,066	42,066	126,198	126,198
14889	Queen St - Queen St & Prince St Roundabout Zebra Cross(C)	-	5,333	5,333	16,000	16,000
14890	Carey St - Kent Street and Harris to Peel(C)	-	37,962	37,962	113,886	113,886
14891	Adelaide Street - Lot 11 to Stanley St(C)	4,134	18,810	18,810	56,430	56,430
14892	Peron Avenue - Chester Way to Pimlea Parade(C)	-	49,000	49,000	147,000	147,000
14893	Bay View Crescent - Curtis Bay Lot 62 to Lot 4(C)	3,065	18,333	18,333	55,000	55,000
14894	Telstra Park - Lot 4 Naturaliste Terrace(C)	1,307	6,667	6,667	20,000	20,000
14895	Vincent Street to Geographe Bay Road (Reserve 44343)(C)	548	133,333	133,333	400,000	400,000
14896	Dunsborough Lakes Drive - Caves Road(C)	1,576	5,000	5,000	15,000	15,000
14897	Naturaliste Terrace Footbridge Renewal #6017 Lot 254(C)	3,380	36,667	36,667	110,000	110,000
14905	GLC Footpath NIB (C)	-	8,000	8,000	20,000	20,000
15071	Upgrade Wagin Gardens Footpath Access (C)	301	8,000	8,000	20,000	20,000
15072	Upgrade Harris Rd POS Access (C)	9,787	4,000	4,000	10,000	10,000
<b>Total Footpaths Infrastructure</b>		<b>135,070</b>	<b>658,521</b>	<b>658,521</b>	<b>1,824,587</b>	<b>1,824,587</b>
<b>Parks, Gardens and Reserves</b>						
10613	Meelup Coastal Parking & Landscaping(C)	3,501	29,706	29,706	178,238	178,238
10688	Depot Washdown Facility Upgrades(C)	-	9,588	9,588	76,700	76,700
10764	Dunsborough Foreshore Lighting(C)	495	-	-	-	-
10765	Foreshore Busselton - High Street to Carey Street(C)	-	16,667	16,667	50,000	50,000
10766	Foreshore Yallingup Capital(C)	-	6,667	6,667	20,000	20,000
10767	Port Geographe General Improvements/ Foreshore(C)	182	-	-	-	-
10831	Rotary Park / War Memorial Relocation(C)	34,913	25,000	25,000	525,000	525,000
10951	Mitchell Park Upgrade(C)	401	-	-	37,000	37,000
10952	Possum Park Barnard East Upgrade(C)	-	-	-	30,000	30,000
10953	Youth Skate Park(C)	-	6,667	6,667	20,000	20,000
10959	Churchill Park(C)	210	-	-	-	-
10963	Minor Capital Improvements, Fencing, Seating, Lighting et(C)	-	13,333	13,333	40,000	40,000
10966	Provence SAR Area General Improvements to the Area(C)	-	53,333	53,333	160,000	160,000
10967	New Shade Sails – multiple locations (C)	-	88,388	88,388	265,165	265,165
10969	Vasse SAR Area General Improvements to the Area(C)	2,021	23,333	23,333	70,000	70,000
11024	Pioneer Cemetery - Implement Conservation Plan(C)	319	7,092	7,092	21,276	21,276
11035	Park Furniture Renewals - Replace aged & unsafe Equip(C)	-	18,333	18,333	55,000	55,000
11117	Limestone Quarry - POS Upgrade(C)	1,017	-	-	-	-
12251	Cricket Wicket Renewal(C)	8,636	-	-	30,000	30,000
12254	Busselton Tennis Club - Infrastructure(C)	37,843	19,022	19,022	46,000	46,000
12267	Busselton Townscape Street Furniture Renewals (C)	-	13,333	13,333	40,000	40,000
12382	Rails to Trails - Continuation of Implementation Plan(C)	1,650	35,000	35,000	105,000	105,000
12407	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	160	208,571	208,571	730,000	730,000
12421	City Lined Landfill Stage 2 - Preliminary Works(C)	49,657	-	-	80,000	80,000
12425	Busselton Landfill Post-closure Capping, Rehab & Remediat(C)	101,875	-	-	2,000,000	2,000,000
12511	Dunsborough - BMX / Skatebowl(C)	-	3,333	3,333	10,000	10,000
12528	Dunsborough Town Centre/ Foreshore(C)	-	10,000	10,000	30,000	30,000
12661	Busselton Foreshore Renewals(C)	82	-	-	-	-
12780	BPACC - Landscaping (C)	3,213	-	-	500,000	500,000
12821	Churchill Park - Main Oval Renewal (C)	5,630	183,333	183,333	550,000	550,000
12846	Mitchell Park Landscape Upgrade Stage 2(C)	441	-	-	150,000	150,000
12849	Sport Oval Lighting - Vasse Ovals(C)	145,515	-	-	116,731	116,731
12850	Dunsborough Lakes Sporting Precinct (Stage 1) - Planning (C)	-	100,000	100,000	150,000	150,000
14807	Storytime Way(C)	134	-	-	-	-
14811	RBFS Old Dunsborough Boat Ramp Scour Protection (C)	-	11,080	11,080	33,240	33,240
14900	Metricup Cemetery - Paths & Ashes iternment(C)	209	3,333	3,333	10,000	10,000
14901	Port Geographe POS Retaining Wall Renewals(C)	-	17,667	17,667	53,000	53,000
14903	Centennial Park Irrigation renewal(C)	-	41,667	41,667	125,000	125,000
14904	Beach Shower/Water Fountain Ren Busselton Foreshore(C)	-	6,667	6,667	20,000	20,000
14906	Dunsborough Oval Skatepark Lighting Renewal(C)	-	23,333	23,333	70,000	70,000
14907	Busselton Foreshore - Annual Renewals (C)	20,891	16,667	16,667	50,000	50,000
14908	Dunsborough Town Centre & Foreshore - Annual Renewals (C)	-	10,000	10,000	30,000	30,000
14909	Lou Weston Basketball System upgrades (C)	-	10,667	10,667	32,000	32,000
14910	Seymour Park - Replacement of Decking(C)	1,150	16,867	16,867	50,600	50,600
14911	Jarraewood Playground Equipment Renewal(C)	-	8,667	8,667	26,000	26,000
14912	Newtown Oval New Playground Equipment(C)	-	5,000	5,000	15,000	15,000
14913	Heron Place - New New Playground Equipment(C)	-	3,333	3,333	10,000	10,000
14914	Lou Weston Playground Equipment Renewal(C)	-	20,000	20,000	60,000	60,000

City of Busselton Capital Acquisitions & Construction Report For the period ended 31st October 2023						
Project	Project Description	2023/24 Actual YTD	2023/24 Amended Budget YTD	2023/24 Original Budget YTD	2023/24 Amended Budget	2023/24 Budget Original
		\$	\$	\$	\$	\$
14915	Busselton Foreshore disability carousel renewal(C)	-	15,000	15,000	45,000	45,000
14916	Dunsborough Foreshore disability carousel renewal(C)	-	15,000	15,000	45,000	45,000
14917	Meelup Regional Park - Capital Projects(C)	6,409	59,333	59,333	178,000	178,000
14918	BBQ Placement and Replacement(C)	-	10,000	10,000	30,000	30,000
14919	Beach Access stairs (C)	-	18,333	18,333	55,000	55,000
14944	Busselton Works Depot Parks & Gardens Product Bays(C)	-	6,667	6,667	20,000	20,000
Total Parks, Gardens and Reserves		426,556	1,189,981	1,189,981	7,043,950	7,043,950
Drainage Infrastructure						
10692	Carey Street Drainage Upgrade(C)	-	-	-	-	-
12815	North Street Drainage Works(C)	9,299	28,894	28,894	231,149	231,149
14879	Busselton LIA Drainage Investigation & Design(C)	522	16,667	16,667	50,000	50,000
14880	Chapman Street Mitigate private property inundation(C)	-	83,333	83,333	250,000	250,000
14881	Dunsborough Lakes Drive No 69/71(C)	239	37,405	37,405	112,215	112,215
14882	Dunsborough Lakes Condition inspection & Design(C)	-	16,667	16,667	50,000	50,000
14883	Carey Street Drainage Renewals(C)	7,513	84,298	84,298	252,894	252,894
14884	Depuch Close - Eagle Bay(C)	8,290	25,491	25,491	76,473	76,473
14885	Heppingstone & Hale Street intersection(C)	-	11,239	11,239	33,718	33,718
14886	Hester Steet Drainage Renewal SLK0.33 (C)	2,678	6,009	6,009	18,027	18,027
14945	WSUD Improv Drainage Outlets and Catchements(C)	-	-	-	30,000	30,000
Total Drainage Infrastructure		28,458	310,002	310,002	1,104,476	1,104,476
Regional Airport and Industrial Park						
10583	Airport Construction Stage 2, Airfield(C)	-	-	-	337,478	337,478
12941	Airport - Other Buildings(C)	-	1,667	1,667	5,000	5,000
14836	RFDS relocation(C)	-	-	-	366,180	366,180
14838	BMRAP - Apron Lighting(C)	-	-	-	65,000	65,000
14839	BMRAP - Apron CCTV(C)	-	-	-	50,000	50,000
15060	BMRA MAGS Improvements (C)	-	-	-	17,000	17,000
15061	BMRA Gate 1 Replacement (C)	-	-	-	10,000	10,000
15062	BMRA GA Precinct Reseal (C)	-	-	-	437,620	437,620
Total Regional Airport and Industrial Park		-	1,667	1,667	1,288,278	1,288,278
Infrastructure Total		2,180,399	5,731,161	5,791,494	21,896,529	21,896,529
Grand Total		6,696,612	19,358,261	19,418,594	59,461,485	59,461,485

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b><u>1001 - Airport Existing Terminal Building Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(456,382.11)	(456,382.11)	(456,382.11)
10904	Interest Earned	Other General Purpose Funding(O)	3,569.34	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	452,812.77	456,382.11	456,382.11
Airport Existing Terminal Building Reserve Closing Balance			0.00	0.00	0.00
<b><u>1003 - Airport Marketing &amp; Incentive Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(4,895,380.26)	(4,895,380.26)	(4,895,380.26)
10904	Interest Earned	Other General Purpose Funding(O)	43,808.44	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	4,851,571.82	4,895,380.26	4,895,380.26
Airport Marketing & Incentive Reserve Closing Balance			0.00	0.00	0.00
<b><u>1004 - Airport New Terminal Building Reserve</u></b>					
			0.00	0.00	0.00
10904	Interest Earned	Other General Purpose Funding(O)	0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
Airport New Terminal Building Reserve Closing Balance			0.00	0.00	0.00
<b><u>1005 - Barnard Park Sports Pavilion Building Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(115,031.42)	(115,031.42)	(115,031.42)
10904	Interest Earned	Other General Purpose Funding(O)	909.80	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	114,121.62	115,031.42	115,031.42
Barnard Park Sports Pavilion Building Reserve Closing Balance			0.00	0.00	0.00
<b><u>1006 - Building Asset Renewal Reserve Fund - General Buildings</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,389,334.17)	(3,389,334.17)	(3,389,334.17)
10904	Interest Earned	Other General Purpose Funding(O)	(113,348.11)	(78,329.00)	(234,986.97)
10027	Transfer To Reserve	Asset Management Administration(O)	(943,188.10)	(3,318,832.55)	(4,441,390.00)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(2,375,644.45)	0.00	0.00
10016	Transfer From Reserve	Civic and Administration Centre Minor Upgrades(C)	0.00	0.00	35,000.00
10025	Transfer From Reserve	Weld Theatre(C)	0.00	0.00	250,000.00
10027	Transfer From Reserve	Asset Management Administration(O)	0.00	0.00	21,600.00
10163	Transfer From Reserve	Old Fire Station Building(O)	0.00	0.00	15,000.00
10167	Transfer From Reserve	Dunsborough Hall(O)	0.00	0.00	5,000.00
10179	Transfer From Reserve	Youth Services(O)	0.00	0.00	14,000.00
10243	Transfer From Reserve	Depot Building-Busselton(O)	0.00	0.00	10,037.00
10787	Transfer From Reserve	Geographe Leisure Centre Upgrade(C)	0.00	0.00	567,464.00
10853	Transfer From Reserve	Asbestos Removal & Replacement(O)	0.00	0.00	50,000.00
11761	Transfer From Reserve	Abbey Beach Boat Ramp Toilets(O)	0.00	0.00	8,533.00
12331	Transfer From Reserve	Smiths Beach New Public Toilet(C)	0.00	0.00	250,000.00
12795	Transfer From Reserve	Busselton Depot CCTV & Electronic Gate(C)	0.00	0.00	16,259.00
12796	Transfer From Reserve	Depot Training Room (C)	0.00	0.00	75,000.00
12798	Transfer From Reserve	High Street Hall (C)	0.00	0.00	10,500.00
12800	Transfer From Reserve	Old Courthouse and Jail Cells (C)	0.00	0.00	102,853.00
12939	Transfer From Reserve	Administration Building- 2-16 Southern Drive(C)	0.00	0.00	45,000.00
12940	Transfer From Reserve	Depot Building-Busselton((C)	0.00	0.00	270,000.00
12947	Transfer From Reserve	Old Court House(O)	0.00	0.00	79,200.00
14942	Transfer From Reserve	Lions Park Shopping Centre Toilets (C)	0.00	0.00	250,000.00
14943	Transfer From Reserve	Changing Places Accessable Ablutions (C)	0.00	0.00	100,000.00
15063	Transfer From Reserve	NCC - Les Mills Pump Rack (C)	0.00	0.00	8,000.00
15064	Transfer From Reserve	GLC Cafe Double Fridge (C)	0.00	0.00	20,000.00
15074	Transfer From Reserve	Vasse Toilet (C)	0.00	0.00	125,000.00
15075	Transfer From Reserve	Vasse Toilet (O)	0.00	0.00	35,000.00
Building Asset Renewal Reserve Fund - General Buildings Closing Balance			(6,821,514.83)	(6,786,495.72)	(5,702,265.14)
<b><u>1007 - Busselton Area Drainage and Waterways Improvement Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(134,559.27)	(134,559.27)	(134,559.27)
10904	Interest Earned	Other General Purpose Funding(O)	1,090.34	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	133,468.93	134,559.27	134,559.27
Busselton Area Drainage and Waterways Improvement Reserve Closing Balance			0.00	0.00	0.00
<b><u>1008 - Busselton Community Resource Centre Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(531,460.32)	(531,460.32)	(531,460.32)
10904	Interest Earned	Other General Purpose Funding(O)	4,337.70	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	527,122.62	531,460.32	531,460.32
Busselton Community Resource Centre Reserve Closing Balance			0.00	0.00	0.00
<b><u>1009 - Busselton Foreshore Maintenance Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(13,115.45)	(13,115.45)	(13,115.45)
10904	Interest Earned	Other General Purpose Funding(O)	106.28	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	13,009.17	13,115.45	13,115.45
Busselton Foreshore Maintenance Reserve Closing Balance			0.00	0.00	0.00



## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1010 - Busselton Jetty Tourist Park Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,971,964.57)	(1,971,964.57)	(1,971,964.57)
10904	Interest Earned	Other General Purpose Funding(O)	(33,797.80)	(17,565.44)	(52,696.38)
10297	Transfer To Reserve	Busselton Jetty Tourist Park(O)	(151,310.80)	(151,310.80)	(453,932.50)
11040	Transfer From Reserve	Economic and Business Development(O)	0.00	0.00	149,344.00
12868	Transfer From Reserve	Busselton Jetty Tourist Park - Cabin Replacement/Upgrade (C)	0.00	0.00	540,000.00
12870	Transfer From Reserve	Busselton Jetty Tourist Park- Replace Holden Colorado 4x4(C)	0.00	0.00	25,000.00
12872	Transfer From Reserve	Busselton Jetty Tourist Park - Battery Powered Mule (C)	0.00	0.00	30,000.00
<i>Busselton Jetty Tourist Park Reserve Closing Balance</i>			(2,157,073.17)	(2,140,840.81)	(1,734,249.45)
<b>1011 - Busselton Library Building Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(155,509.60)	(155,509.60)	(155,509.60)
10904	Interest Earned	Other General Purpose Funding(O)	1,217.70	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	154,291.90	155,509.60	155,509.60
<i>Busselton Library Building Reserve Closing Balance</i>			0.00	0.00	0.00
<b>1012 - CBD Enhancement Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(9,195.11)	(9,195.11)	(9,195.11)
10904	Interest Earned	Other General Purpose Funding(O)	36.36	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	9,158.75	9,195.11	9,195.11
<i>CBD Enhancement Reserve Closing Balance</i>			0.00	0.00	0.00
<b>1013 - Cemetery Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(365,556.55)	(365,556.55)	(365,556.55)
10904	Interest Earned	Other General Purpose Funding(O)	2,933.49	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	362,623.06	365,556.55	365,556.55
<i>Cemetery Reserve Closing Balance</i>			0.00	0.00	0.00
<b>1014 - City Car Parking and Access Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,436,683.08)	(1,436,683.08)	(1,436,683.08)
10904	Interest Earned	Other General Purpose Funding(O)	(23,399.52)	(19,480.68)	(58,442.00)
10027	Transfer To Reserve	Asset Management Administration(O)	(57,864.68)	(57,864.68)	(173,594.00)
10904	Transfer From Reserve	Other General Purpose Funding(O)	250,000.00	250,000.00	250,000.00
14815	Transfer From Reserve	Carpark Hotel Site 2(C )	0.00	0.00	192,546.00
14873	Transfer From Reserve	Forrest Beach Horse Float Carparking Area(C)	0.00	0.00	194,446.00
14874	Transfer From Reserve	Disabled Parking Bays BussForeshore (Old ennisCourt)(C)	0.00	0.00	10,000.00
14875	Transfer From Reserve	Eagle Bay Boat Ramp Parking off Fern Road(C)	0.00	0.00	30,000.00
14876	Transfer From Reserve	Eagle Crescent on road parking - Eagle Bay(C)	0.00	0.00	37,000.00
14877	Transfer From Reserve	Rotary Park Stage 1 - Design, permits and clearing(C)	0.00	0.00	20,000.00
14878	Transfer From Reserve	Senior Citizens Universal Access Parking(C)	0.00	0.00	57,892.74
<i>City Car Parking and Access Reserve Closing Balance</i>			(1,267,947.28)	(1,264,028.44)	(876,834.34)
<b>1015 - Civic and Administration Building Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(900,462.52)	(900,462.52)	(900,462.52)
10904	Interest Earned	Other General Purpose Funding(O)	7,140.23	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	893,322.29	900,462.52	900,462.52
<i>Civic and Administration Building Reserve Closing Balance</i>			0.00	0.00	0.00
<b>1016 - Coastal and Climate Adaptation Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,194,818.65)	(1,194,818.65)	(1,194,818.65)
10904	Interest Earned	Other General Purpose Funding(O)	(17,624.32)	(6,904.60)	(20,713.84)
10027	Transfer To Reserve	Asset Management Administration(O)	(381,649.00)	(381,649.00)	(1,144,947.00)
12811	Transfer From Reserve	Sand Re-Nourishment(O)	0.00	0.00	110,000.00
12873	Transfer From Reserve	Coastal Protection - Beach Monitoring Year 10 (O)	0.00	0.00	53,300.00
12875	Transfer From Reserve	Coastal Protection - Coastal Structures Inspections and R(O)	0.00	0.00	6,664.00
14736	Transfer From Reserve	PACP Coastal Grant Projects(O)	0.00	0.00	1,324,521.00
14929	Transfer From Reserve	Coastal Adaptation and Protection Plan(O)	0.00	0.00	142,000.00
<i>Coastal and Climate Adaptation Reserve Closing Balance</i>			(1,594,091.97)	(1,583,372.25)	(723,994.49)
<b>1017 - Commonage Community Facilities Dunsborough Lakes SR</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(76,996.33)	(76,996.33)	(76,996.33)
10904	Interest Earned	Other General Purpose Funding(O)	623.91	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	76,372.42	76,996.33	76,996.33
<i>Commonage Community Facilities Dunsborough Lakes SR Closing Balance</i>			0.00	0.00	0.00
<b>1018 - Commonage Community Facilities South Biddle Precinct Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(938,927.52)	(938,927.52)	(938,927.52)
10904	Interest Earned	Other General Purpose Funding(O)	(14,873.83)	(14,256.96)	(42,770.88)
			0.00	0.00	0.00
			0.00	0.00	0.00
<i>Commonage Community Facilities South Biddle Precinct Reserve Closing Balance</i>			(953,801.35)	(953,184.48)	(981,698.40)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1019 - Commonage Precinct Bushfire Facilities Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(60,709.28)	(60,709.28)	(60,709.28)
10904	Interest Earned	Other General Purpose Funding(O)	(961.72)	(921.84)	(2,765.50)
			0.00	0.00	0.00
15067	Transfer From Reserve	Commonage Fire Facility (C)	0.00	0.00	40,000.00
Commonage Precinct Bushfire Facilities Reserve Closing Balance			(61,671.00)	(61,631.12)	(23,474.78)
<b>1020 - Commonage Precinct Infrastructure Road Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(844.18)	(844.18)	(844.18)
10904	Interest Earned	Other General Purpose Funding(O)	6.84	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	837.34	844.18	844.18
Commonage Precinct Infrastructure Road Reserve Closing Balance			0.00	0.00	0.00
<b>1021 - Community Facilities - Airport North</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,282,875.59)	(3,282,875.59)	(3,282,875.59)
10904	Interest Earned	Other General Purpose Funding(O)	(52,005.06)	(51,663.72)	(154,991.14)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(78,666.41)	0.00	0.00
11026	Transfer To Reserve	Planning Administration(O)	0.00	(39,568.00)	(118,704.00)
			0.00	0.00	0.00
Community Facilities - Airport North Closing Balance			(3,413,547.06)	(3,374,107.31)	(3,556,570.73)
<b>1022 - Community Facilities - Broadwater</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(275,330.68)	(275,330.68)	(275,330.68)
10904	Interest Earned	Other General Purpose Funding(O)	(5,519.89)	(3,347.32)	(10,041.91)
11026	Transfer To Reserve	Planning Administration(O)	0.00	(5,421.00)	(16,263.00)
			0.00	0.00	0.00
Community Facilities - Broadwater Closing Balance			(280,850.57)	(284,099.00)	(301,635.59)
<b>1023 - Community Facilities - Busselton</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(101,930.40)	(101,930.40)	(101,930.40)
10904	Interest Earned	Other General Purpose Funding(O)	(9,117.68)	(1,503.40)	(4,510.19)
11026	Transfer To Reserve	Planning Administration(O)	0.00	(7,365.68)	(22,097.00)
14909	Transfer From Reserve	Lou Weston Basketball System upgrades (C)	0.00	0.00	32,000.00
14914	Transfer From Reserve	Lou Weston Playground Equipment Renewal(C)	0.00	0.00	60,000.00
Community Facilities - Busselton Closing Balance			(111,048.08)	(110,799.48)	(36,537.59)
<b>1024 - Community Facilities - City District</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,320,534.07)	(1,320,534.07)	(1,320,534.07)
10904	Interest Earned	Other General Purpose Funding(O)	(20,646.75)	(12,495.80)	(37,487.44)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(55,139.38)	0.00	0.00
11026	Transfer To Reserve	Planning Administration(O)	0.00	(119,116.00)	(357,348.00)
10642	Transfer From Reserve	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	0.00	0.00	95,350.00
10765	Transfer From Reserve	Foreshore Busselton - High Street to Carey Street(C)	0.00	0.00	50,000.00
10952	Transfer From Reserve	Possum Park Barnard East Upgrade(C)	0.00	0.00	30,000.00
12382	Transfer From Reserve	Rails to Trails - Continuation of Implementation Plan(C)	0.00	0.00	105,000.00
12850	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1) - Planning (C)	0.00	0.00	150,000.00
14915	Transfer From Reserve	Busselton Foreshore disability carousel renewal(C)	0.00	0.00	45,000.00
Community Facilities - City District Closing Balance			(1,396,320.20)	(1,452,145.87)	(1,240,019.51)
<b>1025 - Community Facilities - Dunsborough</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(523,252.41)	(523,252.41)	(523,252.41)
10904	Interest Earned	Other General Purpose Funding(O)	(8,289.00)	(7,753.44)	(23,260.34)
11026	Transfer To Reserve	Planning Administration(O)	0.00	(11,669.68)	(35,009.00)
10766	Transfer From Reserve	Foreshore Yallingup Capital(C)	0.00	0.00	20,000.00
12528	Transfer From Reserve	Dunsborough Town Centre/ Foreshore(C)	0.00	0.00	30,000.00
14903	Transfer From Reserve	Centennial Park Irrigation renewal(C)	0.00	0.00	125,000.00
14916	Transfer From Reserve	Dunsborough Foreshore disability carousel renewal(C)	0.00	0.00	45,000.00
Community Facilities - Dunsborough Closing Balance			(531,541.41)	(542,675.53)	(361,521.75)
<b>1026 - Community Facilities - Dunsborough Lakes</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(900,385.65)	(900,385.65)	(900,385.65)
10904	Interest Earned	Other General Purpose Funding(O)	(14,263.30)	(4,439.04)	(13,317.08)
			0.00	0.00	0.00
10642	Transfer From Reserve	Dunsborough Lakes Sporting Precinct-Pavilion/Changeroom F(C)	0.00	0.00	375,596.00
12407	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	0.00	0.00	201,426.00
Community Facilities - Dunsborough Lakes Closing Balance			(914,648.95)	(904,824.69)	(336,680.73)
<b>1027 - Community Facilities - Geographe</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(156,185.31)	(156,185.31)	(156,185.31)
10904	Interest Earned	Other General Purpose Funding(O)	(2,474.20)	(2,343.40)	(7,030.20)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(1,132.57)	0.00	0.00
11026	Transfer To Reserve	Planning Administration(O)	0.00	(3,634.00)	(10,902.00)
			0.00	0.00	0.00
Community Facilities - Geographe Closing Balance			(159,792.08)	(162,162.71)	(174,117.51)



## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1028 - Community Facilities - Port Geographe</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(364,198.33)	(364,198.33)	(364,198.33)
10904	Interest Earned	Other General Purpose Funding(O)	(5,769.39)	(5,530.12)	(16,590.32)
			0.00	0.00	0.00
			0.00	0.00	0.00
Community Facilities - Port Geographe Closing Balance			(369,967.72)	(369,728.45)	(380,788.65)
<b>1029 - Community Facilities - Vasse</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(108,013.75)	(108,013.75)	(108,013.75)
10904	Interest Earned	Other General Purpose Funding(O)	(1,704.52)	0.00	0.00
10904	Transfer To Reserve	Other General Purpose Funding(O)	0.00	0.00	(8,717.00)
12849	Transfer From Reserve	Sport Oval Lighting - Vasse Ovals(C)	0.00	0.00	116,731.00
Community Facilities - Vasse Closing Balance			(109,718.27)	(108,013.75)	0.25
<b>1030 - Corporate IT Systems Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(329,864.57)	(329,864.57)	(329,864.57)
10904	Interest Earned	Other General Purpose Funding(O)	(7,736.25)	(1,136.72)	(3,410.22)
10027	Transfer To Reserve	Asset Management Administration(O)	(266,245.84)	(266,245.84)	(798,737.64)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(97,084.09)	(97,863.46)	(97,863.46)
12876	Transfer From Reserve	ICT Services - Equipment & Software Purchases(C)	0.00	0.00	792,506.00
Corporate IT Systems Reserve Closing Balance			(700,930.75)	(695,110.59)	(437,369.89)
<b>1031 - Debt Default Reserve</b>					
			0.00	0.00	0.00
10904	Interest Earned	Other General Purpose Funding(O)	857.24	0.00	0.00
10904	Transfer To Reserve	Other General Purpose Funding(O)	(857.24)	0.00	0.00
			0.00	0.00	0.00
Debt Default Reserve Closing Balance			0.00	0.00	0.00
<b>1032 - Election, Value and Corporate Expense Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(401,440.34)	(401,440.34)	(401,440.34)
10904	Interest Earned	Other General Purpose Funding(O)	(6,394.38)	(4,954.00)	(14,862.02)
10830	Transfer To Reserve	Members of Council(O)	(48,933.32)	(48,933.32)	(146,800.00)
10830	Transfer From Reserve	Members of Council(O)	0.00	0.00	180,000.00
Election, Value and Corporate Expense Reserve Closing Balance			(456,768.04)	(455,327.66)	(383,102.36)
<b>1033 - Emergency Disaster Recovery Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(97,863.46)	(97,863.46)	(97,863.46)
10904	Interest Earned	Other General Purpose Funding(O)	779.37	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	97,084.09	97,863.46	97,863.46
Emergency Disaster Recovery Reserve Closing Balance			0.00	0.00	0.00
<b>1034 - Energy Sustainability Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(247,224.49)	(247,224.49)	(247,224.49)
10904	Interest Earned	Other General Purpose Funding(O)	2,230.55	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	244,993.94	247,224.49	247,224.49
Energy Sustainability Reserve Closing Balance			0.00	0.00	0.00
<b>1035 - Footpath and Cycleways Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,726,462.66)	(1,726,462.66)	(1,726,462.66)
10904	Interest Earned	Other General Purpose Funding(O)	(25,752.58)	(19,570.60)	(58,711.80)
10027	Transfer To Reserve	Asset Management Administration(O)	(447,486.32)	(447,486.32)	(1,342,459.00)
10027	Transfer From Reserve	Asset Management Administration(O)	0.00	7,199.68	21,599.00
10741	Transfer From Reserve	Busselton CBD Footpath Renewal(C)	0.00	0.00	54,585.00
10903	Transfer From Reserve	DAIP - Disability Access(C)	0.00	0.00	30,000.00
12816	Transfer From Reserve	Coastal Principled Shares Path (C)	0.00	0.00	70,488.00
14814	Transfer From Reserve	Townscape Works Busselton(C )	0.00	0.00	100,000.00
14887	Transfer From Reserve	Coastal Shared Path - Forth St to Holgate(C)	0.00	0.00	230,000.00
14888	Transfer From Reserve	Bay View Street - Bussell Hwy to Dorset Street(C)	0.00	0.00	126,198.00
14889	Transfer From Reserve	Queen St - Queen St & Prince St Roundabout Zebra Cross(C)	0.00	0.00	16,000.00
14890	Transfer From Reserve	Carey St - Kent Street and Harris to Peel(C)	0.00	0.00	113,886.00
14891	Transfer From Reserve	Adelaide Street - Lot 11 to Stanley St(C)	0.00	0.00	56,430.06
14892	Transfer From Reserve	Peron Avenue - Chester Way to Pimlea Parade(C)	0.00	0.00	147,000.00
14893	Transfer From Reserve	Bay View Crescent - Curtis Bay Lot 62 to Lot 4(C)	0.00	0.00	55,000.00
14894	Transfer From Reserve	Telstra Park - Lot 4 Naturaliste Terrace(C)	0.00	0.00	20,000.00
14895	Transfer From Reserve	Vincent Street to Geographe Bay Road (Reserve 44343)(C)	0.00	0.00	400,000.00
14896	Transfer From Reserve	Dunsborough Lakes Drive - Caves Road(C)	0.00	0.00	15,000.00
14897	Transfer From Reserve	Naturaliste Terrace Footbridge Renewal #6017 Lot 254(C)	0.00	0.00	110,000.00
14899	Transfer From Reserve	Feasibility Study -Dunsborough to Yallingup(O)	0.00	0.00	10,000.00
14905	Transfer From Reserve	GLC Footpath NIB (C)	0.00	0.00	20,000.00
15071	Transfer From Reserve	Upgrade Wagin Gardens Footpath Access (C)	0.00	0.00	20,000.00
15072	Transfer From Reserve	Upgrade Harris Rd POS Access (C)	0.00	0.00	10,000.00
Footpath and Cycleways Reserve Closing Balance			(2,199,701.56)	(2,186,319.90)	(1,501,447.40)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1036 - Furniture and Equipment Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(483,155.93)	(483,155.93)	(483,155.93)
10904	Interest Earned	Other General Purpose Funding(O)	(7,404.15)	(842.24)	(2,526.78)
10027	Transfer To Reserve	Asset Management Administration(O)	(48,945.32)	(48,945.32)	(146,836.00)
12876	Transfer From Reserve	ICT Services - Equipment & Software Purchases(C)	0.00	0.00	172,991.00
12878	Transfer From Reserve	Naturaliste Community Centre (NCC) - Purchase Office Furn(C)	0.00	0.00	20,000.00
14730	Transfer From Reserve	Geographe Leisure Centre Fitness Equipment(C)	0.00	0.00	18,160.00
14927	Transfer From Reserve	Dunsborough Depot(C)	0.00	0.00	21,300.00
14939	Transfer From Reserve	Ice Machine (C)	0.00	0.00	10,000.00
15082	Transfer From Reserve	Administration Building Furniture& Equipment C)	0.00	0.00	15,000.00
15088	Transfer From Reserve	Busselton Depot Building Furniture & Equipment (C)	0.00	0.00	10,813.00
<i>Furniture and Equipment Reserve Closing Balance</i>			(539,505.40)	(532,943.49)	(364,254.71)
<b>1037 - Geographe Leisure Centre Building (GLC) Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(232,470.11)	(232,470.11)	(232,470.11)
10904	Interest Earned	Other General Purpose Funding(O)	3,399.96	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	229,070.15	232,470.11	232,470.11
<i>Geographe Leisure Centre Building (GLC) Reserve Closing Balance</i>			0.00	0.00	0.00
<b>1038 - Jetty Maintenance Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(7,345,734.77)	(7,345,734.77)	(7,345,734.77)
10904	Interest Earned	Other General Purpose Funding(O)	(114,684.30)	(106,252.60)	(318,757.80)
10027	Transfer To Reserve	Asset Management Administration(O)	(114,411.32)	(114,411.32)	(343,234.00)
10048	Transfer To Reserve	Busselton Jetty(O)	(286,258.64)	(286,258.64)	(858,776.00)
10160	Transfer To Reserve	Equinox Cafe(O)	(31,975.92)	(31,975.92)	(95,927.79)
10161	Transfer To Reserve	Goose Café(O)	(17,724.64)	(17,724.64)	(53,173.90)
10162	Transfer To Reserve	Micro Brewery Building(O)	(32,238.44)	(32,238.44)	(96,715.27)
11704	Transfer To Reserve	Busselton Tennis Club Building (Old)(O)	(8,658.32)	(8,658.32)	(25,974.96)
11798	Transfer To Reserve	Hotel Site 2(O)	(12,632.16)	(12,632.16)	(37,896.49)
10048	Transfer From Reserve	Busselton Jetty(O)	0.00	0.00	1,828,444.00
<i>Jetty Maintenance Reserve Closing Balance</i>			(7,964,318.51)	(7,955,886.81)	(7,347,746.98)
<b>1039 - Jetty Self Insurance Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(672,757.83)	(672,757.83)	(672,757.83)
10904	Interest Earned	Other General Purpose Funding(O)	(10,712.06)	(10,198.36)	(30,595.12)
10048	Transfer To Reserve	Busselton Jetty(O)	(27,142.96)	(27,142.96)	(81,428.88)
			0.00	0.00	0.00
<i>Jetty Self Insurance Reserve Closing Balance</i>			(710,612.85)	(710,099.15)	(784,781.83)
<b>1040 - Joint Venture Aged Housing Reserve (Harris/Winderlup)</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,656,730.67)	(1,656,730.67)	(1,656,730.67)
10904	Interest Earned	Other General Purpose Funding(O)	(26,416.16)	(25,620.20)	(76,860.56)
11683	Transfer To Reserve	Harris Road Aged Housing(O)	0.00	0.00	(78,865.00)
11685	Transfer To Reserve	Winderlup Villas Aged Housing(O)	0.00	0.00	(188,862.00)
12231	Transfer From Reserve	Aged Housing Capital Improvements - Harris Road(C)	0.00	0.00	22,000.00
12233	Transfer From Reserve	Aged Housing Capital Improvements - Winderlup(C)	0.00	0.00	40,000.00
<i>Joint Venture Aged Housing Reserve (Harris/Winderlup) Closing Balance</i>			(1,683,146.83)	(1,682,350.87)	(1,939,318.23)
<b>1041 - Legal Expenses Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(579,578.14)	(579,578.14)	(579,578.14)
10904	Interest Earned	Other General Purpose Funding(O)	(8,517.40)	(9,980.84)	(29,942.55)
			0.00	0.00	0.00
10824	Transfer From Reserve	Legal and Compliance Services(O)	0.00	0.00	150,000.00
<i>Legal Expenses Reserve Closing Balance</i>			(588,095.54)	(589,558.98)	(459,520.69)
<b>1042 - Locke Estate Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(171,194.44)	(171,194.44)	(171,194.44)
10904	Interest Earned	Other General Purpose Funding(O)	(4,076.77)	(2,625.24)	(7,875.71)
10180	Transfer To Reserve	Locke Estate(O)	(21,333.32)	(21,333.32)	(64,000.00)
			0.00	0.00	0.00
<i>Locke Estate Reserve Closing Balance</i>			(196,604.53)	(195,153.00)	(243,070.15)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1043 - Long Service Leave Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,940,671.00)	(3,940,671.00)	(3,940,671.00)
10904	Interest Earned	Other General Purpose Funding(O)	(56,846.38)	(60,103.16)	(180,309.50)
10810	Transfer To Reserve	Human Resources & Payroll(O)	(150,000.00)	(150,000.00)	(450,000.00)
10027	Transfer From Reserve	Asset Management Administration(O)	0.00	0.00	12,260.11
10041	Transfer From Reserve	Building Services(O)	0.00	0.00	9,938.47
10179	Transfer From Reserve	Youth Services(O)	0.00	0.00	16,684.91
10461	Transfer From Reserve	Geographie Leisure Centre(O)	0.00	0.00	27,411.93
10671	Transfer From Reserve	Compliance Services(O)	0.00	0.00	13,586.55
10678	Transfer From Reserve	Customer Services(O)	0.00	0.00	16,091.57
10704	Transfer From Reserve	Engineering & Works Services Support(O)	0.00	0.00	31,653.94
10705	Transfer From Reserve	Engineering Services Administration(O)	0.00	0.00	21,641.27
10706	Transfer From Reserve	Engineering Services Design PWOH(O)	0.00	0.00	5,566.32
10710	Transfer From Reserve	Environmental Health Services Administration(O)	0.00	0.00	4,154.91
10711	Transfer From Reserve	Environmental Management Administration(O)	0.00	0.00	25,859.80
10733	Transfer From Reserve	Financial Services(O)	0.00	0.00	3,058.55
10790	Transfer From Reserve	Governance Support Services(O)	0.00	0.00	43,568.98
10824	Transfer From Reserve	Legal and Compliance Services(O)	0.00	0.00	2,765.74
10901	Transfer From Reserve	Operations Services Admin PWOH(O)	0.00	0.00	26,903.12
10902	Transfer From Reserve	Operations Services Works - PWOH(O)	0.00	0.00	165,812.59
10905	Transfer From Reserve	Other Law, Order & Public Safety(O)	0.00	0.00	40,201.91
11026	Transfer From Reserve	Planning Administration(O)	0.00	0.00	10,138.26
11027	Transfer From Reserve	Planning Directorate Support(O)	0.00	0.00	16,151.22
11124	Transfer From Reserve	Public Relations(O)	0.00	0.00	4,927.23
11126	Transfer From Reserve	Rates Administration(O)	0.00	0.00	20,525.25
12258	Transfer From Reserve	Statutory Planning(O)	0.00	0.00	6,224.28
Long Service Leave Reserve Closing Balance			(4,147,517.38)	(4,150,774.16)	(4,045,853.59)
<b>1044 - Major Traffic Improvements Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,574,755.62)	(1,574,755.62)	(1,574,755.62)
10904	Interest Earned	Other General Purpose Funding(O)	12,539.71	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	1,562,215.91	1,574,755.62	1,574,755.62
Major Traffic Improvements Reserve Closing Balance			0.00	0.00	0.00
<b>1045 - Marketing &amp; Area Promotion Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(393,497.06)	(393,497.06)	(393,497.06)
10904	Interest Earned	Other General Purpose Funding(O)	(3,729.46)	(3,804.28)	(11,412.81)
10188	Transfer To Reserve	Events(O)	(488,780.36)	(488,780.36)	(1,466,341.00)
10022	Transfer From Reserve	BPACC Operations(O)	0.00	0.00	100,000.00
10188	Transfer From Reserve	Events(O)	0.00	0.00	1,661,401.00
14729	Transfer From Reserve	Events Furniture & Equipment(C)	0.00	0.00	5,138.00
Marketing & Area Promotion Reserve Closing Balance			(886,006.88)	(886,081.70)	(104,711.87)
<b>1046 - Naturaliste Community Centre Building (NCC) Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(233,942.56)	(233,942.56)	(233,942.56)
10904	Interest Earned	Other General Purpose Funding(O)	1,975.57	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	231,966.99	233,942.56	233,942.56
Naturaliste Community Centre Building (NCC) Reserve Closing Balance			0.00	0.00	0.00
<b>1047 - New Infrastructure Development Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(756,383.73)	(756,383.73)	(756,383.73)
10904	Interest Earned	Other General Purpose Funding(O)	(12,039.91)	(3,505.36)	(10,516.10)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(1,607,301.47)	(1,602,782.00)	(1,602,782.00)
10904	Transfer From Reserve	Other General Purpose Funding(O)	(250,000.00)	(250,000.00)	(250,000.00)
12407	Transfer From Reserve	Dunsborough Lakes Sporting Precinct (Stage 1)(C)	0.00	0.00	358,778.00
15073	Transfer From Reserve	Lot 9020 Dunsborough (C)	0.00	0.00	900,000.00
New Infrastructure Development Reserve Closing Balance			(2,625,725.11)	(2,612,671.09)	(1,360,903.83)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1048 - Other Infrastructure (Drainage, Signage Etc) Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(721,867.25)	(721,867.25)	(721,867.25)
10904	Interest Earned	Other General Purpose Funding(O)	(21,147.87)	(9,862.08)	(29,586.24)
10027	Transfer To Reserve	Asset Management Administration(O)	(265,213.00)	(265,213.00)	(795,639.00)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(403,782.22)	(496,980.00)	(496,980.00)
10027	Transfer From Reserve	Asset Management Administration(O)	0.00	0.00	21,600.00
10157	Transfer From Reserve	Busselton Cemetery(O)	0.00	0.00	72,303.00
10158	Transfer From Reserve	Dunsborough Cemetery(O)	0.00	0.00	25,620.00
10159	Transfer From Reserve	Pioneer Cemetery(O)	0.00	0.00	6,240.00
10251	Transfer From Reserve	LED Street Light Replacement Program(O)	0.00	0.00	90,000.00
10700	Transfer From Reserve	Dunsborough Cemetery(C)	0.00	0.00	21,276.00
11024	Transfer From Reserve	Pioneer Cemetery - Implement Conservation Plan(C)	0.00	0.00	21,276.00
12815	Transfer From Reserve	North Street Drainage Works(C)	0.00	0.00	231,149.00
14811	Transfer From Reserve	RBFS Old Dunsborough Boat Ramp Scour Protection (C)	0.00	0.00	8,310.00
14879	Transfer From Reserve	Busselton LIA Drainage Investigation & Design(C)	0.00	0.00	50,000.00
14880	Transfer From Reserve	Chapman Street Mitigate private property inundation(C)	0.00	0.00	250,000.00
14881	Transfer From Reserve	Dunsborough Lakes Drive No 69/71(C)	0.00	0.00	112,215.00
14882	Transfer From Reserve	Dunsborough Lakes Condition inspection & Design(C)	0.00	0.00	50,000.00
14883	Transfer From Reserve	Carey Street Drainage Renewals(C)	0.00	0.00	252,893.58
14884	Transfer From Reserve	Depuch Close - Eagle Bay(C)	0.00	0.00	76,472.88
14885	Transfer From Reserve	Heppingstone & Hale Street intersection(C)	0.00	0.00	33,718.37
14886	Transfer From Reserve	Hester Steet Drainage Renewal SLK0.33 (C)	0.00	0.00	18,026.81
14900	Transfer From Reserve	Metricup Cemetery - Paths & Ashes itemment(C)	0.00	0.00	10,000.00
14945	Transfer From Reserve	WSUD Improv Drainage Outlets and Catchements(C)	0.00	0.00	30,000.00
Other Infrastructure (Drainage, Signage Etc) Reserve Closing Balance			(1,412,010.34)	(1,493,922.33)	(662,971.85)
<b>1049 - Parks, Gardens and Reserves Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,349,337.86)	(1,349,337.86)	(1,349,337.86)
10904	Interest Earned	Other General Purpose Funding(O)	(20,248.21)	(7,976.00)	(23,927.98)
10027	Transfer To Reserve	Asset Management Administration(O)	(458,095.00)	(458,095.00)	(1,374,285.00)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(13,009.17)	(13,115.00)	(13,115.00)
10831	Transfer From Reserve	Rotary Park / War Memorial Relocation(C)	0.00	0.00	375,000.00
10953	Transfer From Reserve	Youth Skate Park(C)	0.00	0.00	20,000.00
10963	Transfer From Reserve	Minor Capital Improvements, Fencing, Seating, Lighting et(C)	0.00	0.00	40,000.00
10967	Transfer From Reserve	New Shade Sails – multiple locations (C)	0.00	0.00	265,165.00
11035	Transfer From Reserve	Park Furniture Renewals - Replace aged & unsafe Equip(C)	0.00	0.00	55,000.00
12251	Transfer From Reserve	Cricket Wicket Renewal(C)	0.00	0.00	30,000.00
12267	Transfer From Reserve	Busselton Townscape Street Furniture Renewals (C)	0.00	0.00	40,000.00
12511	Transfer From Reserve	Dunsborough - BMX / Skatebowl(C)	0.00	0.00	10,000.00
12821	Transfer From Reserve	Churchill Park - Main Oval Renewal (C)	0.00	0.00	550,000.00
14904	Transfer From Reserve	Beach Shower/Water Fountain Ren Busselton Foreshore(C)	0.00	0.00	20,000.00
14906	Transfer From Reserve	Dunsborough Oval Skatepark Lighting Renewal(C)	0.00	0.00	70,000.00
14907	Transfer From Reserve	Busselton Foreshore - Annual Renewals (C)	0.00	0.00	50,000.00
14908	Transfer From Reserve	Dunsborough Town Centre & Foreshore - Annual Renewals (C)	0.00	0.00	30,000.00
14910	Transfer From Reserve	Seymour Park - Replacement of Decking(C)	0.00	0.00	50,600.00
14911	Transfer From Reserve	Jarraewood Playground Equipment Renewal(C)	0.00	0.00	26,000.00
14912	Transfer From Reserve	Newtown Oval New Playground Equipment(C)	0.00	0.00	15,000.00
14913	Transfer From Reserve	Heron Place - New New Playground Equipment(C)	0.00	0.00	10,000.00
14917	Transfer From Reserve	Meelup Regional Park - Capital Projects(C)	0.00	0.00	178,000.00
14918	Transfer From Reserve	BBQ Placement and Replacement(C)	0.00	0.00	30,000.00
14919	Transfer From Reserve	Beach Access stairs (C)	0.00	0.00	55,000.00
14944	Transfer From Reserve	Busselton Works Depot Parks & Gardens Product Bays(C)	0.00	0.00	20,000.00
Parks, Gardens and Reserves Reserve Closing Balance			(1,840,690.24)	(1,828,523.86)	(820,900.84)
<b>1050 - Performing Arts and Convention Centre Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(2,467,332.55)	(2,467,332.55)	(2,467,332.55)
10904	Interest Earned	Other General Purpose Funding(O)	(39,085.78)	(38,912.96)	(116,738.87)
			0.00	0.00	0.00
			0.00	0.00	0.00
Performing Arts and Convention Centre Reserve Closing Balance			(2,506,418.33)	(2,506,245.51)	(2,584,071.42)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1051 - Plant Replacement Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(2,364,208.70)	(2,364,208.70)	(2,364,208.70)
10904	Interest Earned	Other General Purpose Funding(O)	(33,635.06)	(7,162.28)	(21,486.82)
10027	Transfer To Reserve	Asset Management Administration(O)	(373,907.24)	(373,907.24)	(1,121,721.71)
10448	Transfer From Reserve	Miscellaneous Plant & Equipment(O)	0.00	0.00	18,720.00
12881	Transfer From Reserve	HINO FD1024 Beavertail Truck (Turf) (C)	0.00	0.00	80,000.00
12882	Transfer From Reserve	Isuzu NPR65-190 Single Cab (Turf) (C)	0.00	0.00	80,000.00
12884	Transfer From Reserve	KUBOTA F3690 OUTFRONT MOWER (C)	0.00	0.00	21,200.00
12885	Transfer From Reserve	KUBOTA F3690 OUTFRONT MOWER (C)	0.00	0.00	21,200.00
12886	Transfer From Reserve	Brush / Tree Chipper (C)	0.00	0.00	100,000.00
12887	Transfer From Reserve	Plant Purchases (P11) - Redexim Easyspread 1600 Sand Spre(C)	0.00	0.00	19,200.00
12888	Transfer From Reserve	HINO FS2848 Tipper Truck (C&M) (C)	0.00	0.00	230,000.00
12890	Transfer From Reserve	Caterpillar CS56 Roller (C&M) (C)	0.00	0.00	130,000.00
12892	Transfer From Reserve	ISUZU FVZ1400 Tipper Truck (C&M) (C)	0.00	0.00	230,000.00
12894	Transfer From Reserve	Nissan Xtrail ST-L 2WD (Strategic Planning Coord) (C)	0.00	0.00	18,000.00
12895	Transfer From Reserve	NISSAN X-TRAIL ST-L 2WD SUV (ASSET MGMT COORD) (C)	0.00	0.00	18,000.00
12896	Transfer From Reserve	Facilities Operational Ute(C)	0.00	0.00	23,000.00
12897	Transfer From Reserve	ISUZU D-MAX SX 4X2 SINGLE CAB UTILITY (IRRIGATION) (C)	0.00	0.00	31,000.00
12898	Transfer From Reserve	MITSUBISHI TRITON 4X2 SINGLE CAB UTE (P&G) (C)	0.00	0.00	31,000.00
12899	Transfer From Reserve	Construction & Maintenance Ute (C)	0.00	0.00	27,000.00
12900	Transfer From Reserve	TOYOTA HILUX DUAL CAB 4X4 (CONST SUPERVISOR) (C)	0.00	0.00	25,000.00
12901	Transfer From Reserve	TOYOTA HILUX DUAL CAB 4X4 (MTCE SUPERVISOR) (C)	0.00	0.00	25,000.00
12902	Transfer From Reserve	Manager Governance & Corp Services Vehicle (C)	0.00	0.00	20,000.00
12904	Transfer From Reserve	Plant Purchases (P11) - Minor Plant (P&G) (C)	0.00	0.00	13,000.00
12906	Transfer From Reserve	Plant Purchases (P12) - Minor Plant (C&M) (C)	0.00	0.00	18,500.00
12908	Transfer From Reserve	Program 12 - Minor Plant (Workshop) (C)	0.00	0.00	10,000.00
12948	Transfer From Reserve	TOYOTA HILUX SR 4X4 DUAL CAB UTILITY (BMO) (C)	0.00	0.00	25,000.00
14744	Transfer From Reserve	MITSUBISHI PAJERO GLX 4X4 (MGR REG SERV) (C)	0.00	0.00	21,500.00
14818	Transfer From Reserve	Wheeled 20t excavator Inc. Accessories(C )	0.00	0.00	485,000.00
14819	Transfer From Reserve	Positrak (Cat 299) with Accessories (C)	0.00	0.00	250,000.00
14820	Transfer From Reserve	Trailer for Towing Positrak & Traffic Lights(C )	0.00	0.00	40,000.00
14821	Transfer From Reserve	Trailer Traffic Lights x 2 (and Sign Cones)(C )	0.00	0.00	45,000.00
14842	Transfer From Reserve	HINO CREW CAB TIPPER TRUCK (C)	0.00	0.00	77,540.00
14954	Transfer From Reserve	MITSUBISHI TRITON 4x2 SINGLE CAB (C)	0.00	0.00	25,000.00
15004	Transfer From Reserve	HUSQVARNA RC318T RIDE ON MOWER (C)	0.00	0.00	15,000.00
15006	Transfer From Reserve	HINO 917 CREW CAB (C&M) (C)	0.00	0.00	80,000.00
15008	Transfer From Reserve	ISUZU NPR400 CREW CAB (C&M) (C)	0.00	0.00	80,000.00
15013	Transfer From Reserve	HINO GH1728 AUTO TRUCK (C&M) (C)	0.00	0.00	350,000.00
15016	Transfer From Reserve	HINO GF1628 REAR TIPPING TRUCK (P&G) (C)	0.00	0.00	100,000.00
15018	Transfer From Reserve	TORO 4010D GROUNDMASTER MOWER (P&G) (C)	0.00	0.00	130,000.00
15023	Transfer From Reserve	ISUZU DMAX 4X2 SINGLE CAB (P&G) FORESHORE IRRIGATION (C)	0.00	0.00	31,000.00
15025	Transfer From Reserve	TOYOTA HILUX 4X4 EXTRA CAB UTILITY (IRRIGATION) (C)	0.00	0.00	34,000.00
15028	Transfer From Reserve	FORD RANGER 4X4 DUAL CAB UTE (CESM) (C)	0.00	0.00	35,000.00
15032	Transfer From Reserve	SUBARU OUTBACK 2.5i PREMIUM WAGON (C)	0.00	0.00	20,000.00
15034	Transfer From Reserve	SUBARU OUTBACK AWD WAGON (RANGERS CO-ORDINATOR) (C)	0.00	0.00	20,000.00
15036	Transfer From Reserve	SUBARU OUTBACK 2.5i AWD PREMIUM (MGR CULTURE & EVENTS) (C)	0.00	0.00	20,000.00
15038	Transfer From Reserve	MAZDA CX9 FWD SUV (Director CCS) (C)	0.00	0.00	25,000.00
15040	Transfer From Reserve	SUBARU OUTBACK AWD (Director PDS) (C)	0.00	0.00	25,000.00
15042	Transfer From Reserve	Nissan X-Trail Ti 4x4 SUV (Mgr Fin Serv) (C)	0.00	0.00	20,000.00
15045	Transfer From Reserve	Toyota Fortuner GX 4x4 SUV (Mgr Eng Tech Srv) (C)	0.00	0.00	20,000.00
15048	Transfer From Reserve	SUBARU FORESTER 2.5i-S AWD (MGR DEV SERV) (C)	0.00	0.00	20,000.00
15050	Transfer From Reserve	NISSAN X TRAIL STL 4X4 SUV (LIESURE CENTRES COORD) (C)	0.00	0.00	18,000.00
15052	Transfer From Reserve	MITSUBISHI OUTLANDER LS AWD (HR COORD) (C)	0.00	0.00	18,000.00
15065	Transfer From Reserve	Differential GPS (C)	0.00	0.00	20,000.00
Plant Replacement Reserve Closing Balance			(2,771,751.00)	(2,745,278.22)	(267,557.23)
<b>1052 - Port Geographe Development Reserve (Council)</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(67,299.13)	(67,299.13)	(67,299.13)
10904	Interest Earned	Other General Purpose Funding(O)	(724.44)	(608.20)	(1,824.61)
10325	Transfer To Reserve	Port Geographe(O)	(34,987.48)	(34,987.48)	(104,962.40)
10086	Transfer From Reserve	Pedestrian Bridge (Port Geographe)(O)	0.00	31,150.32	93,451.00
14901	Transfer From Reserve	Port Geographe POS Retaining Wall Renewals(C)	0.00	0.00	53,000.00
Port Geographe Development Reserve (Council) Closing Balance			(103,011.05)	(71,744.49)	(27,635.14)
<b>1053 - Port Geographe Waterways Management Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,051,048.60)	(3,051,048.60)	(3,051,048.60)
10904	Interest Earned	Other General Purpose Funding(O)	(45,573.60)	(45,625.32)	(136,875.96)
10325	Transfer To Reserve	Port Geographe(O)	(82,550.32)	(82,550.32)	(247,651.00)
10325	Transfer From Reserve	Port Geographe(O)	0.00	0.00	406,169.00
Port Geographe Waterways Management Reserve Closing Balance			(3,179,172.52)	(3,179,224.24)	(3,029,406.56)
<b>1054 - Professional Development Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(161,394.93)	(161,394.93)	(161,394.93)
10904	Interest Earned	Other General Purpose Funding(O)	(2,556.71)	(2,444.20)	(7,332.63)
			0.00	0.00	0.00
10810	Transfer From Reserve	Human Resources & Payroll(O)	0.00	0.00	50,000.00
Professional Development Reserve Closing Balance			(163,951.64)	(163,839.13)	(118,727.56)



## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1055 - Provence Landscape Maintenance Reserve (SAR)</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(1,524,829.18)	(1,524,829.18)	(1,524,829.18)
10904	Interest Earned	Other General Purpose Funding(O)	(23,945.64)	(21,378.64)	(64,135.96)
10966	Transfer To Reserve	Provence SAR Area General Improvements to the Area(C)	(68,640.32)	(68,640.32)	(205,921.00)
10289	Transfer From Reserve	Almond Green Park (Provence)(O)	0.00	0.00	43,168.00
10291	Transfer From Reserve	Avignon Park (Provence)(O)	0.00	0.00	15,203.00
10311	Transfer From Reserve	Lavender Park (Provence)(O)	0.00	0.00	11,949.00
10429	Transfer From Reserve	Streetscape Medians (Provence)(O)	0.00	0.00	26,544.00
10966	Transfer From Reserve	Provence SAR Area General Improvements to the Area(C)	0.00	0.00	160,000.00
11725	Transfer From Reserve	Yalyalup Half Court(O)	0.00	0.00	770.00
Provence Landscape Maintenance Reserve (SAR) Closing Balance			(1,617,415.14)	(1,614,848.14)	(1,537,252.14)
<b>1056 - Public Art Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(272,932.87)	(272,932.87)	(272,932.87)
10904	Interest Earned	Other General Purpose Funding(O)	(4,467.17)	(732.28)	(2,196.88)
			0.00	0.00	0.00
15059	Transfer From Reserve	Sculpture By The Bay (C)	0.00	0.00	12,000.00
Public Art Reserve Closing Balance			(277,400.04)	(273,665.15)	(263,129.75)
<b>1057 - Railway House Building Reserve (50%)</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(89,584.83)	(89,584.83)	(89,584.83)
10904	Interest Earned	Other General Purpose Funding(O)	709.70	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	88,875.13	89,584.83	89,584.83
Railway House Building Reserve (50%) Closing Balance			0.00	0.00	0.00
<b>1058 - Road Asset Renewal Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(2,164,710.31)	(2,164,710.31)	(2,164,710.31)
10904	Interest Earned	Other General Purpose Funding(O)	(61,779.80)	(27,527.64)	(82,582.80)
10027	Transfer To Reserve	Asset Management Administration(O)	(1,229,623.32)	(1,229,623.32)	(3,688,870.00)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(1,562,215.91)	(1,574,756.00)	(1,574,756.00)
11193	Transfer From Reserve	Wilyabrup Road Resheet(C)	0.00	0.00	80,643.00
11199	Transfer From Reserve	Bussell Highway(C)	150,000.00	0.00	678,321.00
11987	Transfer From Reserve	Caves Road - Median Crossing(C)	0.00	0.00	17,043.00
12005	Transfer From Reserve	Payne Road(C)	150,000.00	0.00	638,055.00
12611	Transfer From Reserve	North Jindong Road(C)	0.00	0.00	292,600.00
12827	Transfer From Reserve	Commonage Road(C)	0.00	0.00	269,500.00
12842	Transfer From Reserve	Nuttman Road (C)	0.00	0.00	54,724.00
12845	Transfer From Reserve	General Design / Modelling Works (O)	0.00	0.00	312,000.00
14817	Transfer From Reserve	Road Access Seal - Busselton Animal care facility(C )	0.00	0.00	49,766.00
14850	Transfer From Reserve	Cook Street - Asphalt Overlay SLK 0.39 to 1.25 (C)	0.00	0.00	351,573.55
14851	Transfer From Reserve	Strelly Street - Rehabilitation SLK 0.05 to 1.2 (C)	0.00	0.00	240,000.00
14852	Transfer From Reserve	North Jindong Road - Prelims and Land Acq SLK 0 to 0 (C)	0.00	0.00	12,000.00
14853	Transfer From Reserve	Jalbaragup Road - Reseal SLK 0 to 10.75 (C)	150,000.00	0.00	600,000.00
14854	Transfer From Reserve	Boallia Road - Recon and Widening SLK 1.5 to 2.3 (C)	150,000.00	0.00	553,832.39
14855	Transfer From Reserve	Vasse Yallingup Siding Road - Design only SLK 0 to 0 (C)	0.00	0.00	16,500.00
14856	Transfer From Reserve	Peron Avenue - Asphalt Overlay SLK 0.17 to 0.76 (C)	0.00	0.00	450,030.00
14857	Transfer From Reserve	West Street - Rehabilitation SLK 1.02 to 1.15 (C)	0.00	0.00	181,000.00
14858	Transfer From Reserve	Artisan Street - Asphalt Overlay SLK 0.02 to 0.16 (C)	0.00	0.00	46,151.72
14859	Transfer From Reserve	Kershaw Street - Asphalt Overlay SLK 0 to 0.25 (C)	0.00	0.00	69,270.94
14860	Transfer From Reserve	Thornbill Court - Asphalt Overlay SLK 0 to 0.08 (C)	0.00	0.00	20,662.00
14861	Transfer From Reserve	Grevillea Cove - Asphalt Overlay SLK 0 to 0.08 (C)	0.00	0.00	22,243.00
14862	Transfer From Reserve	Baudin Street - Asphalt Overlay SLK 0 to 0.1 (C)	0.00	0.00	95,132.00
14863	Transfer From Reserve	Cormorant Court - Asphalt Overlay SLK 0 to 0.08 (C)	0.00	0.00	23,616.00
14864	Transfer From Reserve	Sugarloaf Road - Second Coat Seal SLK 0 to 0 (C)	0.00	0.00	66,521.00
14865	Transfer From Reserve	Yallingup Beach Road - Reseal SLK 0 to 0.19 (C)	0.00	0.00	30,698.22
14866	Transfer From Reserve	Old Vasse Highway - Reseal SLK 0 to 1.83 (C)	0.00	0.00	13,535.16
15085	Transfer From Reserve	Jalbaragup Road New Shoulders (C)	0.00	0.00	200,000.00
15108	Transfer From Reserve	Bussell Highway Resurfacing SLK 0 to 3.8 (C)	0.00	0.00	0.00
Road Asset Renewal Reserve Closing Balance			(4,418,329.34)	(4,996,617.27)	(2,125,501.13)
<b>1059 - Sick Pay Incentive Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(79,316.37)	(79,316.37)	(79,316.37)
10904	Interest Earned	Other General Purpose Funding(O)	(1,233.40)	(1,000.00)	(3,000.02)
			0.00	0.00	0.00
			0.00	0.00	0.00
Sick Pay Incentive Reserve Closing Balance			(80,549.77)	(80,316.37)	(82,316.39)
<b>1060 - Strategic Projects Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,032,416.03)	(3,032,416.03)	(3,032,416.03)
10904	Interest Earned	Other General Purpose Funding(O)	(48,054.96)	(38,372.80)	(115,118.44)
10830	Transfer To Reserve	Members of Council(O)	(8,333.32)	(8,333.32)	(25,000.00)
12847	Transfer From Reserve	Purchase Sues Road(C)	0.00	0.00	500,000.00
Strategic Projects Reserve Closing Balance			(3,088,804.31)	(3,079,122.15)	(2,672,534.47)

## City of Busselton Reserve Movements

For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b><u>1061 - Vasse Newtown Landscape Maintenance Reserve (SAR)</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(615,196.44)	(615,196.44)	(615,196.44)
10904	Interest Earned	Other General Purpose Funding(O)	(8,466.01)	(8,180.32)	(24,540.99)
10969	Transfer To Reserve	Vasse SAR Area General Improvements to the Area(C)	(67,352.64)	(67,352.64)	(202,058.00)
10266	Transfer From Reserve	Southern Wetland - Bush Area Lot 2007 (Newtown)(O)	0.00	0.00	3,353.00
10317	Transfer From Reserve	Southern Wetland - Heritage Park Lot 2013 (Newtown)(O)	0.00	0.00	4,836.00
10372	Transfer From Reserve	Northern POS (Newtown)(O)	0.00	0.00	24,318.00
10428	Transfer From Reserve	Streetscape Medians (Newtown)(O)	0.00	0.00	25,292.00
10969	Transfer From Reserve	Vasse SAR Area General Improvements to the Area(C)	0.00	0.00	70,000.00
11541	Transfer From Reserve	East Central (Wakeham Circle Newtown)(O)	0.00	0.00	12,645.00
11809	Transfer From Reserve	West Central (Elijah Circle Newtown)(O)	0.00	0.00	26,342.00
Vasse Newtown Landscape Maintenance Reserve (SAR) Closing Balance			(691,015.09)	(690,729.40)	(675,009.43)
<b><u>1062 - Vasse Sports Pavilion Building Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(2,405.91)	(2,405.91)	(2,405.91)
10904	Interest Earned	Other General Purpose Funding(O)	19.04	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	2,386.87	2,405.91	2,405.91
Vasse Sports Pavilion Building Reserve Closing Balance			0.00	0.00	0.00
<b><u>1063 - Waste Facilities and Plant Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(8,135,573.66)	(8,135,573.66)	(8,135,573.66)
10904	Interest Earned	Other General Purpose Funding(O)	(118,938.20)	(68,618.72)	(205,856.16)
12419	Transfer To Reserve	Rubbish Sites Development(O)	(585,037.68)	(585,037.68)	(1,755,113.00)
10688	Transfer From Reserve	Depot Washdown Facility Upgrades(C)	0.00	0.00	76,700.00
12225	Transfer From Reserve	Waste and Fleet Services Admin PWOH(O)	0.00	0.00	578,501.00
12421	Transfer From Reserve	City Lined Landfill Stage 2 - Preliminary Works(C)	0.00	0.00	80,000.00
12425	Transfer From Reserve	Busselton Landfill Post-closure Capping, Rehab & Remediat(C)	3,491,250.00	0.00	2,000,000.00
12428	Transfer From Reserve	Re-use shop Busselton Transfer Station(C)	0.00	0.00	125,000.00
12911	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	0.00	0.00	424,660.00
12914	Transfer From Reserve	Minor Plant - Program 10 (C)	0.00	0.00	10,000.00
13654	Transfer From Reserve	CATERPILLAR LANDFILL COMPACTOR REFURBISHED (DUNSB. TIP)(P)	0.00	0.00	130,000.00
14823	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	0.00	0.00	438,545.00
14960	Transfer From Reserve	VOLVO FE320 WASTE TRUCK (C)	0.00	0.00	480,000.00
14962	Transfer From Reserve	WATER TANK FOR DUST SUPPRESSION (C)	0.00	0.00	25,000.00
14966	Transfer From Reserve	DIESEL TANK DWF (C)	0.00	0.00	50,000.00
14968	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	0.00	0.00	18,000.00
14970	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	0.00	0.00	18,000.00
14972	Transfer From Reserve	HOOKLIFT BIN BWTS (C)	0.00	0.00	18,000.00
14974	Transfer From Reserve	HOOKLIFT BIN (C)	0.00	0.00	18,000.00
14976	Transfer From Reserve	HOOKLIFT BIN (C)	0.00	0.00	18,000.00
14978	Transfer From Reserve	ABLE GL3013 GENERATOR (C)	0.00	0.00	50,000.00
14980	Transfer From Reserve	WASTE COORDINATOR VEHICLE (C)	0.00	0.00	35,000.00
14982	Transfer From Reserve	TOYOTA HILUX 4x2 SINGLE CAB (C)	0.00	0.00	26,000.00
14984	Transfer From Reserve	ISUZU D-MAX 4x4 DUAL CAB (C)	0.00	0.00	30,000.00
14986	Transfer From Reserve	HOLDEN COLORADO 4x4 DUAL CAB (C)	0.00	0.00	26,000.00
15066	Transfer From Reserve	Dunsborough Groundwater Investigation (O)	0.00	0.00	200,000.00
15077	Transfer From Reserve	Lunch / Meeting Room for Transfer Station(C )	0.00	0.00	50,000.00
15078	Transfer From Reserve	HAZMET and Dangerous Goods Storage(C)	0.00	0.00	108,500.00
Waste Facilities and Plant Reserve Closing Balance			(5,348,299.54)	(8,789,230.06)	(5,062,636.82)
<b><u>1064 - Winderlup Aged Housing Reserve (City Controlled)</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(463,207.57)	(463,207.57)	(463,207.57)
10904	Interest Earned	Other General Purpose Funding(O)	(7,630.36)	(5,780.08)	(17,340.25)
11684	Transfer To Reserve	Winderlup Court Aged Housing(O)	0.00	0.00	(85,086.00)
12234	Transfer From Reserve	Aged Housing Capital Improvements - Winderlup Court (City(C)	0.00	0.00	49,000.00
Winderlup Aged Housing Reserve (City Controlled) Closing Balance			(470,837.93)	(468,987.65)	(516,633.82)
<b><u>1065 - Workers Compensation and Extended Sick Leave</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(4,281.48)	(4,281.48)	(4,281.48)
10904	Interest Earned	Other General Purpose Funding(O)	(67.65)	(88.16)	(264.50)
			0.00	0.00	0.00
			0.00	0.00	0.00
Workers Compensation and Extended Sick Leave Closing Balance			(4,349.13)	(4,369.64)	(4,545.98)
<b><u>1066 - Youth and Community Activities Building Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(216,651.56)	(216,651.56)	(216,651.56)
10904	Interest Earned	Other General Purpose Funding(O)	1,720.11	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	214,931.45	216,651.56	216,651.56
Youth and Community Activities Building Reserve Closing Balance			0.00	0.00	0.00

## City of Busselton Reserve Movements

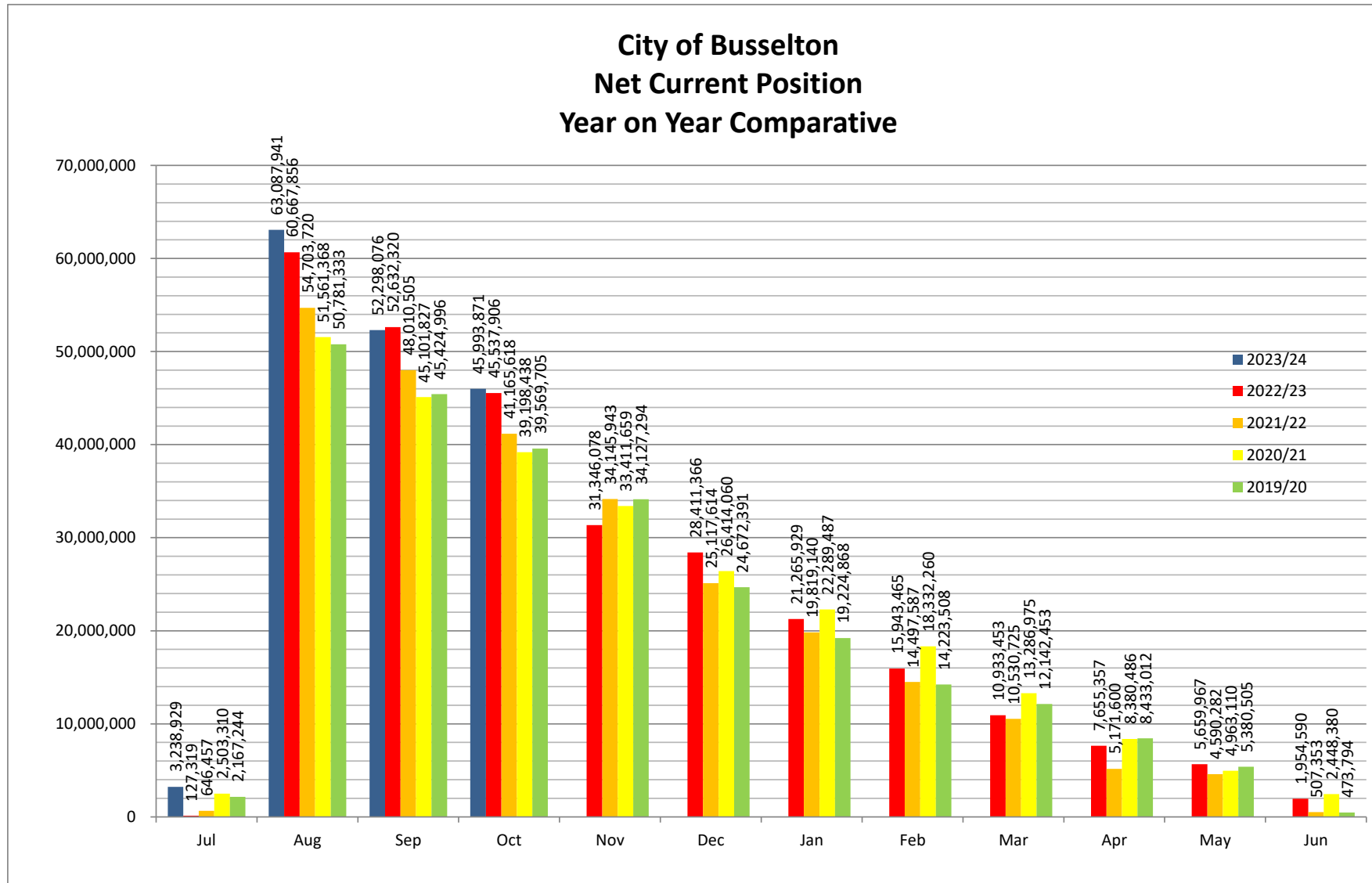
For Period Ended 31 October 2023

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b>1067 - Prepaid Grants and Deferred Works &amp; Services Reserves</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(2,843,444.58)	(2,843,444.58)	(2,843,444.58)
10904	Interest Earned	Other General Purpose Funding(O)	6.44	0.00	0.00
10904	Transfer To Reserve	Other General Purpose Funding(O)	(351,807.98)	(351,807.98)	(351,807.98)
10613	Transfer From Reserve	Meelup Coastal Parking & Landscaping(C)	0.00	0.00	178,237.98
10653	Transfer From Reserve	Community Assistance Program (Governance)(O)	0.00	0.00	50,000.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	2,843,438.14	2,843,444.58	2,843,444.58
11040	Transfer From Reserve	Economic and Business Development(O)	0.00	0.00	20,000.00
11128	Transfer From Reserve	Community and Recreation Administration(O)	0.00	0.00	31,235.00
12648	Transfer From Reserve	Rural-Tree Pruning(O)	0.00	0.00	72,335.00
Prepaid Grants and Deferred Works & Services Reserves Closing Balance			(351,807.98)	(351,807.98)	0.00
<b>1068 - Airport Development Reserve</b>					
			0.00	0.00	0.00
10904	Interest Earned	Other General Purpose Funding(O)	0.00	0.00	0.00
			0.00	0.00	0.00
			0.00	0.00	0.00
Airport Development Reserve Closing Balance			0.00	0.00	0.00
<b>1069 - Airport Infrastructure Renewal and Replacement Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(3,210,167.16)	(3,210,167.16)	(3,210,167.16)
10904	Interest Earned	Other General Purpose Funding(O)	(210,569.60)	(88,711.44)	(266,134.43)
10594	Transfer To Reserve	Airport Operations(O)	(6,884,356.24)	(7,076,062.56)	(8,924,455.50)
10583	Transfer From Reserve	Airport Construction Stage 2, Airfield(C)	0.00	0.00	22,478.00
10585	Transfer From Reserve	BMRA Hangars(C)	0.00	0.00	303,790.00
10589	Transfer From Reserve	Airport Construction, Existing Terminal Upgrade(C)	0.00	0.00	103,847.00
10594	Transfer From Reserve	Airport Operations(O)	0.00	0.00	2,500,000.00
12804	Transfer From Reserve	Airport Terminal Building(C)	0.00	0.00	28,481.00
12932	Transfer From Reserve	Airport Operations - Replacement Toro Groundmaster 7200 M(C)	0.00	0.00	22,000.00
12941	Transfer From Reserve	Airport - Other Buildings(C)	0.00	0.00	5,000.00
14836	Transfer From Reserve	RFDS relocation(C)	0.00	0.00	177,515.00
14838	Transfer From Reserve	BMRAP - Apron Lighting(C)	0.00	0.00	65,000.00
14839	Transfer From Reserve	BMRAP - Apron CCTV(C)	0.00	0.00	50,000.00
14946	Transfer From Reserve	PERUZZO BULL SLASHER (C)	0.00	0.00	57,000.00
14949	Transfer From Reserve	KUBOTA MULE (C)	0.00	0.00	10,000.00
14951	Transfer From Reserve	1500L SELF BUNDED DIESEL FUEL TANK (C)	0.00	0.00	14,500.00
15060	Transfer From Reserve	BMRA MAGS Improvements (C)	0.00	0.00	17,000.00
15061	Transfer From Reserve	BMRA Gate 1 Replacement (C)	0.00	0.00	10,000.00
15062	Transfer From Reserve	BMRA GA Precinct Reseal (C)	0.00	0.00	218,810.00
15083	Transfer From Reserve	New Airport Manager Vehicle (C)	0.00	0.00	40,000.00
15086	Transfer From Reserve	SWDC Airport Development Business Case (O)	0.00	0.00	67,000.00
Airport Infrastructure Renewal and Replacement Reserve Closing Balance			(10,305,093.00)	(10,374,941.16)	(8,688,336.09)
<b>1070 - Airport Noise Mitigation Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(661,139.59)	(661,139.59)	(661,139.59)
10904	Interest Earned	Other General Purpose Funding(O)	5,364.50	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	655,775.09	661,139.59	661,139.59
Airport Noise Mitigation Reserve Closing Balance			0.00	0.00	0.00
<b>1071 - LED Street Lighting Replacement Program Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(32,227.51)	(32,227.51)	(32,227.51)
10904	Interest Earned	Other General Purpose Funding(O)	227.10	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	32,000.41	32,227.51	32,227.51
LED Street Lighting Replacement Program Reserve Closing Balance			0.00	0.00	0.00
<b>1072 - Lou Weston Oval Pavilion Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(12,729.59)	(12,729.59)	(12,729.59)
10904	Interest Earned	Other General Purpose Funding(O)	94.67	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	12,634.92	12,729.59	12,729.59
Lou Weston Oval Pavilion Reserve Closing Balance			0.00	0.00	0.00
<b>1073 - Waterways Restoration Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(10.00)	(10.00)	(10.00)
10904	Interest Earned	Other General Purpose Funding(O)	(1,202.62)	(2,023.68)	(6,071.00)
10904	Transfer To Reserve	Other General Purpose Funding(O)	(133,468.93)	(134,559.00)	(134,559.00)
12848	Transfer To Reserve	Vasse River - Ongoing Restoration of River Habitat(O)	(190,824.40)	(190,824.40)	(572,473.20)
12848	Transfer From Reserve	Vasse River - Ongoing Restoration of River Habitat(O)	0.00	0.00	572,473.00
Waterways Restoration Reserve Closing Balance			(325,505.95)	(327,417.08)	(140,640.20)
<b>1078 - Post Office Tea Rooms Reserve</b>					
10904	Opening Balance	Other General Purpose Funding(O)	(48,074.95)	(48,074.95)	(48,074.95)
10904	Interest Earned	Other General Purpose Funding(O)	(1,160.51)	(30.68)	(92.00)
10020	Transfer To Reserve	Art Geo Administration(O)	(6,071.68)	(6,071.68)	(18,215.00)
			0.00	0.00	0.00
Post Office Tea Rooms Reserve Closing Balance			(55,307.14)	(54,177.31)	(66,381.95)



**City of Busselton Reserve Movements**  
**For Period Ended 31 October 2023**

Project Number	Transaction Type	Project Description	YTD Actual	YTD Budget	Budget Original
<b><u>1079 - Peel Tce/Causeway Rd Building Reserve</u></b>					
10904	Opening Balance	Other General Purpose Funding(O)	(23,429.00)	(23,429.00)	(23,429.00)
			0.00	0.00	0.00
			0.00	0.00	0.00
10904	Transfer From Reserve	Other General Purpose Funding(O)	23,429.00	23,429.00	23,429.00
		<i>Peel Tce/Causeway Rd Building Reserve Closing Balance</i>	0.00	0.00	0.00
<i>Grand Total</i>			<b>(81,854,186.80)</b>	<b>(85,845,394.15)</b>	<b>(64,748,658.71)</b>
	Opening Balance		(78,138,181.57)	(78,138,181.57)	(78,138,181.57)
	Interest Earned		(1,162,888.09)	(850,163.84)	(2,550,491.70)
	Transfer To Reserve		(20,471,881.92)	(20,817,760.67)	(36,452,245.68)
	Transfer From Reserve		17,918,764.78	13,960,711.93	52,392,260.24
<i>Grand Total</i>			<b>(81,854,186.80)</b>	<b>(85,845,394.15)</b>	<b>(64,748,658.71)</b>





# **CITY OF BUSSELTON - INVESTMENT PERFORMANCE REPORT** For the month of October 2023



11am Bank Account As at 30 October 2023

INSTITUTION	RATE	AMOUNT
ANZ 11am At Call Deposit	4.00%	\$ 26,950,000

Term Deposits - Miscellaneous Funds As at 30 October 2023

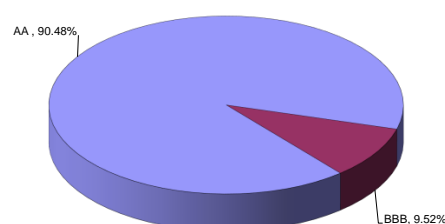
INSTITUTION	RATING	DAYS	MATURITY	RATE	AMOUNT
ANZ	AA	306	16-Feb-24	4.13%	\$ 3,500,000
WBC	AA	184	22-Jan-24	5.36%	\$ 1,500,000
WBC	AA	335	17-May-24	5.27%	\$ 1,500,000
Bendigo	BBB	366	22-Mar-24	4.50%	\$ 3,000,000
WBC	AA	245	06-Nov-23	4.84%	\$ 5,000,000
NAB	AA	301	15-Apr-24	5.45%	\$ 4,000,000
NAB	AA	179	22-Jan-24	5.45%	\$ 2,000,000
WBC	AA	244	24-Apr-24	4.91%	\$ 2,000,000
NAB	AA	182	12-Feb-24	5.15%	\$ 4,000,000
ANZ	AA	306	25-Jan-24	4.17%	\$ 3,000,000
ANZ	AA	305	25-Mar-24	4.56%	\$ 2,000,000
ANZ	AA	337	26-Feb-24	4.16%	\$ 4,000,000
WBC	AA	184	10-Jan-24	5.26%	\$ 4,000,000
NAB	AA	240	30-May-24	5.15%	\$ 3,000,000
NAB	AA	207	22-Dec-23	4.90%	\$ 3,000,000
NAB	AA	270	22-Apr-24	5.40%	\$ 4,000,000
ANZ	AA	244	10-Apr-24	4.95%	\$ 2,000,000
ANZ	AA	244	10-Mar-24	5.19%	\$ 3,000,000
CBA	AA	300	22-Feb-24	4.43%	\$ 5,000,000
BoQ/MeBank	BBB	365	23-Apr-24	4.75%	\$ 2,000,000
BoQ	BBB	366	02-May-24	4.55%	\$ 2,000,000
BoQ	BBB	366	30-May-24	4.95%	\$ 2,000,000
ANZ	AA	275	29-Apr-24	5.18%	\$ 4,000,000
CBA	AA	365	27-Jun-24	5.50%	\$ 3,000,000
WBC	AA	335	20-Mar-24	4.50%	\$ 4,000,000
WBC	AA	184	20-Nov-23	4.76%	\$ 4,000,000
WBC	AA	183	20-Dec-23	5.26%	\$ 4,000,000
CBA	AA	365	19-Jun-24	5.58%	\$ 5,000,000
CBA	AA	366	22-May-24	4.97%	\$ 5,000,000

Total of Term Deposits **94,500,000.00**

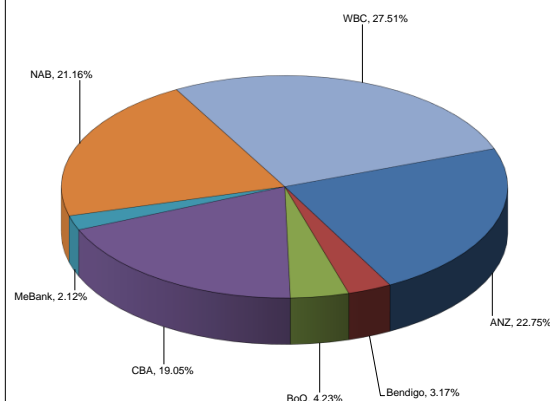
Weighted Average Annual Rate of Return **4.94%**

## Investment Graphs

Summary of Term Deposits by S & P Rating  
(Excludes WATC and 11am Cash Account Funds)



Summary of Term Deposits by Institution  
(Excludes WATC and 11am Cash Account Funds)



Airport Redevelopment Funds As at 30 October 2023

WA Treasury Corp. - Overnight Cash Deposit Facility	4.05%	\$ 623,199
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Total of Airport Redevelopment Funds - WATC **\$ 623,199**

Nil

Total of Airport Redevelopment Funds - Bank Term Deposits **\$0**

ANZ Cash Account	AA	NA	NA	4.00%	\$ 194,697
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Total of Airport Redevelopment Funds - Other **\$ 194,697**

Total of Airport Redevelopment Funds **\$ 817,896**

(Note: Funds held with the WATC are in accordance with the Airport Redevelopment Funding Contract and the Foreshore Development Contract and are not held within the requirements of the City's Investment Policy 218)

SUMMARY OF ALL INVESTMENTS HELD

	As at 1 year ago	As at 30 June 2023	As at 30 October 2023
11am Bank Account	\$ 7,000,000	\$ 16,500,000	\$ 26,950,000
11am Bank Account Interest - not yet fully processed	-\$ 44,723	\$ -	\$ -
11am bank account - deposit not fully processed	\$ -	\$ -	\$ -
Term Deposits - Misc. Funds	\$ 103,500,000	\$ 94,500,000	\$ 94,500,000
Term Deposit Interest - not yet fully processed	-\$ 206,960.0	\$ -	\$ -
Airport Redevelopment - WATC Deposits	\$ 1,648,178	\$ 614,859	\$ 623,199
Airport Redevelopment - ANZ Cash A/c	\$ 784,422	\$ 191,770	\$ 194,697
Total of all Investments Held	\$ 112,680,918	\$ 111,806,629	\$ 122,267,896

TOTAL INTEREST RECEIVED AND ACCRUED **\$ 54,739** **\$ 3,625,530** **\$ 1,815,463**

INTEREST BUDGET **\$ 550,010** **\$ 1,610,000** **\$ 1,470,710**

(Note: Interest figures relate to City general funds only and does not include interest allocated to specific areas such as the Airport Redevelopment)

## Statement of Compliance with Council's Investment Policy 218

1. All funds are to be invested within legislative limits.
2. All individual funds held within the portfolio are not to exceed a set percentage of the total portfolio value.
3. The amount invested based upon the Fund's Rating is not to exceed the set percentages of the total portfolio.
4. The amount invested based upon the Investment Horizon is not to exceed the set percentages of the total portfolio.

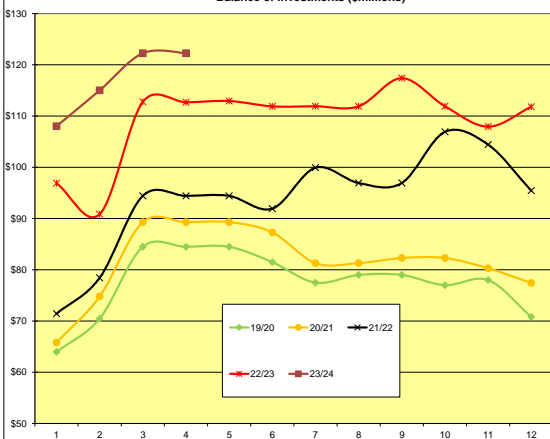
Fully Compliant

Fully Compliant

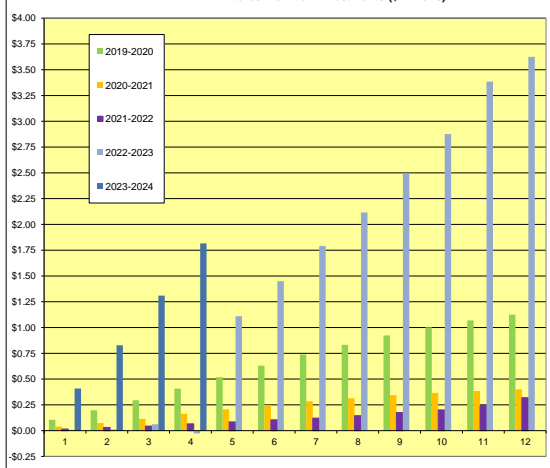
Fully Compliant

Fully Compliant

Balance of Investments (\$millions)



Interest Earned on Investments (\$millions)



City of Busselton

Loan Schedule - as at 31st October 2023

Purpose	Loan Number	Institution	Original Borrowed Amount	Budgeted Interest Rate	Term (Years)	Expiry	Actual Interest Rate	2023/24 Actual New Loans	2023/24 Actual Principal Repayments	2023/24 Balance of Principal Owing	2023/24 Actual Interest Repayments	Budget Principal 1 July 2023	2023/24 Budget New Loans	2023/24 Budget Principal Repayments	Budget Principal Outstanding 30 June 2024	2023/24 Budget Interest Repayments
			\$	%			%	\$	\$	\$	\$	\$	\$	\$	\$	\$
<b>Council Loans</b>																
<b>Governance</b>																
Civic and Administration Centre	207	WATC	18,000,000	4.51	20	Jun-34	4.51		208,344	11,576,293	132,872	11,784,637		847,578	10,937,059	517,286
<b>Recreation and Culture</b>																
Busselton Foreshore	204	WATC	1,100,000	4.36	15	Jun-29	4.36		19,407	509,697	5,767	529,104		78,907	450,197	21,790
GLC Extensions	205	WATC	1,200,000	3.92	10	Jun-24	3.92		35,142	107,506	1,398	142,648		142,648	-	3,512
Busselton Foreshore	209	WATC	6,500,000	3.45	12	Jun-27	3.45		145,590	2,345,983	22,175	2,491,572		590,179	1,901,393	80,879
Busselton Foreshore	211	WATC	3,000,000	2.55	8	Oct-24	2.55		200,731	409,197	7,139	609,928		404,029	205,899	11,710
Busselton Foreshore Jetty Precinct	215	WATC	2,500,000	3.25	10	Apr-28	3.25		125,469	1,225,060	21,946	1,350,529		252,977	1,097,552	41,853
Tennis Club Facility	216	WATC	2,750,000	3.25	10	Apr-28	3.25		138,016	1,347,566	24,141	1,485,581		278,274	1,207,307	46,039
Lot 10 Commonage Road	217	WATC	1,600,000	3.25	10	Apr-28	3.25		80,300	784,038	14,046	864,338		161,904	702,434	26,786
Busselton Tennis Club	218	WATC	1,250,000	2.21	10	Jun-29	2.21		30,687	754,555	4,338	785,242		123,770	661,472	16,333
BPACC	225	WATC	5,000,000	1.46	10	Dec-31	2.10		116,261	4,198,811	22,643	4,315,071		468,715	3,846,356	86,900
BPACC	226	WATC	5,000,000	2.02	15	Dec-36	2.39		72,083	4,504,304	27,292	4,576,387		290,922	4,285,465	106,580
BPACC	228	WATC	5,000,000	3.86	20	Jun-42	3.86		43,375	4,787,232	46,602	4,830,607		176,025	4,654,582	183,881
BPACC	229	WATC	5,000,000	3.77	17	Jun-39	3.77		54,830	4,730,919	45,079	4,785,749		222,438	4,563,311	177,199
BPACC	230	WATC	6,500,000	3.25	20	Dec-42	4.42		52,093	6,345,423	70,752	6,397,516		211,856	6,185,660	279,526
<b>Transport</b>																
Airport Jet A1 Installation	206	WATC	350,000	3.92	10	Jun-24	3.92		10,250	31,356	408	41,606		41,606	-	1,024
Airport Freight Hub Stage 1	219	WATC	1,480,000	2.21	10	Jun-29	2.21		36,334	893,393	5,137	929,726		146,544	783,182	19,339
Strategic Land Purchase	New	Unknown		4.29	10	New						-	1,750,000	106,946	1,643,054	55,137
<b>Other Property and Services</b>																
Lot 40 Vasse Highway	210	WATC	850,000	3.61	10	Dec-25	3.61			850,000	7,671	850,000			850,000	30,685
								-	1,368,911	45,401,332	459,406	46,770,244	1,750,000	4,545,318	43,974,925	1,706,459
<b>Self-Supporting Loans</b>																
<b>Recreation and Culture</b>																
Busselton Football and Sportsman's Club	208	WATC		2.93	10.25	Apr-25	2.93		800	5,764	48	6,564		3,234	3,330	157
Dunsborough and Districts Country Club	212	WATC		3.04	10	May-27	3.04		5,897	43,865	756	49,761		11,883	37,878	1,423
Geographe Bay Yacht Club	213	WATC		3.04	10	May-27	3.04		5,173	38,477	663	43,650		10,424	33,226	1,248
Dunsborough and Districts Country Club	214	WATC		3.19	10	Sep-27	3.19		5,609	48,213	858	53,822		11,307	42,515	1,627
Busselton Tennis Club	220	WATC		1.37	7	Sep-26	1.37		1,792	21,990	81	23,782		7,205	16,577	289
Busselton Hockey Club Stadium	221	WATC		1.31	10	Jun-30	1.31		1,099	31,060	105	32,158		4,416	27,742	400
Busselton Golf Club	222	WATC		1.45	10	Jun-31	1.45		2,636	86,621	324	89,256		10,600	78,656	1,238
Dunsborough Bay Yacht Club	223	WATC		2.77	5	Dec-26	1.57		1,233	16,471	69	17,704		4,960	12,744	248
Geographe Bay Yacht Club	224	WATC		2.77	10	Dec-31	2.42		1,150	42,097	261	43,246		4,639	38,607	1,004
MRBTA - Ancient Lands Discovery Park	227	WATC		2.77	10	Mar-32	2.77		28,183	1,083,782	7,704	1,111,965		113,910	998,055	29,639
Community Groups 23/24 \$250K	New	Unknown		3.00	10	New				-		-	250,000	10,804	239,196	3,710
								-	53,569	1,418,340	10,872	1,471,909	250,000	193,382	1,528,527	40,983
<b>Total - Council and Self-supporting Loans</b>																
								-	1,422,481	46,819,672	470,278	48,242,153	2,000,000	4,738,700	45,503,453	1,747,442



LISTING OF PAYMENTS MADE  
UNDER DELEGATED AUTHORITY  
FOR THE MONTH OF OCTOBER 2023

CHEQUE PAYMENTS	119786 - 119798	6,633.15
ELECTRONIC TRANSFER PAYMENTS	98370 - 99086	9,331,359.80
TRUST ACCOUNT	EFT# TR000011 - TR000014	29,950.63
PAYROLL	01.10.2023 - 31.10.2023	2,732,515.48
INTERNAL PAYMENT VOUCHERS	DD #5456 - 5499	391,163.53
		<b>12,491,622.59</b>

CHEQUE PAYMENTS OCTOBER 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
4/10/2023	119789	ARTGEO - PETTY CASH	PETTY CASH REIMBURSEMENT	108.55
31/10/2023	119797	ARTGEO - PETTY CASH	PETTY CASH REIMBURSEMENT	104.35
11/10/2023	119793	BOND ADMINISTRATOR	VARIATION TO BOND W HAYLOCK & A COCKER	160.00
25/10/2023	119795	BOND ADMINISTRATOR	VARIATION TO BOND M MCNAMARA	66.00
31/10/2023	119798	BOND ADMINISTRATOR	VARIATION TO BOND T REEDMAN & D ROE	200.00
4/10/2023	119790	BUSSELTON PUBLIC LIBRARY - PETTY CASH	PETTY CASH REIMBURSEMENT	161.95
4/10/2023	119788	CITY OF BUSSELTON - PETTY CASH	PETTY CASH REIMBURSEMENT	267.50
31/10/2023	119796	CITY OF BUSSELTON - PETTY CASH	PETTY CASH REIMBURSEMENT	141.20
11/10/2023	119792	COMMISSIONER OF STATE REVENUE	RATES REFUND	803.95
11/10/2023	119791	DEPARTMENT OF TRANSPORT	PLANT REGISTRATION	327.00
4/10/2023	119787	GEOGRAPHE LEISURE CENTRE - PETTY CASH	PETTY CASH REIMBURSEMENT	263.60
4/10/2023	119786	OFFICE OF THE CEO - PETTY CASH	PETTY CASH REIMBURSEMENT	366.98
25/10/2023	119794	WATER CORPORATION	WATER SERVICES	3,662.07
				<b>6,633.15</b>

EFT PAYMENTS OCTOBER 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
4/10/2023	98417	ABEC ENVIRONMENTAL CONSULTING PTY LTD	ENVIRONMENTAL CONSULTING	2,750.00
4/10/2023	98549	ACTIV FOUNDATION INC	MAINTENANCE SERVICES	53,186.19
19/10/2023	98846	ACTIV FOUNDATION INC	MAINTENANCE SERVICES	3,160.30
19/10/2023	98653	ACURIX NETWORKS	INTERNET WIFI ACCESS	7,993.30
31/10/2023	98966	ADAM DAVEY CONSULTING	TURF CONSULTANT	5,706.91
11/10/2023	98616	ADAM DEHRING	MINOR DONATION	500.00
19/10/2023	98714	ADVAM PTY LTD	AIRPORT CARPARK CREDIT CARD TRANSACTIONS	2,111.34
4/10/2023	98427	ADVANCED DRIVEWAY SEALING	MAINTENANCE SERVICES	4,470.40
19/10/2023	98725	ADVANCED HEARING WA PTY LTD	HEARING ASSESSMENT	210.00
19/10/2023	98697	ADVANCED SEALING TRUST	MAINTENANCE SERVICES	682.00
31/10/2023	98955	ADVANCED SEALING TRUST	MAINTENANCE SERVICES	517.00
4/10/2023	98503	AEROCO PTY LTD	AIRPORT SERVICES	1,815.00
31/10/2023	99022	AEROCO PTY LTD	AIRPORT SERVICES	2,107.20
4/10/2023	98438	AERODROME MANAGEMENT SERVICES	AIR SERVICES	31,575.54
19/10/2023	98709	AERODROME MANAGEMENT SERVICES PTY LTD	AIR SERVICES	31,575.54
4/10/2023	98455	AFGRI EQUIPMENT	MACHINERY EQUIPMENT PARTS AND SERVICE	77.39
19/10/2023	98862	AIRPORT LIGHTING SPECIALISTS	ELECTRICAL SERVICES	3,800.50
19/10/2023	98675	ALASTAIR TAYLOR	ART SALES	16.80
19/10/2023	98660	ALICE ALDER	ART SALES & WORKSHOPS	36.00
11/10/2023	98605	ALINTA ENERGY	ELECTRICITY	634.75
31/10/2023	98943	ALINTA ENERGY	ELECTRICITY	27.60
4/10/2023	98412	ALINTA SALES PTY LTD	ELECTRICITY	68.80
25/10/2023	98899	ALINTA SALES PTY LTD	ELECTRICITY	39.60
19/10/2023	98736	ALISON BURTON	ART SALES	112.00
4/10/2023	98577	ALLOY & STAINLESS PRODUCTS PTY LTD	PLANT PURCHASES / SERVICES / PARTS	706.46
19/10/2023	98706	ALPINE LAUNDRY PTY LTD	COMMERCIAL LAUNDRY	789.98
31/10/2023	98960	ALPINE LAUNDRY PTY LTD	COMMERCIAL LAUNDRY	748.90
19/10/2023	98734	ALTUS GROUP CONSULTING PTY LTD	COST MANAGEMENT SERVICES	4,400.00
4/10/2023	98555	AMITY SIGNS	SIGNAGE SERVICES	69.85
19/10/2023	98759	ANDREW & HAYLEY WELLS	BJTP REFUND	114.00
4/10/2023	98472	ANTHONY REEDMAN	MINOR DONATION	400.00
4/10/2023	98378	ARBOR GUY	TREE MAINTENANCE SERVICES	91,821.29
19/10/2023	98648	ARBOR GUY	TREE MAINTENANCE SERVICES	138,245.15
31/10/2023	98917	ARBOR GUY	TREE MAINTENANCE SERVICES	25,773.00
4/10/2023	98419	ARM SECURITY	SECURITY SYSTEMS SUPPLY AND MONITORING	271.56
19/10/2023	98688	ARM SECURITY	SECURITY SYSTEMS SUPPLY AND MONITORING	1,086.24
31/10/2023	99033	ARROW BRONZE	MEMORIAL PLAQUES SUPPLIER	628.39
4/10/2023	98387	ARTISAN GROUP	PAVING SERVICES	1,776.50
4/10/2023	98518	ASSET AVIATION INSTITUTE	AERODROME REPORTING OFFICER TRAINING	790.00
19/10/2023	98798	ATTEKUS	ONLINE BOOKING, EVENT SOFTWARE	962.50
19/10/2023	98707	ATTURRA BUSINESS APPLICATIONS	SOFTWARE CONSULTANCY	5,610.00
4/10/2023	98390	AUSQ TRAINING	TRAINING SERVICES	712.00
19/10/2023	98656	AUSQ TRAINING	TRAINING SERVICES	766.00
31/10/2023	98923	AUSQ TRAINING	TRAINING SERVICES	480.00
31/10/2023	99003	AUSTRALIA AND NEW ZEALAND RECYCLING PLAT	E-WASTE COLLECTION	3,930.96
19/10/2023	98839	AUSTRALIA POST	POSTAL SERVICE	2,753.47
19/10/2023	98637	AUSTRALIAN COASTAL COUNCILS ASSOCIATION INC	MEMBERSHIP	3,198.40
4/10/2023	98507	AUSTRALIAN SPORTS COMMISSION	RECOUPMENT OF UNSPENT GRANT FUNDS	330.00
5/10/2023	98593	AUSTRALIAN TAXATION OFFICE	PAYG TAXATION	276,290.00
19/10/2023	98888	AUSTRALIAN TAXATION OFFICE	PAYG TAXATION	277,223.00
2/11/2023	99081	AUSTRALIAN TAXATION OFFICE	PAYG TAXATION	280,241.00
4/10/2023	98480	AUTO ONE TRADING PTY LTD	AUTOMOTIVE	130.70
19/10/2023	98786	AUTO ONE TRADING PTY LTD	AUTOMOTIVE	374.55
31/10/2023	99001	AUTO ONE TRADING PTY LTD	AUTOMOTIVE	112.85
11/10/2023	98621	AVA SIMPSON	MINOR DONATION	250.00
31/10/2023	98920	AVDATA AUSTRALIA	AIRPORT SERVICES	4,464.64
19/10/2023	98665	AZILITY	IT SOFTWARE	1,375.00
31/10/2023	98983	AZTEC PAINTING & DECORATING	PAINTING SERVICES	7,200.00
19/10/2023	98848	B & B STREET SWEEPING	STREET SWEEPING SERVICE	21,236.58
31/10/2023	99051	B & B STREET SWEEPING	STREET SWEEPING SERVICE	5,124.71
4/10/2023	98553	B&B STREET SWEEPING	STREET SWEEPING SERVICE	772.34
31/10/2023	98977	BAKED BUSSELTON	BAKERY CATERING	247.20
19/10/2023	98750	BARBARA WEEKS	ART SALES	188.00
19/10/2023	98763	BARIS GOZUACIK	BJTP REFUND	104.15
4/10/2023	98408	BARRY ALLEN ELECTRICAL SERVICES PTY LTD	ELECTRICAL SERVICES	26,021.19
19/10/2023	98674	BARRY ALLEN ELECTRICAL SERVICES PTY LTD	ELECTRICAL SERVICES	5,658.29



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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
31/10/2023	98940	BARRY ALLEN ELECTRICAL SERVICES PTY LTD	ELECTRICAL SERVICES	462.00
4/10/2023	98548	BAY SIGNS	SIGNAGE SERVICES	994.29
19/10/2023	98845	BAY SIGNS	SIGNAGE SERVICES	298.40
31/10/2023	99047	BAY SIGNS	SIGNAGE SERVICES	289.84
19/10/2023	98696	BAYTHE LINEN AND LAUNDRY	SUPPLY OF CLEAN LINEN	244.38
31/10/2023	98953	BAYTHE LINEN AND LAUNDRY	SUPPLY OF CLEAN LINEN	22.31
31/10/2023	99076	BEACHLANDS LAWNMOWING SERVICE	LAWN MOWING SERVICE	300.00
4/10/2023	98461	BEN KING	SKATEPARK CONSULTATION	750.00
4/10/2023	98557	BENARA NURSERIES	NURSERY SUPPLIES	6,696.17
31/10/2023	99054	BENARA NURSERY	NURSERY SUPPLIES	3,879.22
4/10/2023	98504	BEND-TECH GROUP	ENGINEERING AND SAFETY SOLUTIONS	3,306.60
31/10/2023	98962	BENTLEY SYSTEMS INTERNATIONAL LIMITED	TRAINING SERVICES	13,026.00
19/10/2023	98808	BERNINI STONE AND TILES PTY LTD	CIVIL CONSTRUCTION PRODUCTS	51,102.15
19/10/2023	98652	BEST CONSULTANTS PTY LTD	ELECTRICAL CONSULTING SERVICES	1,320.00
4/10/2023	98571	BG & E PTY LTD	CONSULTANCY SERVICES	1,751.75
4/10/2023	98483	BING TECHNOLOGIES PTY LTD	MAILING SERVICES	180.46
19/10/2023	98789	BING TECHNOLOGIES PTY LTD	MAILING SERVICES	200.93
19/10/2023	98754	BIO SOIL SOLUTIONS	LIQUID SOIL SOLUTIONS	8,720.00
19/10/2023	98822	BIRDLIFE AUSTRALIA	COUNCIL ROBIN REPORT PACKAGE	247.50
19/10/2023	98823	BK HARTLEY	ADULTS ONLY DRAG STORYTIME	145.00
19/10/2023	98843	BLACKWOODS	FLEET CONSUMABLES & MAINTENANCE PARTS	5,171.28
31/10/2023	99045	BLACKWOODS	FLEET CONSUMABLES & MAINTENANCE PARTS	2,415.78
19/10/2023	98778	BLUE ARMADILLO (ODILE BELL)	ART SALES	70.70
4/10/2023	98406	BLUESTEEL ENTERPRISES PTY LTD	EMERGENCY RESPONSE EQUIPMENT	5,400.95
31/10/2023	99010	BM DUNNELL	AUTHOR TALK AND WORKSHOP	750.00
19/10/2023	98830	BOC GASES AUSTRALIA LTD	GAS SERVICES	1,690.10
4/10/2023	98531	BOC LIMITED	GAS SERVICES	337.41
25/10/2023	98896	BR & ND GLOVER	TILING SERVICES	5,449.50
4/10/2023	98464	BRETT TITTERTON ELECTRICAL AND AIR CONDI	ELECTRICAL SERVICES	1,130.10
4/10/2023	98381	BRIDGESTONE	TYRE SERVICES	530.53
19/10/2023	98792	BROAD CONSTRUCTION PTY LTD	CONSTRUCTION SERVICES	1,849,096.02
31/10/2023	99039	BUCHER MUNICIPAL PTY LTD	ENGINEERING - PLANT SPARES & SERVICING	718.02
4/10/2023	98556	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	3,779.86
11/10/2023	98635	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	836.80
19/10/2023	98852	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	2,433.13
31/10/2023	99053	BUNNINGS BUILDING SUPPLIES	HARDWARE SUPPLIES	1,011.23
4/10/2023	98446	BUSSELTON ADVANCED DRIVER TRAINING	DRIVER TRAINING	330.00
31/10/2023	98974	BUSSELTON ADVANCED DRIVER TRAINING	DRIVER TRAINING	530.00
19/10/2023	98681	BUSSELTON AGRICULTURAL SERVICES (WA) PTY LTD	RURAL SUPPLIES	25.00
31/10/2023	98947	BUSSELTON AGRICULTURAL SERVICES (WA) PTY LTD	RURAL SUPPLIES	180.00
4/10/2023	98383	BUSSELTON BEARING SERVICES	BEARING SUPPLIES	453.09
31/10/2023	98921	BUSSELTON BEARING SERVICES	BEARING SUPPLIES	970.33
19/10/2023	98855	BUSSELTON BITUMEN SERVICE	EARTHMOVING SERVICES	8,365.50
4/10/2023	98479	BUSSELTON BUILDING PRODUCTS	BUILDING PRODUCT SUPPLIER	665.88
19/10/2023	98783	BUSSELTON BUILDING PRODUCTS	BUILDING PRODUCT SUPPLIER	532.50
31/10/2023	98999	BUSSELTON BUILDING PRODUCTS	BUILDING PRODUCT SUPPLIER	104.62
19/10/2023	98860	BUSSELTON CHAMBER OF COMMERCE AND INDUSTRY	MEMBERSHIP	34,375.00
4/10/2023	98496	BUSSELTON FLORIST	FLOWERS AND GIFTS	125.00
19/10/2023	98642	BUSSELTON HYDRAULIC SERVICES INC	HYDRAULIC SERVICES	485.16
31/10/2023	98913	BUSSELTON HYDRAULIC SERVICES INC	HYDRAULIC SERVICES	325.22
31/10/2023	98918	BUSSELTON LOCKSMITH	SECURITY SUPPLIES	884.35
4/10/2023	98542	BUSSELTON MOTORS	VEHICLE PURCHASES / SERVICES / PARTS	623.00
4/10/2023	98498	BUSSELTON PEST & WEED CONTROL	PEST CONTROL SERVICES	600.00
19/10/2023	98802	BUSSELTON PEST & WEED CONTROL	PEST CONTROL SERVICES	4,830.00
31/10/2023	99017	BUSSELTON PEST & WEED CONTROL	PEST CONTROL SERVICES	150.00
31/10/2023	99041	BUSSELTON RETRAVISION	ELECTRICAL SERVICES	663.00
4/10/2023	98422	BUSSELTON REWINDS	PLANT PURCHASES/SERVICES / PARTS	635.13
19/10/2023	98841	BUSSELTON SENIOR CITIZENS CENTRE	QUARTERLY DONATION PAYMENT	27,909.15
31/10/2023	98942	BUSSELTON STOCKFEEDS & PET SUPPLIES	ANIMAL SUPPLIES	136.00
4/10/2023	98529	BUSSELTON WATER	WATER SERVICES	1,308.53
11/10/2023	98634	BUSSELTON WATER	WATER SERVICES	864.00
19/10/2023	98829	BUSSELTON WATER	WATER SERVICES	1,158.85
25/10/2023	98909	BUSSELTON WATER	WATER SERVICES	100.00
11/10/2023	98615	BUSSELTON WOODTURNERS	MINOR DONATION	300.00
19/10/2023	98762	C & K DOWLING	BJTP REFUND	57.00
4/10/2023	98579	CAPE RURAL CONTRACTING	FIRE CONTROL SERVICES	440.00
19/10/2023	98682	CAPE SHADES	SHADE SAILS	2,189.99
4/10/2023	98562	CARBONE BROS PTY LTD	LIMESTONE SUPPLIES / CARTAGE SERVICES	56,403.60
19/10/2023	98740	CAROL MULHEARN - ART SALES	ART SALES	756.00
31/10/2023	99031	CATERED BY JACQUELINE	CATERING	4,290.00
4/10/2023	98448	CB TRAFFIC SOLUTIONS PTY LTD	TRAFFIC MANAGEMENT SERVICES	32,580.91
19/10/2023	98718	CB TRAFFIC SOLUTIONS PTY LTD	TRAFFIC MANAGEMENT SERVICES	14,297.54
31/10/2023	98976	CB TRAFFIC SOLUTIONS PTY LTD	TRAFFIC MANAGEMENT SERVICES	25,718.01
31/10/2023	99064	CBRE (GWSLA) PTY LTD	AIR CONDITIONING SERVICES	2,837.56
19/10/2023	98722	CHRISEA DESIGNS	ART SALES	598.50
4/10/2023	98530	CHRISTIAN & CO ELECTRICAL CONTRACTORS	ELECTRICAL SERVICES	160.60
19/10/2023	98742	CHRISTINE CRESSWELL	ART SALES	37.80
19/10/2023	98687	CHRISTINE SEATORY	ART SALES	8.40
11/10/2023	98612	CHRISTOPHER & MECHELLE MCNAMARA	RATE REFUND	1,000.00
4/10/2023	98559	CHUBB FIRE SAFETY	FIRE EQUIPMENT SERVICES	7,800.22
4/10/2023	98460	CIRCUITWEST INC	WA PRESENTERS ASSOCIATION	385.00
19/10/2023	98871	CITY AND REGIONAL FUELS	FUEL SERVICES	4,855.25
5/10/2023	98589	CITY OF BUSSELTON CHRISTMAS CLUB	PAYROLL DEDUCTIONS	2,052.18
19/10/2023	98884	CITY OF BUSSELTON CHRISTMAS CLUB	PAYROLL DEDUCTIONS	2,102.18
2/11/2023	99077	CITY OF BUSSELTON CHRISTMAS CLUB	PAYROLL DEDUCTIONS	2,102.18
5/10/2023	98595	CITY OF BUSSELTON PAYROLL	PAYROLL DEDUCTIONS REALLOCATION	4,910.45



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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
19/10/2023	98890	CITY OF BUSSELTON PAYROLL	PAYROLL DEDUCTIONS REALLOCATION	5,034.45
2/11/2023	99083	CITY OF BUSSELTON PAYROLL	PAYROLL DEDUCTIONS REALLOCATION	5,108.55
5/10/2023	98590	CITY OF BUSSELTON STAFF LOTTO	STAFF LOTTO	174.00
19/10/2023	98885	CITY OF BUSSELTON STAFF LOTTO	STAFF LOTTO	174.00
2/11/2023	99078	CITY OF BUSSELTON STAFF LOTTO	STAFF LOTTO	174.00
5/10/2023	98597	CITY OF BUSSELTON-SOCIAL CLUB	SOCIAL CLUB REIMBURSEMENT	200.00
19/10/2023	98892	CITY OF BUSSELTON-SOCIAL CLUB	SOCIAL CLUB REIMBURSEMENT	202.00
2/11/2023	99085	CITY OF BUSSELTON-SOCIAL CLUB	SOCIAL CLUB REIMBURSEMENT	198.00
4/10/2023	98393	CIVIL/STRUCTURAL CONSULTING PTY LTD	STRUCTURAL INSPECTIONS	3,718.00
4/10/2023	98532	CID EQUIPMENT PTY LTD	PLANT PURCHASES / SERVICES / PARTS	2,470.00
4/10/2023	98565	CLEANAWAY	WASTE MANAGEMENT SERVICES	20,358.80
19/10/2023	98865	CLEANAWAY	WASTE MANAGEMENT SERVICES	117,656.27
31/10/2023	99058	CLEANAWAY	WASTE MANAGEMENT SERVICES	3,930.32
4/10/2023	98418	CLEANAWAY CO PTY LTD	CHEMICAL DISPOSAL SERVICES	6,062.41
19/10/2023	98837	CLEANAWAY EQUIPMENT SERVICES	MAINTENANCE PARTS WASHER	1,024.86
19/10/2023	98686	CLEANAWAY SOLID WASTE PTY LTD	WASTE DISPOSAL SERVICES	65.10
19/10/2023	98780	CMM TECHNOLOGY	WORKPLACE DRUG & ALCOHOL TESTING	170.50
19/10/2023	98867	COCA COLA - AMATIL PTY LTD	GLC KIOSK PURCHASES	342.28
4/10/2023	98570	COCA-COLA AMATIL	GLC KIOSK PURCHASES	589.66
11/10/2023	98636	COLES	COUNCIL & STAFF REFRESHMENTS	433.82
19/10/2023	98858	COLES	COUNCIL & STAFF REFRESHMENTS	1,121.41
4/10/2023	98403	COLES.COM.AU	COUNCIL & STAFF REFRESHMENTS	1,393.30
19/10/2023	98667	COLES.COM.AU	COUNCIL & STAFF REFRESHMENTS	182.65
31/10/2023	98935	COLES.COM.AU	COUNCIL & STAFF REFRESHMENTS	617.39
4/10/2023	98420	COLLEAGUESNAGEL	STATIONERY PRINTING SERVICES	2,592.84
4/10/2023	98375	COMBINED TEAM SERVICES	TRAINING SERVICES	2,040.00
31/10/2023	98987	COME. GRAZE. SOUTHWEST	CATERING FOOD SERVICES	2,244.00
19/10/2023	98669	COMMERCIAL TURF SERVICES	LAWN MOWER MECHANICAL SERVICES	1,287.00
4/10/2023	98434	COMPUTER WEST	INFORMATION TECHNOLOGY SUPPLIER	1,290.70
31/10/2023	98959	COMPUTER WEST	INFORMATION TECHNOLOGY SUPPLIER	53,735.36
4/10/2023	98471	CONFIDENTIAL LISTING	SEE ATTACHED	-
11/10/2023	98623	CONFIDENTIAL LISTING	SEE ATTACHED	-
11/10/2023	98624	CONFIDENTIAL LISTING	SEE ATTACHED	-
11/10/2023	98625	CONFIDENTIAL LISTING	SEE ATTACHED	-
11/10/2023	98626	CONFIDENTIAL LISTING	SEE ATTACHED	-
25/10/2023	98902	CONFIDENTIAL LISTING	SEE ATTACHED	-
25/10/2023	98903	CONFIDENTIAL LISTING	SEE ATTACHED	-
25/10/2023	98904	CONFIDENTIAL LISTING	SEE ATTACHED	-
31/10/2023	98996	CONFIDENTIAL LISTING	SEE ATTACHED	-
4/10/2023	98429	CONGDON GROUP	MARKETING	1,232.00
4/10/2023	98465	CONSULT DIRECT	CLEANING EQUIPMENT AND SERVICES	317.90
19/10/2023	98743	CONSULT DIRECT	CLEANING EQUIPMENT AND SERVICES	699.60
31/10/2023	98985	CONSULT DIRECT	CLEANING EQUIPMENT AND SERVICES	264.00
19/10/2023	98684	CORSIGN WA PTY LTD	SIGNAGE AND TRAFFIC ACCESSORIES	3,168.00
31/10/2023	98950	CORSIGN WA PTY LTD	SIGNAGE AND TRAFFIC ACCESSORIES	4,991.80
11/10/2023	98628	CR. ANNE RYAN	COUNCILLOR PAYMENT	2,988.53
11/10/2023	98600	CR. G HENLEY	COUNCILLOR PAYMENT	11,993.04
11/10/2023	98627	CR. JODIE RICHARDS	COUNCILLOR PAYMENT	2,988.53
11/10/2023	98609	CR. KATHERINE COX	COUNCILLOR PAYMENT	2,988.53
11/10/2023	98629	CR. MIKAYLA LOVE	COUNCILLOR PAYMENT	2,650.82
11/10/2023	98604	CR. P CARTER	COUNCILLOR PAYMENT	4,902.05
11/10/2023	98610	CR. P CRONIN	COUNCILLOR PAYMENT	2,988.53
11/10/2023	98603	CR. R PAINE	COUNCILLOR PAYMENT	2,988.53
11/10/2023	98608	CR. SUSAN RICCELLI	COUNCILLOR PAYMENT	2,988.53
4/10/2023	98392	CRANEFORD PLUMBING PTY LTD	PLUMBING SERVICES	17,095.46
19/10/2023	98662	CRANEFORD PLUMBING PTY LTD	PLUMBING SERVICES	11,310.82
31/10/2023	98927	CRANEFORD PLUMBING PTY LTD	PLUMBING SERVICES	4,167.67
4/10/2023	98569	CROSS SECURITY SERVICES	SECURITY SERVICES	2,640.00
31/10/2023	99063	CROSS SECURITY SERVICES	SECURITY SERVICES	9,372.54
4/10/2023	98428	CROWN MELBOURNE	ACCOMMODATION	709.15
19/10/2023	98698	CROWN PERTH HOTELS	ACCOMMODATION	186.15
4/10/2023	98450	CS LEGAL - CLOISTERS SQUARE	LEGAL RECOVERY ON RATING DEBTS	2,697.80
4/10/2023	98431	CSSTECH GROUP PTY LTD	ICT SERVICES	9,712.67
19/10/2023	98700	CSSTECH GROUP PTY LTD	ICT SERVICES	2,327.23
19/10/2023	98638	DATA 3	COMPUTER SOFTWARE SUPPLIER	10,439.23
31/10/2023	99036	DAVID GRAY & CO	GARBAGE BINS & PARTS SUPPLIER	2,105.40
4/10/2023	98558	DAVID MILDWATERS ELECTRICAL	MAINTENANCE SERVICES	1,026.87
31/10/2023	99055	DAVID MILDWATERS ELECTRICAL	MAINTENANCE SERVICES	304.70
19/10/2023	98758	DAWN MALLETT-MCEWEN	BJTP REFUND	65.00
11/10/2023	98601	DEB HOLDEN	STAFF REIMBURSEMENT	152.48
31/10/2023	98926	DENNIS CUTHBERT BUILDERS	BUILDING SERVICES	1,929.40
19/10/2023	98641	DENNIS HADDON	ART SALES	45.50
19/10/2023	98850	DEPARTMENT OF FIRE AND EMERGENCY SERVICES	FIRE AND EMERGENCY SERVICES	31,457.67
19/10/2023	98649	DEPARTMENT OF TRANSPORT	VEHICLE OWNERSHIP SEARCHES	39.60
25/10/2023	98895	DEPARTMENT OF TRANSPORT	VEHICLE OWNERSHIP SEARCHES	90.20
4/10/2023	98424	DEPARTMENT OF WATER AND ENVIRONMENT REGU	ENVIRONMENTAL SERVICES	1,738.00
5/10/2023	98596	DEPUTY CHILD SUPPORT REGISTRAR	SALARY DEDUCTIONS	1,267.89
19/10/2023	98891	DEPUTY CHILD SUPPORT REGISTRAR	SALARY DEDUCTIONS	969.61
2/11/2023	99084	DEPUTY CHILD SUPPORT REGISTRAR	SALARY DEDUCTIONS	969.61
19/10/2023	98812	DEVIN MOLTONI	STAFF REIMBURSEMENT	96.02
19/10/2023	98794	DIANE HEART	ART SALES	90.30
19/10/2023	98711	DISCOVER DEADLY	SNAKE SAFETY AWARENESS	404.96
19/10/2023	98761	DM & DM GARDINER	BJTP REFUND	111.00
4/10/2023	98468	DONALD CANT WATTS CORKE (WA) PTY LTS	CONSULTANCY SERVICES	55,126.50
19/10/2023	98755	DOOR HARDWARE SOLUTIONS	HARDWARE SUPPLIES	560.01
31/10/2023	98988	DOOR HARDWARE SOLUTIONS	HARDWARE SUPPLIES	76.80





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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
19/10/2023	98793	DOROTHY ROBINSON	ART SALES	92.05
19/10/2023	98651	DOROTHY SADDLETON	ART SALES	26.60
4/10/2023	98432	DORSOGNA LIMITED	ICE CREAM AND SMALL GOODS	2,504.90
19/10/2023	98701	DORSOGNA LIMITED	ICE CREAM AND SMALL GOODS	1,002.65
31/10/2023	98957	DORSOGNA LIMITED	ICE CREAM AND SMALL GOODS	1,109.82
4/10/2023	98414	DOUTH CONTRACTING	PROPERTY & GARDEN MAINTENANCE	7,570.01
19/10/2023	98679	DOUTH CONTRACTING	PROPERTY & GARDEN MAINTENANCE	151.01
31/10/2023	98984	DOWN SOUTH SCAFFOLDING PTY LTD	SCAFFOLDING SUPPLY & INSTALLATION SERVICE	3,294.50
4/10/2023	98395	DR & NK JAMES	BUS CHARTER SERVICE	750.00
11/10/2023	98620	DUNSBOROUGH ART SOCIETY	MINOR DONATION	500.00
4/10/2023	98399	DUNSBOROUGH HARDWARE & HOME CENTRE	HARDWARE SERVICES	93.50
31/10/2023	98931	DUNSBOROUGH HARDWARE & HOME CENTRE	HARDWARE SERVICES	49.95
4/10/2023	98502	E & B PELOSI	RESUME WRITING SERVICES	100.00
19/10/2023	98766	E HORNE & I PRISLOO	BJTP REFUND	57.00
19/10/2023	98834	EAGLE BAY VOLUNTEER BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	535.44
4/10/2023	98443	EARTH 2 OCEAN COMMUNICATIONS	COMMUNICATION SERVICES - RADIO REPAIRS	410.00
4/10/2023	98452	EARTH AND STONE WA	FOOTPATHS MAINTENANCE	2,475.00
5/10/2023	98591	EASI PACKAGING	SALARY PACKAGING SERVICE	19,845.45
19/10/2023	98886	EASI PACKAGING	SALARY PACKAGING SERVICE	20,752.11
2/11/2023	99079	EASI PACKAGING	SALARY PACKAGING SERVICE	20,867.36
4/10/2023	98409	ECHO FIELD PTY LTD	MAINTENANCE SERVICES	5,841.60
31/10/2023	99035	ECOSYSTEMS SOLUTIONS	CONSULTANCY SERVICES	6,468.00
19/10/2023	98864	EDUCATIONAL ART SUPPLIES	ART EQUIPMENT SUPPLIES	276.76
4/10/2023	98405	EGIS CONSULTING PTY LTD	ENGINEERING CONSULTANCY	9,845.55
19/10/2023	98690	ELAMOORE NATURAL SOAPS & COSMETICS PTY LTD	ART SALES	60.90
4/10/2023	98475	ELEMENT ADVISORY PTY LTD	HERITAGE ADVICORY SERVICES	2,767.88
19/10/2023	98713	ELIZABETH BINT	ART SALES	290.50
31/10/2023	98992	ELIZABETH DODD	BJTP REFUND	63.15
4/10/2023	98371	ELLIOTTS FILTRATION	IRRIGATION & FILTRATION SERVICES	2,133.78
4/10/2023	98526	ELSEY CAMPBELL-DOBSON	STAFF REIMBURSEMENT	87.00
4/10/2023	98567	EMERGE OFFICE	OFFICE EQUIPMENT SERVICES - PHOTOCOPYING	986.70
31/10/2023	99060	EMERGE OFFICE	OFFICE EQUIPMENT SERVICES - PHOTOCOPYING	316.80
25/10/2023	98907	EMERSON RAINE	STRATA LEVY FEES & WATER CONSUMPTION	2,686.90
19/10/2023	98779	EMMA GEARY	ART SALES	14.00
19/10/2023	98767	EMMA WOODS	RATE REFUND	341.54
4/10/2023	98391	ENVIRONEX INTERNATIONAL PTY LTD	POOL CHEMICALS FOR GLC	2,706.03
19/10/2023	98658	ENVIRONEX INTERNATIONAL PTY LTD	POOL CHEMICALS FOR GLC	1,747.04
31/10/2023	98958	ERGOLINK	ERGONOMIC OFFICE EQUIPMENT	353.16
31/10/2023	98925	ERIN FERRIS	STAFF REIMBURSEMENT	64.70
19/10/2023	98721	ESPRESSO MEDIC	COFFEE MACHINGS SALES AND SERVICING	253.00
19/10/2023	98670	EVERETT'S HOME AND YARD MAINTENANCE	MAINTENANCE SERVICES	1,240.00
31/10/2023	98936	EVERETT'S HOME AND YARD MAINTENANCE	MAINTENANCE SERVICES	220.00
4/10/2023	98397	EVERGREEN HOLDINGS PTY LTD	INDUSTRIAL SUPPLIES	242.00
19/10/2023	98801	EZRA J WILLIAMS PRO ROOFING WA	ROOFING , ROOF PLUMBING , MAINTENANCE	3,130.60
31/10/2023	99014	EZRA J WILLIAMS PRO ROOFING WA	ROOFING , ROOF PLUMBING , MAINTENANCE	187.00
19/10/2023	98739	FAIRTEL PTY LTD	TELECOMMUNICATION SERVICES	175.88
4/10/2023	98426	FRESH AS	REFRESHMENTS	459.90
31/10/2023	98954	FRESH AS	REFRESHMENTS	528.85
19/10/2023	98673	FRONTLINE FIRE & RESCUE EQUIPMENT	EMERGENCY RESPONSE EQUIPMENT	13,909.50
31/10/2023	98939	FRONTLINE FIRE & RESCUE EQUIPMENT	EMERGENCY RESPONSE EQUIPMENT	11,384.73
4/10/2023	98474	GANNAWAYS CHARTER AND TOURS	BUS HIRE SERVICE	1,694.00
4/10/2023	98442	GARRY HUTTON	WATER CHARGES REIMBURSEMENT	1,826.50
4/10/2023	98499	GARY LEE ELECTRICAL	ELECTRICAL SERVICES	3,759.60
19/10/2023	98805	GARY LEE ELECTRICAL	ELECTRICAL SERVICES	4,858.70
31/10/2023	99018	GARY LEE ELECTRICAL	ELECTRICAL SERVICES	3,230.41
31/10/2023	99012	GENERATORS AUSTRALIA PTY LTD	HIRE AND SALES OF EQUIPMENT	2,333.56
4/10/2023	98423	GEOBOX PTY LTD	VEHICLE CAMERAS	1,991.00
31/10/2023	99065	GEOGRAPHE CAMPING AND TACKLE WORLD	OUTDOOR EQUIPMENT SUPPLIER	24.99
4/10/2023	98573	GEOGRAPHE SAWS AND MOWERS	PLANT PURCHASES / SERVICES / PARTS	266.00
31/10/2023	99067	GEOGRAPHE SAWS AND MOWERS	PLANT PURCHASES / SERVICES / PARTS	321.00
19/10/2023	98831	GEOGRAPHE TIMBER & HARDWARE	HARDWARE SUPPLIES	1,042.69
31/10/2023	99037	GEOGRAPHE TIMBER & HARDWARE	HARDWARE SUPPLIES	1,419.70
4/10/2023	98415	GEOGRAPHE UNDERGROUND SERVICES	UNDERGROUND SERVICES	31,029.64
4/10/2023	98386	GIANT INTERNATIONAL	DRAINAGE MAINTENANCE SUPPLIES	3,814.58
19/10/2023	98764	GR & VN HOST	BJTP REFUND	57.00
31/10/2023	99066	GRASSIAS TURF MANAGEMENT	CRICKET PITCH MANAGEMENT SERVICES	1,848.00
19/10/2023	98654	GREY GOLD CONSTRUCTIONS	CONCRETE SERVICES	4,059.00
4/10/2023	98533	GROCKOCK GLASS	GLASS WORK SERVICES	77.00
19/10/2023	98811	HALLY'S	CATERING SERVICES	700.00
31/10/2023	98969	HARBECKS TRANSPORT	SAND AND GRAVEL SUPPLIES	10,807.50
4/10/2023	98489	HARCHER PRESTIGE BUSSELTON	HOSPITALITY EQUIPMENT SUPPLIER	8,271.00
31/10/2023	99011	HARCHER PRESTIGE BUSSELTON	HOSPITALITY EQUIPMENT SUPPLIER	4,780.15
19/10/2023	98795	HARCHER SOUTHWEST FORMERLY PRESTIGE PRODUCTS	HOSPITALITY EQUIPMENT SUPPLIER	3,871.80
4/10/2023	98524	HART SPORT	SPORTING EQUIPMENT	250.00
4/10/2023	98401	HEALTHSCOPE MEDICAL CENTRES	MEDICAL SERVICES	25.00
19/10/2023	98869	HERBERT SMITH FREEHILLS	LEGAL SERVICES	4,400.00
31/10/2023	99021	HERRON TODD WHITE (WESTERN AUSTRALIA) PTY LTD	PROPERTY VALUATIONS	2,200.00
4/10/2023	98477	HERSEY 'S SAFETY PTY LTD	TIMBER AND HARDWARE	3,731.20
4/10/2023	98585	HIP POCKET WORK WEAR AND SAFETY	UNIFORMS & PROTECTIVE CLOTHING	1,075.26
19/10/2023	98881	HIP POCKET WORK WEAR AND SAFETY	UNIFORMS & PROTECTIVE CLOTHING	887.01
31/10/2023	99074	HIP POCKET WORK WEAR AND SAFETY	UNIFORMS & PROTECTIVE CLOTHING	1,077.28
4/10/2023	98497	HIRE A FENCE	TEMPORARY FENCING HIRE	475.20
19/10/2023	98804	HIRE A FENCE	TEMPORARY FENCING HIRE	1,782.00
19/10/2023	98859	HITHERGREEN BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	350.00
4/10/2023	98380	HOLCIM (AUSTRALIA) PTY LTD	CONCRETE SERVICES	827.20
31/10/2023	98919	HOLCIM (AUSTRALIA) PTY LTD	CONCRETE SERVICES	484.00





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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
4/10/2023	98470	HOLLY MILLAR	REFUND DOG REGISTRATION	150.00
31/10/2023	98970	ILLION AUSTRALIA PTY LTD	TENDER ADVERTISING AND MANAGEMENT	12.67
31/10/2023	99032	ILZE VISSER	STAFF REIMBURSEMENT	13.70
19/10/2023	98678	IMAGE ON LINE	MARKETING	261.25
19/10/2023	98820	INFLATABLE ENTERTAINMENT PERTH PTY LTD	BUBBLE SOCCER	1,100.00
4/10/2023	98459	INSTANT PRODUCTS HIRE	PUBLIC ABULTION TRANSPORTABLE - BUSSELTON AIRPORT	27,500.00
19/10/2023	98735	INSTANT PRODUCTS HIRE	PUBLIC ABULTIONS HIRE AND SALES	2,522.80
19/10/2023	98753	INSTANT TRANSPORTABLE OFFICES PTY LTD	TRANSPORTABLE ABLUTIONS	2,812.39
4/10/2023	98482	IPEC PTY LTD	COURIER SERVICES	350.29
31/10/2023	99002	IPEC PTY LTD	COURIER SERVICES	435.66
31/10/2023	98991	IRENE HOPWOOD	BJTP REFUND	207.50
19/10/2023	98810	IRONMAN OCEANIA	BOND REFUND	5,500.00
4/10/2023	98400	JACKSON MCDONALD LAWYERS	LEGAL SERVICES	43,793.42
4/10/2023	98454	JAMES BENNETT	SPECIALIST LIBRARY RESOURCES	250.95
31/10/2023	98980	JAMES BENNETT	SPECIALIST LIBRARY RESOURCES	690.82
4/10/2023	98469	JAMES KIELY	REFUND DOG REGISTRATION	150.00
19/10/2023	98704	JAN ROBERTS	ART SALES	753.50
19/10/2023	98832	JASON SIGNMAKERS	SIGNAGE SUPPLIES	1,453.98
19/10/2023	98710	JDSI CONSULTING ENGINEERS PTY LTD	ENGINEERING CONSULTING SERVICES	2,887.50
19/10/2023	98771	JEN BLAKE	MINOR DONATION	93.00
19/10/2023	98689	JENNIFER BROWN	ART SALES	260.00
31/10/2023	99019	JENNIFER WINSLOW	ART JOURNALLING CLASS	280.00
31/10/2023	98979	JIGSAW SIGNS & PRINT	SIGNAGE SERVICES	154.00
19/10/2023	98666	JIMS FIRST	HARDWARE SUPPLIES	32.85
31/10/2023	98934	JIMS FIRST	HARDWARE SUPPLIES	18.00
5/10/2023	98592	JMW REAL ESTATE	T NOTTLE RENT	1,400.00
19/10/2023	98887	JMW REAL ESTATE	T NOTTLE RENT	1,400.00
2/11/2023	99080	JMW REAL ESTATE	T NOTTLE RENT	1,400.00
31/10/2023	99059	JODY STOLP	STAFF REIMBURSEMENT	56.00
19/10/2023	98776	JOHN ISAACSON	MINOR DONATION	500.00
4/10/2023	98582	JUICE PRINT	PRINTING SERVICES	1,349.81
19/10/2023	98720	JULIE GUTHRIDGE	ART SALES	54.60
31/10/2023	99057	KALOORUP BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	420.16
19/10/2023	98765	KATE STRAHAN	BJTP REFUND	116.00
4/10/2023	98416	KATHERINE M GARNETT	WELLNESS PROGRAM	198.00
19/10/2023	98748	KATHLEEN NEELING	ART SALES	84.00
19/10/2023	98744	KAY MANOLAS	ART SALES	256.80
19/10/2023	98833	KD POWER & CO	MAINTENANCE SERVICES	50.01
31/10/2023	98994	KEN & ANNE-MARIE STOKES	BJTP REFUND	57.00
4/10/2023	98376	KERRY HILL ARCHITECTS	ARCHITECTURAL SERVICES	54,682.05
31/10/2023	98915	KERRY HILL ARCHITECTS	ARCHITECTURAL SERVICES	63,574.04
31/10/2023	99004	KERYGMA PTY LTD	FINANCE AND INSURANCE SERVICES	54,696.40
11/10/2023	98606	KITCHEN TAKEOVERS	CATERING	90.00
19/10/2023	98695	KITCHEN TAKEOVERS	CATERING	1,346.40
25/10/2023	98900	KITCHEN TAKEOVERS	CATERING	572.00
19/10/2023	98851	KLEENHEAT GAS	GAS SERVICES	2,057.30
4/10/2023	98439	KMART BUSSELTON	RETAIL HOME WARES	198.25
4/10/2023	98510	KOMATSU AUSTRALIA	VEHICLE PURCHASE AND PARTS	259.54
31/10/2023	99027	KOMATSU AUSTRALIA	VEHICLE PURCHASE AND PARTS	284.59
11/10/2023	98611	L RICHARDS & K MCGRATH	BJTP REFUND	603.00
19/10/2023	98639	LANDGATE	CAVEAT FEE	30.50
4/10/2023	98539	LANDGATE (VALUER GENERAL'S OFFICE)	LAND VALUATIONS	2,662.23
31/10/2023	99042	LANDGATE (VALUER GENERAL'S OFFICE)	LAND VALUATIONS	2,227.48
19/10/2023	98835	LANDGATE CUSTOMER ACCOUNT	LAND INFORMATION AND TITLE SEARCHES	91.50
4/10/2023	98515	LAUNDRY INVESTMENTS INVESTMENTS	DRYCLEANING AND LINEN HIRE SERVICES	46.80
19/10/2023	98816	LAUNDRY INVESTMENTS INVESTMENTS	DRYCLEANING AND LINEN HIRE SERVICES	9.10
4/10/2023	98478	LAWRENCE & HANSON	ELECTRICAL/PROTECTIVE CLOTHING SUPPLIES	2,599.78
19/10/2023	98782	LAWRENCE & HANSON	ELECTRICAL/PROTECTIVE CLOTHING SUPPLIES	1,517.07
4/10/2023	98575	LD TOTAL	LANDSCAPING SERVICES	15,856.48
19/10/2023	98806	LD TOTAL	LANDSCAPING SERVICES	937.75
11/10/2023	98613	LEE-ANNA LANGLEY	RATE REFUND	116.09
19/10/2023	98644	LEEUWIN CIVIL PTY LTD	HIRE EQUIPMENT SERVICES	15,792.99
19/10/2023	98868	LEEUWIN TRANSPORT	COURIER SERVICES	2,677.20
19/10/2023	98774	LESLEY CURTIS	MINOR DONATION	515.00
19/10/2023	98777	LESLEY CURTIS	ART SALES	144.00
31/10/2023	98995	LESLEY CURTIS	MINOR DONATION	515.00
31/10/2023	98933	LG CONNECT PTY LTD	BUSINESS SYSTEM CONSULTING SERVICES	4,840.00
31/10/2023	98945	LGISWA	WORKER COMPENSATION SERVICES	848,727.47
25/10/2023	98906	LIAM JACKSON	EQUIPMENT HIRE	3,936.50
31/10/2023	99015	LIAM JACKSON	EQUIPMENT HIRE	4,680.00
31/10/2023	99006	LIBERTY OIL AUSTRALIA PTY LTD	FUEL AND LUBRICANTS	31,303.66
4/10/2023	98435	LIGHT APPLICATION PTY LTD	SERVICE WORK	6,093.60
4/10/2023	98449	LIVING MADLY PTY LTD	BAKERY CATERING	1,339.20
4/10/2023	98588	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA (WA DIVISION)	TRAINING SERVICES	530.00
5/10/2023	98594	LOCAL GOV'T RACE COURSE & CEMETERY EMPLOYEES	UNION FEES	198.00
19/10/2023	98889	LOCAL GOV'T RACE COURSE & CEMETERY EMPLOYEES	UNION FEES	198.00
2/11/2023	99082	LOCAL GOV'T RACE COURSE & CEMETERY EMPLOYEES	UNION FEES	198.00
4/10/2023	98458	LOCK AROUND THE CLOCK	SECURITY SERVICES	762.50
19/10/2023	98729	LOCK AROUND THE CLOCK	SECURITY SERVICES	451.00
11/10/2023	98631	LORRAINE SIMMONDS	STAFF REIMBURSEMENT	62.48
19/10/2023	98671	LOTIX FILTER CLEANING SERVICE	PLANT FILTER CLEANING SERVICE	572.87
31/10/2023	98937	LOTIX FILTER CLEANING SERVICE	PLANT FILTER CLEANING SERVICE	292.49
19/10/2023	98877	LYNNE BOLADERAS	ART SALES	148.00
19/10/2023	98760	M & J SHAPLAND	BJTP REFUND	57.00
4/10/2023	98535	MACDONALD JOHNSTON PTY LTD	ENGINEERING - PLANT SPARES & SERVICING	1,448.05
31/10/2023	98944	MACHINERY WEST PTY LTD	MACHINERY SERVICE AND PARTS	460.04



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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
31/10/2023	99072	MAIA FINANCIAL	LEASING PAYMENTS	25,562.84
25/10/2023	98908	MAIN ROADS WESTERN AUSTRALIA	RAV PERMITS	50.00
4/10/2023	98545	MAJOR MOTORS PTY LTD	PLANT PURCHASES / SERVICES / PARTS	801.45
4/10/2023	98493	MALATESTA ROAD PAVING	ROAD HOTMIX / PAVING SERVICES	2,420.00
19/10/2023	98732	MALCOLM ROBERTS	ART SALES	84.00
4/10/2023	98527	MANGLESII CONTRACTING	LANDSCAPING SERVICES	5,348.56
19/10/2023	98661	MARGARET PARKE	ART SALES	105.60
19/10/2023	98668	MARGARET RIVER BUSSELTON TOURISM ASSOCIATION	CONTRIBUTION TOWARDS COSTS	3,201.73
4/10/2023	98396	MARGARET RIVER FENCING	MAINTENANCE SERVICES	880.00
4/10/2023	98385	MARGARET RIVER REGION OPEN STUDIOS INC.	ADVERTISING	19,800.00
11/10/2023	98618	MARSHALL JENNINGS	MINOR DONATION	500.00
19/10/2023	98680	MARTINE PERRET	ART SALES	55.86
19/10/2023	98807	MARY DAY	ART SALES	87.50
19/10/2023	98659	MARY EVERUSS	STAFF REIMBURSEMENT	100.00
4/10/2023	98370	MATTHEW TWYMAN	STAFF REIMBURSEMENT	52.90
4/10/2023	98476	MAYDAY SERVICES	EQUIPMENT HIRE	6,583.50
19/10/2023	98781	MAYDAY SERVICES	EQUIPMENT HIRE	11,693.00
31/10/2023	98998	MAYDAY SERVICES	EQUIPMENT HIRE	17,168.25
4/10/2023	98517	MAZAMI PTY LTD	GUT HEALTH PRESENTATION	385.00
4/10/2023	98581	MCGREGOR WJ & J	MANAGEMENT BUSSELTON JETTY TOURIST PARK	49,913.20
4/10/2023	98389	MCLEODS BARRISTERS & SOLICITORS	LEGAL SERVICES	4,442.24
19/10/2023	98655	MCLEODS BARRISTERS & SOLICITORS	LEGAL SERVICES	6,350.85
19/10/2023	98803	MDH LIQUID WASTE	LIQUID WASTE SERVICES	299.70
31/10/2023	98981	MDM ENTERTAINMENT PTY LTD	DVD AND CD SUPPLY TO LIBRARY	179.07
4/10/2023	98495	MEDINA GRAND PERTH CONVENTION OPERATING	ACCOMMODATION	457.30
19/10/2023	98815	MERLE DAVIS	ART SALES	402.50
19/10/2023	98747	MESSAGE4U PTY LTD	BULK BUSINESS SMS	64.50
11/10/2023	98632	MGAC AUSTRALIA PTY LTD	DDA ACCESS	1,650.00
19/10/2023	98824	MICHAEL McNAMARA	BLIND REPAIRS	100.00
11/10/2023	98619	MICHELLE MOLONEY	MINOR DONATION	500.00
4/10/2023	98373	MICHELLE SHERWOOD	STAFF REIMBURSEMENT	50.00
4/10/2023	98516	MILLS RECRUITMENT	RECRUITMENT SERVICES	11,000.00
19/10/2023	98817	MILLS RECRUITMENT	RECRUITMENT SERVICES	22,824.49
19/10/2023	98857	MINTER ELLISON LAWYERS	LEGAL SERVICES	757.24
4/10/2023	98583	MJB INDUSTRIES PTY LTD	DRAINAGE SUPPLIES	71,437.20
19/10/2023	98879	MJB INDUSTRIES PTY LTD	DRAINAGE SUPPLIES	12,464.35
25/10/2023	98897	MP & M EVERUSS	STAFF REIMBURSEMENT	56.10
19/10/2023	98738	MUIR FORD BUSSELTON	VEHICLE MAINTENANCE	362.92
19/10/2023	98873	MUSEUM SHOPS ASSOCIATION OF AUSTRALIA	MEMBERSHIP	484.00
31/10/2023	99009	MWAVE ESEL PTY LTD T/A	IT HARDWARE	1,374.00
19/10/2023	98664	NALDA HOSKINS	ART SALES	345.60
31/10/2023	99005	NATIONAL TAX AND ACCOUNTANTS ASSOCIATION	SUBSCRIPTION	385.00
19/10/2023	98730	NATURAL EDGE FRAMING & PHOTOGRAPHY	ART SALES	149.10
4/10/2023	98402	NATURALISTE GLASS BUSINESS TRANS ACC	GLASS REPAIRS AND MANUFACTURE	239.36
31/10/2023	98938	NATURALISTE HYGIENE SERVICES	HYGIENE SERVICES	11,622.63
19/10/2023	98683	NATURALISTE TRAVEL	TRAVEL SERVICES	280.00
4/10/2023	98440	NATURALISTE TURF	TURF MAINTENANCE SERVICES	37,482.80
25/10/2023	98901	NATURALISTE TURF	TURF MAINTENANCE SERVICES	1,268.50
31/10/2023	98963	NATURALISTE TURF	TURF MAINTENANCE SERVICES	44,798.35
4/10/2023	98444	NEW IMAGE LANDSCAPING AND MAINTENANCE	LANDSCAPE MAINTENANCE - DURBAN WAY, DUNSBOROUGH, PROVENCE LANDSCAPING	19,348.45
4/10/2023	98467	NEWGROUND DESIGN SERVICES PTY LTD	DESIGN SERVICES	848.93
31/10/2023	98989	NEWGROUND DESIGN SERVICES PTY LTD	DESIGN SERVICES	848.93
4/10/2023	98536	NICHOLLS MACHINERY	PLANT PURCHASES / SERVICES / PARTS	667.21
11/10/2023	98617	NICOLA FUCILE	MINOR DONATION	500.00
31/10/2023	98965	NIGHTLIFE MUSIC PTY LTD	MUSIC AND VIDEO SUBSCRIPTION SERVICES	413.92
31/10/2023	98948	OFFICE OF THE NATIONAL RAIL SAFETY REGULATOR	ANNUAL FEES	161.00
4/10/2023	98430	OFFICEWORKS	OFFICE EQUIPMENT SERVICES	39.81
19/10/2023	98699	OFFICEWORKS	OFFICE EQUIPMENT SERVICES	111.82
31/10/2023	98956	OFFICEWORKS	OFFICE EQUIPMENT SERVICES	156.95
11/10/2023	98599	OLIVER DARBY	STAFF REIMBURSEMENT	1,759.78
19/10/2023	98770	OM DIDGE HEALING	REFUND OF APPLICATION	240.00
4/10/2023	98485	OMNICOM MEDIA GROUP AUSTRALIA PTY LTD	MEDIA AND ADVERTISING SERVICES	351.40
19/10/2023	98790	OMNICOM MEDIA GROUP AUSTRALIA PTY LTD	MEDIA AND ADVERTISING SERVICES	322.96
31/10/2023	99007	ONE4BUILD	BUILDING SERVICES	24,027.19
4/10/2023	98433	OPRA AUSTRALIA PTY LTD	PSYCHOMETRIC ASSESSMENT SERVICES	753.50
19/10/2023	98694	OPTEON PROPERTY GROUP PTY LTD	VALUATION SERVICES	2,750.00
4/10/2023	98398	OPTUS BILLING SERVICES PTY LTD	FIXED INTERNET ACCESS	2,500.00
25/10/2023	98898	OPTUS BILLING SERVICES PTY LTD	FIXED INTERNET ACCESS	567.50
31/10/2023	99013	ORACLE CUSTOMER MANAGEMENT SOLUTIONS PTY	AFTER HOURS RECEPTION	1,943.93
11/10/2023	98633	OSCAR BARNEDO	STAFF REIMBURSEMENT	240.00
19/10/2023	98878	OWEN G ISBEL	ART SALES	8.00
19/10/2023	98773	PAINT THE TOWN READ LTD	MINOR DONATION	490.00
19/10/2023	98788	PAR 3 PTY LTD	GOLF, MINI GOLF	250.00
4/10/2023	98466	PARA MOBILITY PTY LTD	POOL HOIST AND ACCESSORIES	434.00
4/10/2023	98540	PENDREY AGENCIES P/L	CHEMICAL/RURAL SUPPLIES	3,537.12
4/10/2023	98379	PENNY CROWLEY	STAFF REIMBURSEMENT	75.00
19/10/2023	98645	PEOPLE SENSE PTY LTD	EMPLOYEE ASSISTANCE PROGRAM	1,386.00
19/10/2023	98646	PERTH ENERGY PTY LTD	ELECTRICITY SUPPLIER	655.40
19/10/2023	98751	PETER EVANS	ART SALES	178.50
4/10/2023	98586	PFD FOOD SERVICES PTY LTD	GLC KIOSK PURCHASES	1,085.40
19/10/2023	98882	PFD FOOD SERVICES PTY LTD	GLC KIOSK PURCHASES	1,384.50
19/10/2023	98643	PHIL HOLLETT PHOTOGRAPHY	ART SALES	8.40
4/10/2023	98377	PHOENIX FOUNDRY PTY LTD	MEMORIAL PLAQUES SUPPLIER	2,119.70
19/10/2023	98647	PHOENIX FOUNDRY PTY LTD	MEMORIAL PLAQUES SUPPLIER	754.60
31/10/2023	98916	PHOENIX FOUNDRY PTY LTD	MEMORIAL PLAQUES SUPPLIER	253.00
19/10/2023	98827	PK COURIERS	COURIER SERVICES	374.00



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		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
4/10/2023	98445	POWER MEDICAL CENTRE	PRE EMPLOYMENT MEDICAL	159.50
19/10/2023	98716	POWER MEDICAL CENTRE	PRE EMPLOYMENT MEDICAL	159.50
31/10/2023	98972	POWER MEDICAL CENTRE	PRE EMPLOYMENT MEDICAL	159.50
19/10/2023	98650	PRIME SUPPLIES	SAFETY EQUIPMENT	910.80
4/10/2023	98490	PROGRAMMED PROPERTY SERVICES	MAINTENANCE SERVICES	2,772.00
4/10/2023	98441	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	11,686.40
19/10/2023	98715	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	2,234.10
31/10/2023	98967	PROJECT MILES TRUST	REPAIRS AND MAINTENANCE	7,238.00
31/10/2023	98997	R11 TECHNOLOGY	COMPUTOR PRODUCTS	996.06
31/10/2023	98993	RAE THOMPSON	BJTP REFUND	57.00
19/10/2023	98836	RAECO INTERNATIONAL PTY LTD	LIBRARY RESOURCES	165.00
31/10/2023	99073	RAPID ASCENT PTY LTD	BOND REFUND	4,950.00
31/10/2023	98946	REDFISH TECHNOLOGIES PTY LTD	AUDIO VIDEO CONSULTING	35,017.19
19/10/2023	98746	RENSKIE DOUGLAS	ART SALES	112.00
4/10/2023	98547	REPCO AUTO PARTS	PLANT PURCHASES / SERVICES / PARTS	588.89
19/10/2023	98844	REPCO AUTO PARTS	PLANT PURCHASES / SERVICES / PARTS	732.50
31/10/2023	99046	REPCO AUTO PARTS	PLANT PURCHASES / SERVICES / PARTS	1,142.22
4/10/2023	98584	REPEAT PLASTICS (WA)	PLASTIC PRODUCT SUPPLIER	1,507.18
31/10/2023	98990	RJ & CM DOBSON	BJTP REFUND	851.50
4/10/2023	98578	RMS (AUST) PTY LTD	SOFTWARE SERVICES	5,464.80
19/10/2023	98874	RMS (AUST) PTY LTD	SOFTWARE SERVICES	125.68
4/10/2023	98413	ROBERT'S TILT TRAY & HIAB SERVICE	FREIGHT	1,512.50
4/10/2023	98543	RODS AUTO ELECTRICS	AUTO ELECTRICAL SERVICES	1,014.40
19/10/2023	98840	ROD'S AUTO ELECTRICS	AUTO ELECTRICAL SERVICES	599.00
31/10/2023	99044	ROD'S AUTO ELECTRICS	AUTO ELECTRICAL SERVICES	266.86
31/10/2023	98928	ROMEX AUSTRALIA PTY LTD	AUTOMATED CAR PARK SYSTEM	2,691.70
19/10/2023	98853	ROTARY CLUB OF BUSSELTON GEOGRAPHE BAY	SPONSORSHIP / ADVERTISING	7.00
4/10/2023	98453	RURAL PRESS PTY LTD	ADVERTISING SERVICES	126.01
19/10/2023	98724	RURAL PRESS PTY LTD	ADVERTISING SERVICES	936.00
19/10/2023	98685	RUTH BROOKS	ART SALES	28.80
4/10/2023	98511	SACHIKO PEARCE	CATERING	144.00
19/10/2023	98813	SACHIKO PEARCE	CATERING	96.00
31/10/2023	99028	SACHIKO PEARCE	CATERING	576.00
31/10/2023	99068	SAFE & SURE SECURITY PTY LTD	SECURITY SERVICES - ALARM OCCURANCE	415.25
4/10/2023	98384	SAFE FIRST TRAINING	STAFF TRAINING	79.00
31/10/2023	98922	SAFE FIRST TRAINING	STAFF TRAINING	165.00
4/10/2023	98481	SALENTO CATERING	CATERING SERVICES	1,124.75
4/10/2023	98488	SANDRA HILL	SALTWATER DESIGN ENTRY AND MEELUP BEACH ACCESS PATH DESIGN	16,500.00
19/10/2023	98749	SANDRA WALKER	ART SALES	36.80
4/10/2023	98500	SANPOINT PTY LTD	LANDSCAPING SERVICES - BSN FORESHORE MULCHING	16,555.00
4/10/2023	98491	SAPIO PTY LTD	SECURITY INSTALLATIONS AMD MAINTENANCE	8,710.62
19/10/2023	98797	SAPIO PTY LTD	SECURITY INSTALLATIONS AMD MAINTENANCE	445.50
19/10/2023	98752	SARA SIEGWART	CLOTH NAPPIES	77.00
19/10/2023	98640	SARAH PIERSON	STAFF REIMBURSEMENT	28.04
19/10/2023	98818	SASHA VAN DER MEULEN	ART SALES	60.80
31/10/2023	98924	SCOPE BUSINESS IMAGING	ELECTRONIC EQUIPMENT	256.10
31/10/2023	98964	SEA CHANGE NEWS	STATIONERY AND OFFICE SUPPLIES	185.09
4/10/2023	98487	SEEK LIMITED	ADVERTISING SERVICES	2,992.00
19/10/2023	98791	SEEK LIMITED	ADVERTISING SERVICES	2,018.50
31/10/2023	99008	SEEK LIMITED	ADVERTISING SERVICES	2,579.50
31/10/2023	98932	SERVICES AUSTRALIA	CHARGES FOR CENTREPAY FACILITY	135.63
19/10/2023	98796	SHARON HINCHLIFFE	ART SALES	9.80
19/10/2023	98876	SHARON WILLIAMS	ART SALES	834.40
25/10/2023	98911	SHARON WILLIAMS	ART SALES	97.00
31/10/2023	99071	SHARON WILLIAMS	ART SALES	142.00
19/10/2023	98757	SHAUN & ERRIN ABBOTT	BJTP REFUND	84.00
4/10/2023	98514	SHEPHEARD PTY LTD	LIQUID WASTE MANAGEMENT	11,726.30
19/10/2023	98825	SHIRE OF EXMOUTH	LSL REIMBURSEMENT	6,227.25
19/10/2023	98880	SHORE COASTAL PTY LTD	COASTAL CONSULTANCY SERVICES	4,455.00
4/10/2023	98484	SHOREWATER MARINE PTY LTD	MARINE ASSET MAINTENANCE - PILE WRAPPING & DIVE INSPECTIONS AT BSN JETTY	105,304.65
25/10/2023	98905	SHOREWATER MARINE PTY LTD	MARINE ASSET MAINTENANCE	82,387.80
19/10/2023	98727	SKIDATA AUSTRALASIA	CARPARK EQUIPMENT	1,773.20
19/10/2023	98723	SMARTSALARY PTY LTD	SALARY PACKAGING SERVICE	27.01
31/10/2023	99026	SOLOMONS BUSSELTON	FLOORING AND BLIND SERVICES	3,875.00
31/10/2023	98930	SONIC HEALTH PLUS PTY LTD	OCCUPATIONAL HEALTH SERVICES	161.70
4/10/2023	98463	SOS OFFICE EQUIPMENT	OFFICE EQUIPMENT SERVICES	2,100.86
19/10/2023	98741	SOS OFFICE EQUIPMENT	OFFICE EQUIPMENT SERVICES	2,769.06
11/10/2023	98630	SOUTH WEST CLEANING	BBQ CLEANING	4,585.09
19/10/2023	98800	SOUTH WEST CLEANING	BBQ CLEANING	6,517.45
4/10/2023	98519	SOUTH WEST COMPRESSORS	COMPRESSOR SALES AND SERVICE	1,924.81
11/10/2023	98622	SOUTH WEST INDOONESIAN COMMUNITY INC	MINOR DONATION	1,000.00
19/10/2023	98842	SOUTH WEST ISUZU	PLANT PURCHASES / SERVICES / PARTS	107.16
4/10/2023	98538	SOUTH WEST MACHINING CENTRE	PLANT MAINTENANCE SERVICES	44.00
4/10/2023	98447	SOUTH WEST OFFICE NATIONAL	STATIONERY	1,120.72
19/10/2023	98717	SOUTH WEST OFFICE NATIONAL	STATIONERY	765.10
31/10/2023	98975	SOUTH WEST OFFICE NATIONAL	STATIONERY	170.00
19/10/2023	98663	SOUTH WEST PRINTING & PUBLISHING	ADVERTISING SERVICES	2,489.47
4/10/2023	98537	SOUTH WEST STEEL PRODUCTS	STEEL PRODUCTS SUPPLIER	973.16
31/10/2023	99040	SOUTH WEST STEEL PRODUCTS	STEEL PRODUCTS SUPPLIER	21.60
19/10/2023	98693	SOUTHERN ATU SERVICES PTY LTD	WASTE MANAGEMENT SERVICES	820.00
31/10/2023	98951	SOUTHERN CROSS AUSTEREO	ADVERTISING	1,821.60
31/10/2023	99038	SOUTHERN LOCK & SECURITY	SECURITY SERVICES	1,495.51
4/10/2023	98534	SOUTHERN LOCK AND SECURITY	SECURITY SERVICES	45.25
4/10/2023	98561	SOUTHERN MACHINING & MAINTENANCE	PLANT MAINTENANCE SERVICES	294.84
4/10/2023	98501	SOUTHWEST TYRE SERVICE	PLANT TYRE SUPPLIER / REPAIRER	3,834.00
31/10/2023	99020	SOUTHWEST TYRE SERVICE	PLANT TYRE SUPPLIER / REPAIRER	7,428.00



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		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
19/10/2023	98672	SPORTFIRST BUSSELTON	SPORTING PRODUCTS	60.01
4/10/2023	98563	SPORTS TURF TECHNOLOGY	SPORT EQUIPMENT SUPPLIER	5,434.00
4/10/2023	98525	SPORTSMARINE BOAT CENTRE	BOATING AND MARINE SUPPLIES	110.00
19/10/2023	98712	SPORTSPOWER	SPORT EQUIPMENT SUPPLIER	125.00
19/10/2023	98866	SPORTSWORLD OF WA	SPORT EQUIPMENT SUPPLIER	1,181.40
31/10/2023	99062	SPORTSWORLD OF WA	SPORT EQUIPMENT SUPPLIER	1,494.90
19/10/2023	98828	SPOTLIGHT	VACATION CARE SUPPLIES	149.00
4/10/2023	98528	SPOTLIGHT PTY LTD	VACATION CARE SUPPLIES	498.40
19/10/2023	98676	SPRAYMOW SERVICES	MAINTENANCE SERVICES	4,786.12
31/10/2023	98941	SPRAYMOW SERVICES	MAINTENANCE SERVICES	7,387.61
11/10/2023	98614	ST GEORGE'S ANGLICAN CHURCH	MINOR DONATION	1,000.00
19/10/2023	98856	ST MARY'S ANGLICAN CHURCH	DONATION	1,000.00
19/10/2023	98737	STANTEC AUSTRALIA PTY LTD	ENGINEERING SERVICES	1,650.00
31/10/2023	99000	STATEWIDE DOORS	MAINTENANCE SERVICES	1,980.00
19/10/2023	98785	STATEWIDE DOORS BUSSELTON	MAINTENANCE SERVICES	660.00
19/10/2023	98826	STEWART & HEATON CLOTHING CO PTY LTD	PROTECTIVE CLOTHING SUPPLIER	1,128.61
31/10/2023	99034	STEWART & HEATON CLOTHING CO PTY LTD	PROTECTIVE CLOTHING SUPPLIER	871.74
4/10/2023	98574	STRATAGREEN	NURSERY SUPPLIES	3,949.25
5/10/2023	98598	SUPERCHOICE	SUPERANNUATION	199,750.97
19/10/2023	98893	SUPERCHOICE	SUPERANNUATION	202,260.72
2/11/2023	99086	SUPERCHOICE	SUPERANNUATION	198,955.08
4/10/2023	98572	SURVCON PTY LTD	SURVEY SERVICES	690.80
19/10/2023	98819	SUSAN GRAF	ART SALES	256.00
19/10/2023	98768	SUZANNE FITZGERALD	RATE REFUND	500.00
4/10/2023	98544	SW PRECISION PRINT	PRINTING SERVICES	22.00
4/10/2023	98437	SWEET & UNIQUE (WA) PTY LTD	CONFECTIONERY	367.96
19/10/2023	98708	SWEET & UNIQUE (WA) PTY LTD T/AS LUV A LOLLY	CONFECTIONERY	231.83
31/10/2023	98961	SWEET & UNIQUE (WA) PTY LTD T/AS LUV A LOLLY	CONFECTIONERY	463.66
4/10/2023	98451	SYNERGY	ELECTRICITY SUPPLIES	5,429.80
11/10/2023	98607	SYNERGY	ELECTRICITY SUPPLIES	879.09
19/10/2023	98719	SYNERGY	ELECTRICITY SUPPLIES	31,341.87
19/10/2023	98769	TAMMIE LEE PRICE	RATE REFUND	1,200.00
19/10/2023	98775	TANIKA DUNLOP	MINOR DONATION	500.00
4/10/2023	98374	TARVIA PTY LTD	ENGINEERING SERVICES	1,265.00
19/10/2023	98787	TEAM GLOBAL EXPRESS	COURIER SERVICES	96.02
19/10/2023	98733	TECH WINDOW GAVIN KENNETH BARNES t/as	IT SUPPORT AND RETAIL SALES	72.45
19/10/2023	98861	TECHNOLOGY ONE LIMITED	SOFTWARE SERVICES	4,312.00
4/10/2023	98509	TELSTRA LIMITED	COMMUNICATION SERVICES	11,091.29
19/10/2023	98809	TELSTRA LIMITED	COMMUNICATION SERVICES	55.00
31/10/2023	99025	TELSTRA LIMITED	COMMUNICATION SERVICES	6,468.94
4/10/2023	98436	THE GOOD EGG CAFE	VENUE HIRE AND CATERING	47.60
4/10/2023	98505	THE MARGARET RIVER NATURAL SPRING WATER	BOTTLED WATER	508.00
31/10/2023	99023	THE MARGARET RIVER NATURAL SPRING WATER	BOTTLED WATER	119.00
4/10/2023	98411	THE PLANT SUPPLY CO	NURSERY SERVICES	2,687.80
4/10/2023	98486	THE RECOVRE GROUP PTY LTD	CONSULTING SERVICES	462.00
19/10/2023	98756	THE SUGAR CHEF PATISSERIE	CATERING	177.00
4/10/2023	98425	THE WHITTY TRUST	CATERING	70.00
4/10/2023	98456	THINK WATER DUNSBOROUGH	RETICULATION SERVICES	3,437.02
19/10/2023	98726	THINK WATER DUNSBOROUGH	RETICULATION SERVICES	915.34
31/10/2023	98982	THINK WATER DUNSBOROUGH	RETICULATION SERVICES	14,862.32
4/10/2023	98457	THOMAS ECKERT	CARPENTRY WORK	2,508.00
19/10/2023	98728	THOMAS ECKERT	CARPENTRY WORK	4,554.00
19/10/2023	98875	THOMAS MAZEY	ART SALES	59.50
31/10/2023	98949	THREE CONSULTING PTY LTD	AIRLINE ENGAGEMENT CONSULTANT	8,250.00
4/10/2023	98462	TIACS PTY LTD	WORK WEAR PPE	4,116.10
4/10/2023	98520	TILL SPIELHOFF	VIDEO PRODUCTION	605.00
4/10/2023	98522	TIM WILSON	CARPENTRY SERVICES - FORESHORE SHIP TIMBER WORKS & BSN DEPOT WINDOWS	15,142.44
19/10/2023	98821	TIM WILSON	CARPENTRY SERVICES	500.00
4/10/2023	98394	TONIA KILIAN	STAFF REIMBURSEMENT	77.35
11/10/2023	98602	TONIA KILIAN	STAFF REIMBURSEMENT	77.35
31/10/2023	98929	TONIA KILIAN	STAFF REIMBURSEMENT	77.35
31/10/2023	98914	TOTAL GREEN RECYCLING	RECYCLING E-WASTE SERVICES	1,742.84
4/10/2023	98576	TOTAL HORTICULTURAL SERVICES	LANDSCAPING SERVICES	13,541.54
31/10/2023	99069	TOTAL HORTICULTURAL SERVICES	LANDSCAPING SERVICES	14,611.31
31/10/2023	98973	TOTAL TOOLS	TOOL PURCHASES	572.91
4/10/2023	98587	T-QUIP	MOWER PARTS & SERVICE	1,734.60
19/10/2023	98883	T-QUIP	MOWER PARTS & SERVICE	674.30
31/10/2023	99075	T-QUIP	MOWER PARTS & SERVICE	1,311.85
19/10/2023	98872	TRADE HIRE	PLANT HIRE & EQUIPMENT SERVICES	1,708.25
31/10/2023	99070	TRADE HIRE	PLANT HIRE & EQUIPMENT SERVICES	1,048.00
4/10/2023	98404	TROPHIES ON TIME	NAME BADGE SUPPLIER	120.00
19/10/2023	98772	TROY BENNET	MINOR DONATION	500.00
4/10/2023	98421	TRUCK CENTRE (WA) PTY LTD	NEW VEHICLE PARTS & SERVICE	20,058.20
19/10/2023	98692	TRUCK CENTRE (WA) PTY LTD	NEW VEHICLE PARTS & SERVICE	382.68
31/10/2023	98952	TRUCK CENTRE (WA) PTY LTD	NEW VEHICLE PARTS & SERVICE	1,195.50
19/10/2023	98731	TRUCKLINE	PLANT PURCHASES / SERVICES / PARTS	143.67
19/10/2023	98784	TUDOR HOUSE	FLAGS	3,157.00
4/10/2023	98566	TYREPOWER BUSSELTON	PLANT TYRE SUPPLIER / REPAIRER	935.00
19/10/2023	98691	UNDALUP ASSOCIATION INC	CANVAS SIGNS	770.00
4/10/2023	98521	UNICORN GROUP AUSTRALIA PTY LTD	SUPPLY AND FIT ALUMINIUM TRAY BODIES	2,305.00
4/10/2023	98494	UNITING GLOBAL PTY LTD	CLEANING AND MAINTENANCE SERVICES	78,172.14
19/10/2023	98799	UNITING GLOBAL PTY LTD	CLEANING AND MAINTENANCE SERVICES	1,936.00
4/10/2023	98580	VASSE DISTRICT COMMUNITY CENTRE	COMMUNITY BID	3,500.00
4/10/2023	98512	VASSE PANEL PAINT	PANEL BEATING AND SPRAY PAINTING	1,000.00
31/10/2023	98971	VECTORWORKS AUSTRALIA PTY LTD	SOFTWARE SUPPLY AND MAINTENANCE	1,173.70
4/10/2023	98473	VISIMAX	FIRE EQUIPMENT SUPPLIER	264.51



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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
31/10/2023	99030	VIVA ENERGY AUSTRALIA (SHELL)	FUELS, OILS AND GREASES	85,330.60
19/10/2023	98863	VMS CONTRACTORS & MANAGEMENT	MAINTENANCE SERVICES	11,410.30
4/10/2023	98564	VMS CONTRACTORS	TRANSFER SEPTAGE DUNSBOROUGH TO WATER CORPORATION	38,695.80
19/10/2023	98657	VORGE PTY LTD	GYM GOODS	2,013.00
31/10/2023	99049	W.A. HINO SALES & SERVICE	PLANT PURCHASES / SERVICES / PARTS	109.85
4/10/2023	98568	WA RANGERS ASSOCIATION	MEMBERSHIP FEES	140.00
19/10/2023	98854	WA TREASURY CORPORATION	LOAN REPAYMENTS	520,340.95
4/10/2023	98372	WALGA	WALGA TRAINING SERVICES	1,089.00
25/10/2023	98894	WALGA	WALGA TRAINING SERVICES	42,414.56
31/10/2023	98912	WALGA	WALGA TRAINING SERVICES	984.00
4/10/2023	98506	WAYNE FREER	MUSICAL DIRECTORS SERVICES	1,500.00
31/10/2023	98968	WE ARE FEEL GOOD AUSTRALIA PTY LTD	SUNSCREEN	2,244.00
4/10/2023	98546	WESFARMERS - BLACKWOODS	FLEET CONSUMABLES & MAINTENANCE PARTS	259.56
31/10/2023	99029	WEST OZ LINEMARKING PTY LTD	LINE MARKING SERVICES	385.00
31/10/2023	98978	WESTBOOKS	LIBRARY RESOURCES	74.18
19/10/2023	98702	WESTERN AUSTRALIAN REGIONAL CAPITALS ALLIANCE INCORPORATED	ANNUAL MEMBERSHIP	1,500.00
19/10/2023	98745	WESTERN GROWERS FRESH	CATERING	635.00
31/10/2023	98986	WESTERN GROWERS FRESH	CATERING	691.00
4/10/2023	98407	WESTERN IRRIGATION PTY LTD	BORE AND IRRIGATION SERVICES	3,850.00
19/10/2023	98847	WESTRAC EQUIPMENT P/L	PLANT PURCHASES / SERVICES / PARTS	1,314.30
31/10/2023	99048	WESTRAC EQUIPMENT P/L	PLANT PURCHASES / SERVICES / PARTS	4,488.40
4/10/2023	98550	WESTRAC P/L	PLANT PURCHASES / SERVICES / PARTS	3,274.18
4/10/2023	98492	WESTSIDE TILT TRAY SERVICE	ABANDONED CAR REMOVAL	110.00
4/10/2023	98508	WHS CONSULTANTS PTY LTD	HEALTH AND SAFETY CONSULTANCY SERVICES	3,765.00
31/10/2023	99024	WHS CONSULTANTS PTY LTD	HEALTH AND SAFETY CONSULTANCY SERVICES	1,100.00
19/10/2023	98705	WIN MCGILL	ART SALES	34.50
4/10/2023	98541	WINC AUSTRALIA PTY LTD	STATIONERY SUPPLIER	212.29
19/10/2023	98838	WINC AUSTRALIA PTY LTD	STATIONERY SUPPLIER	119.66
31/10/2023	99043	WINC AUSTRALIA PTY LTD	STATIONERY SUPPLIER	368.98
4/10/2023	98382	WIZID PTY LTD	POOL ENTRY WRISTBANDS	490.20
4/10/2023	98388	WOODLANDS DISTRIBUTORS & AGENCIES PTY LT	STREETSCAPE FURNITURE	8,702.76
31/10/2023	99016	WOOLWORTHS GROUP LIMITED	GROCERIES	570.97
4/10/2023	98554	WORK CLOBBER	PROTECTIVE CLOTHING SUPPLIER	2,105.00
19/10/2023	98849	WORK CLOBBER	PROTECTIVE CLOTHING SUPPLIER	3,564.00
31/10/2023	99052	WORK CLOBBER	PROTECTIVE CLOTHING SUPPLIER	2,935.00
4/10/2023	98513	WORKPOWER INCORPORATED	WASTE MANAGEMENT AND RECYCLING ACTIVITIES	2,195.60
19/10/2023	98814	WORKPOWER INCORPORATED	WASTE MANAGEMENT AND RECYCLING ACTIVITIES	165.00
19/10/2023	98703	WOW WIPES	GYM ANTIBACTERIAL WIPES	1,264.45
31/10/2023	99061	WREN OIL	WASTE OIL SERVICES	16.50
4/10/2023	98560	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)	COUNCIL & STAFF REFRESHMENTS	<b>1,303.81</b>
		BUSSETON LIBRARY - CARD #9186	FOOD AND BEVERAGE SUPPLIES	216.75
		DEPOT - CARD #3634	FOOD AND BEVERAGE SUPPLIES	78.99
		GLC - CARD #9902	FOOD AND BEVERAGE SUPPLIES	107.60
		GLC - CARD #1557	FOOD AND BEVERAGE SUPPLIES	120.42
		GLC - CARD #8639	FOOD AND BEVERAGE SUPPLIES	159.75
		GLC - CARD #9902	FOOD AND BEVERAGE SUPPLIES	112.43
		GLC - CARD #9902	FOOD AND BEVERAGE SUPPLIES	11.80
		GLC - CARD #9902	FOOD AND BEVERAGE SUPPLIES	175.34
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	107.58
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	11.00
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	84.64
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	76.31
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	41.20
25/10/2023	98910	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)	COUNCIL & STAFF REFRESHMENTS	<b>491.18</b>
		ARTGEO - CARD #4115	FOOD AND BEVERAGE SUPPLIES	14.90
		GLC - CARD #1557	FOOD AND BEVERAGE SUPPLIES	14.00
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	289.97
		YOUTH SERVICES - CARD #8748	FOOD AND BEVERAGE SUPPLIES	11.20
		YOUTH SERVICES - CARD #6255	FOOD AND BEVERAGE SUPPLIES	88.73
		YOUTH SERVICES - CARD #9827	FOOD AND BEVERAGE SUPPLIES	72.38
31/10/2023	99056	WRIGHT EXPRESS AUSTRALIA PTY LTD (COLES)	COUNCIL & STAFF REFRESHMENTS	<b>281.50</b>
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	115.10
		GLC - CARD #8369	FOOD AND BEVERAGE SUPPLIES	82.00
		YOUTH SERVICES - CARD #9827	FOOD AND BEVERAGE SUPPLIES	84.40
4/10/2023	98410	YAHAVA KOFFEE WORKS WHOLESALE	CATERING	419.50
19/10/2023	98677	YAHAVA KOFFEE WORKS WHOLESALE	CATERING	402.40
4/10/2023	98551	YALLINGUP COASTAL VOLUNTEER BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	346.65
31/10/2023	99050	YALLINGUP COASTAL VOLUNTEER BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	72.45
4/10/2023	98552	YALLINGUP RURAL BUSHFIRE BRIGADE	PETTY CASH REIMBURSEMENT	434.75
4/10/2023	98523	YARN CORPORATE	PROMOTIONAL MERCHANDISE - CORPORATE POLO SHIRTS	15,812.50
19/10/2023	98870	YOONGARILLUP VOLUNTEER BUSHFIRE BRIGADE INC	PETTY CASH REIMBURSEMENT	250.00
				<b>8,041,359.80</b>
			Plus payments under separate confidential listing:	<b>1,290,000.00</b>
			Total EFT Payments for the month:	<b>9,331,359.80</b>

TRUST PAYMENTS OCTOBER 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
12/10/2023	14	BUILDING & CONSTRUCTION INDUSTRY TRAINING	CTF LEVY	1,206.94
12/10/2023	13	BUNBURY TRANSPORTABLE SHADE SHELTERS	REFUND OF BSL	61.65
12/10/2023	12	CITY OF BUSSETON - EFT	INTERNAL PAYMENTS / COMMISSIONS	496.25
12/10/2023	11	DEPARTMENT OF MINES, INDUSTRY REGULATION	BUILDING SERVICES LEVY	28,185.79
				<b>29,950.63</b>
INTERNAL PAYMENT VOUCHERS (DIRECT DEBITS) OCTOBER 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
2/10/2023	5468	A INGHAM	REFUND OF RATE OVERPAYMENT	1,702.50





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		<b>CHEQUE PAYMENTS</b>	119786 - 119798	6,633.15
		<b>ELECTRONIC TRANSFER PAYMENTS</b>	98370 - 99086	9,331,359.80
		<b>TRUST ACCOUNT</b>	EFT# TR000011 - TR000014	29,950.63
		<b>PAYROLL</b>	01.10.2023 - 31.10.2023	2,732,515.48
		<b>INTERNAL PAYMENT VOUCHERS</b>	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
7/10/2023	5493	AMPOL	FUEL SERVICES	90.00
7/10/2023	5465	AMPOL	FUEL SERVICES	28,891.50
		ADMINISTRATION - BSNCTY1 - CARD #1840	UNLEADED AND PREMIUM UNLEADED ONLY	223.87
		ADMINISTRATION - BSN1 - CARD #3410	UNLEADED ONLY	97.60
		AIRPORT OPERATIONS - BSN16AV - CARD #7320	PREMIUM DIESEL ONLY	209.66
		AIRPORT OPERATIONS - BSN30BT - CARD #8470	PREMIUM DIESEL ONLY	372.90
		AIRPORT OPERATIONS - BSN55DJ - CARD #3310	PREMIUM DIESEL ONLY	-
		AIRPORT SMALL PLANT - CARD #1640	UNLEADED ONLY	-
		CEO - BSN66DG - CARD #8430	PREMIUM DIESEL ONLY	362.55
		COMMUNITY & COMMERCIAL SERVICES - BSN22AO - CARD #3030	UNLEADED ONLY	247.76
		COMMUNITY & COMMERCIAL SERVICES - BSN254L - CARD #9760	PREMIUM DIESEL ONLY	32.52
		COMMUNITY & COMMERCIAL SERVICES - BSN26CM - CARD #0920	UNLEADED ONLY	497.84
		COMMUNITY & COMMERCIAL SERVICES - BSN28AU - CARD #2011	UNLEADED ONLY	595.18
		COMMUNITY & COMMERCIAL SERVICES - BSN45CT - CARD #8880	PREMIUM DIESEL ONLY	125.68
		COMMUNITY & COMMERCIAL SERVICES - BSN45DA - CARD #7520	UNLEADED ONLY	477.79
		COMMUNITY & COMMERCIAL SERVICES - BSN53BK - CARD #3520	UNLEADED ONLY	153.20
		COMMUNITY & COMMERCIAL SERVICES - BSN57AV - CARD #9790	UNLEADED ONLY	113.58
		ENGINEERING/FACILITIES - BSN47CT - CARD #8930	PREMIUM DIESEL ONLY	471.19
		ENGINEERING/FACILITIES - BSN23AM - CARD #3500	PREMIUM DIESEL ONLY	565.67
		ENGINEERING/FACILITIES - BSN28CO - CARD #0500	PREMIUM DIESEL ONLY	627.88
		ENGINEERING/FACILITIES - BSN97CY - CARD #2450	PREMIUM DIESEL ONLY	388.13
		ENGINEERING/FACILITIES - BSN05BH - CARD #1180	PREMIUM DIESEL ONLY	130.91
		ENGINEERING/FACILITIES - BSN07BL - CARD #7150	PREMIUM DIESEL ONLY	293.65
		ENGINEERING/FACILITIES - BSN1625 - CARD #1130	PREMIUM DIESEL ONLY	114.53
		ENGINEERING/FACILITIES - BSN24BA - CARD #0270	PREMIUM DIESEL ONLY	278.75
		ENGINEERING/FACILITIES - BSN41AS - CARD #1700	PREMIUM DIESEL ONLY	763.21
		ENGINEERING/FACILITIES - BSN42AS - CARD #1720	PREMIUM DIESEL ONLY	243.58
		ENGINEERING/FACILITIES - BSN41CF - CARD #1790	PREMIUM DIESEL ONLY	121.37
		ENGINEERING/FACILITIES - BSN47BE - CARD #1660	UNLEADED ONLY	356.05
		ENGINEERING/FACILITIES - BSN47CM - CARD #0080	UNLEADED ONLY	113.67
		ENGINEERING/FACILITIES - BSN48CM - CARD #0160	UNLEADED ONLY	354.12
		ENGINEERING/FACILITIES - BSN54BG - CARD #0700	UNLEADED ONLY	245.13
		ENGINEERING/FACILITIES - BSN693T - CARD #5750	PREMIUM DIESEL ONLY	469.93
		ENGINEERING/FACILITIES - BSN89CY - CARD #2050	UNLEADED ONLY	432.45
		FINANCE/IT SERVICES - BSN20BL - CARD #5770	PREMIUM DIESEL ONLY	291.42
		FINANCE/IT SERVICES - BSN21BA - CARD #1140	UNLEADED ONLY	534.04
		FINANCE/IT SERVICES - BSN56CY - CARD #9210	PREMIUM DIESEL ONLY	692.08
		FINANCE/IT SERVICES - BSN75BL - CARD #2440	UNLEADED ONLY	433.17
		FINANCE/IT SERVICES - BSN75DI - CARD #1200	UNLEADED ONLY	76.50
		FINANCE/IT SERVICES - BSN82BT - CARD #3060	PREMIUM DIESEL AND DIESEL ONLY	562.46
		FLEET MANAGEMENT - BSN74AE - CARD #1820	PREMIUM DIESEL ONLY	386.53
		FLEET MANAGEMENT - CARD #6630	UNLEADED ONLY	426.73
		FLEET MANAGEMENT - BSN91CR - CARD #8890	PREMIUM UNLEADED ONLY	213.07
		GENERAL CONSTRUCTION - BSN12AH - CARD #0140	UNLEADED ONLY	467.38
		GENERAL CONSTRUCTION - BSN68BE - CARD #5580	PREMIUM DIESEL ONLY	553.40
		GENERAL CONSTRUCTION - BSN473A - CARD #3490	UNLEADED ONLY	93.92
		GENERAL CONSTRUCTION - BSN75BA - CARD #3170	PREMIUM DIESEL ONLY	472.08
		GENERAL CONSTRUCTION - BSN12AH - CARD #0140	UNLEADED ONLY	204.63
		PARKS, GARDENS & RESERVES - BSN02DG - CARD #8130	PREMIUM DIESEL ONLY	143.03
		PARKS, GARDENS & RESERVES - BSN09AV - CARD #4200	PREMIUM DIESEL ONLY	25.32
		PARKS, GARDENS & RESERVES - BSN0225 - CARD #7030	PREMIUM DIESEL ONLY	133.10
		PARKS, GARDENS & RESERVES - BSN17AY - CARD #4340	PREMIUM DIESEL ONLY	138.05
		PARKS, GARDENS & RESERVES - BSN18AY - CARD #5950	PREMIUM DIESEL ONLY	261.10
		PARKS, GARDENS & RESERVES - BSN32CJ - CARD #5760	PREMIUM DIESEL ONLY	278.08
		PARKS, GARDENS & RESERVES - BSN353S - CARD #2760	PREMIUM DIESEL ONLY	-
		PARKS, GARDENS & RESERVES - BSN51AU - CARD #3080	PREMIUM DIESEL ONLY	905.45
		PARKS, GARDENS & RESERVES - BSN614Q - CARD #4550	PREMIUM DIESEL ONLY	400.94
		PARKS, GARDENS & RESERVES - BSN61BF - CARD #3370	PREMIUM DIESEL ONLY	275.93
		PARKS, GARDENS & RESERVES - BSN64BC - CARD #8490	PREMIUM DIESEL ONLY	288.61
		PARKS, GARDENS & RESERVES - BSN694T - CARD #7990	PREMIUM DIESEL ONLY	250.47
		PARKS, GARDENS & RESERVES - BSN762T - CARD #7240	PREMIUM DIESEL ONLY	254.07
		PARKS, GARDENS & RESERVES - BSN77BC - CARD #8160	PREMIUM DIESEL ONLY	375.54
		PARKS, GARDENS & RESERVES - BSN86BX - CARD #2930	PREMIUM DIESEL ONLY	420.91
		PARKS, GARDENS & RESERVES - BSN87AV - CARD #7840	PREMIUM DIESEL ONLY	380.98
		PARKS, GARDENS & RESERVES - BSN993T - CARD #5120	PREMIUM DIESEL ONLY	139.83
		PARKS, GARDENS & RESERVES - LAWNMOWER - CARD #0240	UNLEADED ONLY	84.01
		PARKS, GARDENS & RESERVES - TRACTOR - CARD #4150	UNLEADED ONLY	112.86
		PLANNING & BUILDING - BSN00CK - CARD #1440	UNLEADED ONLY	449.67
		PLANNING & BUILDING - BSN01BE - CARD #8790	UNLEADED ONLY	385.74
		PLANNING & BUILDING - BSN08AO - CARD #5830	UNLEADED ONLY	182.60
		PLANNING & BUILDING - BSN20AO - CARD #2970	UNLEADED ONLY	-
		PLANNING & BUILDING - BSN53BG - CARD #0410	UNLEADED ONLY	447.97
		PLANNING & BUILDING - BSN56BX - CARD #2130	PREMIUM UNLEADED ONLY	175.33
		PLANNING & BUILDING - BSN61BG - CARD #0770	UNLEADED ONLY	506.44
		PROPERTY & LEGAL SERVICES - BSN64CT - CARD #7040	UNLEADED ONLY	245.76
		PROPERTY & LEGAL SERVICES - BSN75DG - CARD #7700	UNLEADED ONLY	299.16
		RANGER & FIRE SERVICES - BSN76BC - CARD #5760	PREMIUM DIESEL ONLY	666.14
		RANGER & FIRE SERVICES - BSN91BO - CARD #9320	PREMIUM DIESEL ONLY	110.21
		RANGER & FIRE SERVICES - BSN27CW - CARD #5400	PREMIUM DIESEL ONLY	634.47
		RANGER & FIRE SERVICES - 1CR2008 - CARD #8300	DIESEL ONLY	312.15
		RANGER & FIRE SERVICES - 1GHF683 - CARD #0360	PREMIUM DIESEL ONLY	201.66
		RANGER & FIRE SERVICES - 1EIO341 - CARD #4400	DIESEL ONLY	79.60
		RANGER & FIRE SERVICES - 1DON317 - CARD #5030	PREMIUM DIESEL	110.86
		RANGER & FIRE SERVICES - BSN01AO - CARD #5220	UNLEADED ONLY	302.56
		RANGER & FIRE SERVICES - BSN708Z - CARD #6100	PREMIUM DIESEL ONLY	275.78
		RANGER & FIRE SERVICES - 1GDT881 - CARD #6470	DIESEL ONLY	173.80





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		CHEQUE PAYMENTS	119786 - 119798	6,633.15
		ELECTRONIC TRANSFER PAYMENTS	98370 - 99086	9,331,359.80
		TRUST ACCOUNT	EFT# TR000011 - TR000014	29,950.63
		PAYROLL	01.10.2023 - 31.10.2023	2,732,515.48
		INTERNAL PAYMENT VOUCHERS	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
		RANGER & FIRE SERVICES - 1CVD571 - CARD #5000	PREMIUM DIESEL ONLY	407.96
		RANGER & FIRE SERVICES - BSN75BC - CARD #5750	PREMIUM DIESEL ONLY	800.06
		RANGER & FIRE SERVICES - BSN90BO - CARD #9300	PREMIUM DIESEL ONLY	199.98
		REGULATORY SERVICES - BSN25CM - CARD # 4830	UNLEADED ONLY	176.16
		REGULATORY SERVICES - BSN82AU - CARD #3470	PREMIUM DIESEL ONLY	136.77
		REGULATORY SERVICES - BSN91DA - CARD #1680	PREMIUM DIESEL ONLY	129.58
		REGULATORY SERVICES - BSN97BT - CARD #1690	UNLEADED ONLY	404.40
		WASTE SERVICES - 1GUG884 - CARD #6770	UNLEADED ONLY	68.62
		WASTE SERVICES - BSN09AQ - CARD #1300	PREMIUM DIESEL ONLY	200.21
		WASTE SERVICES - BSN34BG - CARD #3370	PREMIUM DIESEL ONLY	595.95
		WASTE SERVICES - BSN85CC - CARD #3630	PREMIUM DIESEL ONLY	90.94
		WASTE SERVICES - BSN15AK - CARD #6280	UNLEADED ONLY	364.93
2/10/2023	5461	ANZ BANK	BANK FEES	40,118.44
2/10/2023	5471	ANZ BANK	BANK FEES	15.75
5/10/2023	5483	ANZ BANK	BANK FEES	9,799.86
5/10/2023	5484	ANZ BANK	BANK FEES	252.12
5/10/2023	5485	ANZ BANK	BANK FEES	532.88
5/10/2023	5486	ANZ BANK	BANK FEES	870.05
9/10/2023	5499	ANZ BANK	CREDIT CARD	<b>20,462.58</b>
CEO		ALEX HOTEL PERTH	CEO ACCOMMODATION - RCAWA MEETING-24/08/23	288.00
		ALEX HOTEL PERTH	POSTAGE FEE FOR IPHONE CHARGER-CEO	20.00
		BAKED. BUSSELTON	CATERING FOR AIRPORT FAMIL WITH CONSULTANT	57.20
		CPP ROE STREET NORTHBRIDGE	PARKING - RCAWA MEETING	22.21
		CROWN PROMENADE PERTH	TRAINING ACCOMMODATION- WATERWISE EXPO- IRRIGATION TEAM	1,990.00
		CROWN PROMENADE PERTH	WALGA LG CONVENTION-MAYOR HENLEY	570.00
		CROWN PROMENADE PERTH	WALGA LG CONVENTION-MAYOR HENLEY	258.18
		CROWN PROMENADE PERTH	WALGA LG CONVENTION-CEO	285.00
		MAILCHIMP	ELECTRONIC NEWSLETTER PR	385.30
		ONE RUSTIC BLOOM	FLOWERS FOR GOVENOR GENERAL VISIT	539.00
		SHELTER BREWING CO	MEETING WITH MINISTER TEMPLEMAN	20.00
		SJ LIQUOR HOLDINGS P WEST BUSSELTO	GIFT FOR GOVERNOR GENERAL - WELCOME PACK	52.99
		UBER *TRIP	TRANSPORT BETWEEN HOTEL AND RCAWA DINNER 24/08/23	10.00
		UBER *TRIP	TRANSPORT BETWEEN HOTEL AND RCAWA DINNER 24/08/23- CANCELLATION FEE	8.86
		WEST AUSTRALIAN	DIGITAL SUBSCRIPTION	28.00
		WESTERN GROWERS	GIFT FOR GOVENOR GENERAL VISIT	30.25
		COMMUNITY & RECREATION SERVICES MANAGER		
		COLES VASSE	CATERING FOR BRIGADE TRAINING	161.10
		ECONOMIC & BUSINESS DEVELOPMENT DIRECTOR		
		ROTTNEST CHANNEL SWIM	VIRTUAL SWIM PACK -GLC	300.00
		INFRASTRUCTURE & ENVIRONMENT DIRECTOR		
		ANACONDA	STAFF FAREWELL GIFTCARD	50.00
		COLES	STAFF FAREWELL MORNING TEA	82.65
		EVENT AND CONFERENCE CO	WASTE & RECYCLING CONFERENCE	747.04
		FACEBOOK	SOCIAL MEDIA ADS- YOUTH INDOOR SKATE EVENT	7.77
		KARRATHA CENTRAL APART KARRATHA	ACCOMMODATION- ECONOMIC DEVELOPMENT CONFERENCE	546.21
		MAILCHIMP	ARTGEO NEWSLETTER AND MARKETING	110.74
		MRBTA VISITORS CENTRE	GIFT FOR GOVERNOR GENERAL - WELCOME PACK	13.95
		NOVOTEL MURRAY ST	TRAINING ACCOMMODATION & BREAKFAST	607.95
		QUEST EAST PERTH	TRAINING ACCOMMODATION & BREAKFAST	463.91
		RED DOT	PHOTO FRAME FOR CHORAL SOCIETY 70 YEAR ANNIVERSARY	37.98
		SOFAF OCEAN	SUBSCRIPTION OF THE SOFAR ABBEY	1,633.73
		SOFAF OCEAN	SUBSCRIPTION OF THE SOFAR DUNSBOROUGH	1,630.65
		THE REJECT SHOP	STAFF FAREWELL CARD	4.00
		WA GOVERNMENT - DMIRS CANNINGTON	REGISTRATION OF ITEM OF PLANT	691.00
		WA GOVERNMENT - DMIRS CANNINGTON	REGISTRATION OF ITEM OF PLANT	691.00
		CORPORATE STRATEGY & PERFORMANCE DIRECTOR		
		ACCA BRUNSWICK	AUSTRALASIAN CEMETERIES & CREMATORIA ASSOCIATION (ACCA) CONFERENCE	1,395.00
		AUSTRALIAN FINANCIAL SECURITY AUTHORITY	BANKRUPTCY REGISTER SEARCH	15.00
		MAILCHIMP	ECONOMIC AND BUSINESS DEVELOPMENT NEWSLETTER	42.83
		THE FLOWER PLACE BUSSELTON	FLOWERS FOR THE BUSSELTON CHORAL SOCIETY	65.00
		TRYBOOKING	REFUND FOR CANCELLED COURSE	150.00
		HUMAN RESOURCES & WHS CO-ORDINATOR		
		APEX HOLDINGS WA ASCOT	ACCOMODATION	622.07
		CORAL TREE INN CAIRNS	ACCOMMODATION- PERFORMING ARTS EXCHANGE CAIRNS	907.10
		DOUBLE TREE PERTH	TRAINING ACCOMMODATION	534.33
		HOUSE ON LINE	INSULATED CARAFE'S FOR FUNCTIONS AND COUNCIL CHAMBERS	215.96
		MAILCHIMP	ELECTRONIC NEWLETTER BUSSELTON LIBRARY	123.44
		SENDGRID	EMAIL PROGRAM FOR CUSTOMER RETENTION AND CONTACT-GLC	32.33
		SPOTIFY	YOUTH SERVICE MUSIC	20.99
		YOURMEMBERSHIP/HOOPLA	JOB ADVERT THROUGH IPWEA-FLEET COORDINATOR	385.22
		SYSTEMS & INFORMATION MANAGER		
		ALIEXPRESS	PORTABLE SCREEN	354.23
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	44.99
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	181.45
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	110.25
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	68.19
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	59.98
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	7.99
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	659.80
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	192.27



LISTING OF PAYMENTS MADE  
UNDER DELEGATED AUTHORITY  
FOR THE MONTH OF OCTOBER 2023

		CHEQUE PAYMENTS	119786 - 119798	6,633.15
		ELECTRONIC TRANSFER PAYMENTS	98370 - 99086	9,331,359.80
		TRUST ACCOUNT	EFT# TR000011 - TR000014	29,950.63
		PAYROLL	01.10.2023 - 31.10.2023	2,732,515.48
		INTERNAL PAYMENT VOUCHERS	DD #5456 - 5499	391,163.53
				<b>12,491,622.59</b>
		AMAZON MARKETPLACE AU	TECH KIT ITEMS	174.11
		AMAZON MARKETPLACE AU	TECH KIT	65.99
		AMAZON MARKETPLACE AU	CABLES/USB CHARGERS	60.88
		CRAZYDOMAINSHOSTING	DOMAIN RENEWAL - KOOKABURRA CARAVAN PARK	45.30
		DEPUTY	DEPUTY ROSTERING SYSTEM GLC	931.65
		PC GEAR	TECH KIT ITEMS	277.00
		ZOOM	MONTHLY SUBSCRIPTION	69.19
		COMMUNITY PLANNING DIRECTOR		
		CALLOWS	STAFF FAREWELL CARD	14.99
		DYMOCKS BUSSELTON	STAFF FAREWELL GIFT	100.00
		ORANA CINEMAS	STAFF FAREWELL GIFT	52.00
		PHIL HOLLETT GALLERY	STAFF FAREWELL GIFT	100.00
		PHIL HOLLETT GALLERY	STAFF FAREWELL GIFT	100.00
		TERRY WHITE	FIRST AID BOX REPLENISH	12.88
		THE FLOWER PLACE BSN	SYMPATHY FLOWERS	75.00
		THE GOOSE BEACH BAR	STAFF FAREWELL GIFT	50.00
		TRYBOOKING-WALGA	TRAINING-DELIVERING ENVIRONMENTAL OUTCOMES THROUGH THE PLANNING SYSTEM	33.50
		TRYBOOKING-WALGA	TRAINING-DELIVERING ENVIRONMENTAL OUTCOMES THROUGH THE PLANNING SYSTEM	33.50
		TRYBOOKING-WALGA	TRAINING-DELIVERING ENVIRONMENTAL OUTCOMES THROUGH THE PLANNING SYSTEM	33.50
13/10/2023	5466	AUSGLOBAL BUSSELTON	REFUND OF APPLICATION	683.20
2/10/2023	5458	B BLUNDELL	REFUND OF RATE OVERPAYMENT	75.70
18/10/2023	5470	BENCHMARKUE	REFUND OF BOND	376.00
12/10/2023	5460	BLUEBIRD PROPERTY PTY LTD	REFUND OF BOND	100,000.00
12/10/2023	5464	BLUEBIRD PROPERTY PTY LTD	REFUND OF BOND	100,000.00
12/10/2023	5464	BLUEBIRD PROPERTY PTY LTD	REFUND OF BOND	21,375.00
24/10/2023	5490	C KISSELL	REFUND OF APPLICATION	147.00
2/10/2023	5458	C LEE	REFUND OF RATE OVERPAYMENT	64.80
3/10/2023	5472	COMMONWEALTH BANK	BANK FEES	8,194.53
16/10/2023	5487	COMMONWEALTH BANK	BANK FEES	188.38
13/10/2023	5466	CORRIB DEVELOPMENTS	REFUND OF RATE OVERPAYMENT	4,577.14
13/10/2023	5462	CR. MIKAYLA LOVE	SUPERANNUATION	337.70
18/10/2023	5482	D COSGROVE	REFUND OF ANIMAL TRAP BOND	100.00
2/10/2023	5458	E MCPHERSON	REFUND OF RATE OVERPAYMENT	1,788.22
26/10/2023	5495	E YOUNG	REFUND OF RATE OVERPAYMENT	2,735.39
20/10/2023	5488	ENABLE WA	REFUND OF BOND	80.00
19/10/2023	5467	FERMOY HOLDINGS	REFUND OF RATE OVERPAYMENT	93.61
13/10/2023	5466	FIRST NATIONAL REAL ESTATE	REFUND OF RATE OVERPAYMENT	3,124.05
13/10/2023	5466	FIRST NATIONAL REAL ESTATE	REFUND OF RATE OVERPAYMENT	962.41
6/10/2023	5463	FOO SHI HUI	BJTP REFUND	11.00
13/10/2023	5479	G SCADDEN	REFUND OF BOND	100.00
9/10/2023	5457	GEOGRAPHE MARINE RESEARCH	REFUND OF APPLICATION	44.00
4/10/2023	5456	J & S PENN	REFUND OF RATE OVERPAYMENT	19,300.00
4/10/2023	5469	K KLAUS & P EDWARDS	REFUND OF RATE OVERPAYMENT	2,251.74
6/10/2023	5459	K PALLIER	REFUND OF APPLICATION	38.00
6/10/2023	5459	K PALLIER	REFUND OF APPLICATION	268.00
6/10/2023	5475	K WALTER	REFUND OF BOND	100.00
27/10/2023	5496	K WALTER	REFUND OF BOND	100.00
23/10/2023	5489	L GODDARD	REFUND OF RATE OVERPAYMENT	2,447.75
3/10/2023	5473	LES MILLS ASIA PACIFIC	CONTRACT FEES	534.94
3/10/2023	5474	LES MILLS ASIA PACIFIC	CONTRACT FEES	641.93
12/10/2023	5477	M HILLIER	REFUND OF RATE OVERPAYMENT	2,576.57
20/10/2023	5488	MELVILLE SENIOR HIGH SCHOOL	REFUND OF BOND	209.00
20/10/2023	5488	N GUST	REFUND OF BOND	200.00
25/10/2023	5494	N KAPTEIN	REFUND OF BOND	1,000.00
17/10/2023	5480	NINGALOO REEF DREAMING	REFUND OF BOND	2,682.00
25/10/2023	5494	NINGALOO REEF DREAMING	REFUND OF BOND	1,308.00
13/10/2023	5466	P & M COATES	REFUND OF APPLICATION	236.00
25/10/2023	5492	P HAYLEY	REFUND OF BOND	100.00
9/10/2023	5457	PROFESSIONALS BUSSELTON	REFUND OF RATE OVERPAYMENT	368.39
6/10/2023	5459	S & S BARCLAY	REFUND OF RATE OVERPAYMENT	112.34
27/10/2023	5497	SAFE BUSSELTON	REFUND OF APPLICATION	1,000.00
31/10/2023	5498	SMITHS BEACH RESORT	REFUND OF BOND	100.00
12/10/2023	5476	T DAVEY	REFUND OF ANIMAL TRAP BOND	20.00
24/10/2023	5491	T MCNALLY	REFUND OF BOND	100.00
20/10/2023	5488	TANGENT NOMINEES	REFUND OF APPLICATION	1,185.82
20/10/2023	5488	TANGENT NOMINEES	REFUND OF APPLICATION	984.11
2/10/2023	5458	THE TRUST COMPANY AUSTRALIA	REFUND OF APPLICATION	447.50
2/10/2023	5458	THE TRUST COMPANY AUSTRALIA	REFUND OF APPLICATION	162.00
12/10/2023	5478	TJK EVENTS	REFUND OF BOND	591.00
2/10/2023	5458	TORQUE NOMINEES	REFUND OF RATE OVERPAYMENT	2,330.48
4/10/2023	5456	WA SIGN & PRINT	REFUND OF APPLICATION	171.65
17/10/2023	5481	WATER CORPORATION	REFUND OF APPLICATION	100.00
2/10/2023	5458	YOUNGMAC LTD	REFUND OF RATE OVERPAYMENT	1,702.50
				<b>391,163.53</b>
PAYROLL PAYMENTS OCTOBER 2023				
DATE	REF #	NAME	DESCRIPTION	AMOUNT \$
3/10/2023	3/10/2023	CITY OF BUSSELTON	PAYROLL & SALARIES	916,407.43
17/10/2023	17/10/2023	CITY OF BUSSELTON	PAYROLL & SALARIES	910,613.67
31/10/2023	31/10/2023	CITY OF BUSSELTON	PAYROLL & SALARIES	905,494.38
				<b>2,732,515.48</b>

## **Lot 7 Forrest Beach Road Wonnerup Structure Plan (WAPC Ref SPN 2231)**

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

This structure plan is prepared under the provisions of the City of Busselton Local Planning Scheme 21.

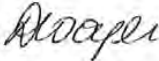
IT IS CERTIFIED THAT THIS STRUCTURE PLAN WAS APPROVED BY RESOLUTION OF THE WESTERN AUSTRALIAN PLANNING COMMISSION ON:

9 September 2020



Signed for and on behalf of the Western Australian Planning Commission:

An officer of the Commission duly authorised by the Commission pursuant to section 16 of the Planning and Development Act 2005 for that purpose, in the presence of:



Witness

9 September 2020

Date

9 September 2030

Date Expiry

## Table of Amendments

Amendment No.	Summary of the Amendment	Amendment Type	Date approved by the WAPC

## EXECUTIVE SUMMARY

This Structure Plan relates to Lot 7 (86) Forrest Beach Road, Wonnerup.

The subject land currently accommodates one dwelling and two outbuildings and consists of just over 56 hectares in total area. The land is mainly utilised for cattle grazing purposes by the current owners.

Lot 7 abuts the Wonnerup Estuary along its southern and western boundaries. This estuary forms a series of coastal wetlands of local, regional and international significance with a large portion of these wetlands being listed under the Ramsar Convention.

Lot 7 is also located within boundaries of the Western Australian Planning Commission Busselton Wetlands Conservation Strategy (BWCS) which essentially highlights the significance of these wetlands and also offers incentives aimed at the preservation of these areas, including additional lots.

This Structure Plan has been prepared and submitted based upon a subdivision incentive available via the BWCS whereby subdivision of one additional lot per 20 ha of land area is possible subject to certain criteria.

This criteria will be explained in more detail later in this report, however in this case, an additional 3 lots is being sought (4 in total). An additional 100 m<sup>2</sup> lot also needs to be created to accommodate a 50,000 litre strategic fire-fighting tank which will be transferred to the City of Busselton.

As part of the BWCS process, the subject land also needs to be rezoned with, in this case, land essentially abutting the Wonnerup Estuary to be ceded as a reserve for conservation, landscape and foreshore protection purposes with the zoning of that area changing from the current "Rural" zone to "Reserve for Recreation". The remaining land will be rezoned from "Rural" to "Conservation" except for a 100 m<sup>2</sup> lot which will be zoned "Reserve for Public Purpose (Water Tank)". This separate but associated process forms Amendment 37 to the City of Busselton Local Planning Scheme 21 (LPS 21).

### Summary of Key Statistics

Item	Data
Total area covered by the Structure Plan	56ha
Area of Reserve for Environmental Conservation	13.5ha
Area of Reserve for Public Purpose	100m <sup>2</sup>

Following the formal advertising period, further consideration of effluent disposal types and coastal inundation processes was undertaken with key agencies, which resulted in the following requirements:

- a) The provision of alternative on-site effluent disposal systems with secondary treatment systems with minimum depth to groundwater of 1.5m ; and
- b) Due regard be given to the State Coastal Planning Policy (SPP 2.6) to assess coastal processes, hazards and risk.

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)



A coastal inundation risk assessment report (Seashore Engineering April 2020) was prepared and has recommended that habitable buildings achieve a 3.8 metre AHD finished floor level to flood proof development against extreme coastal inundation events, including a 500 year ARI tropical cyclone occurring towards the end of the 100 year planning period for sea level rise.

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Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

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## **APPENDICES**

**Appendix One – Certificate of Title**

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**Appendix Three – Determination of Wetland Boundaries (Prepared by Onshore Environmental)**

**Appendix Four – Coastal Inundation Assessment Report (Seashore Engineering April 2020)**

## **PART ONE: IMPLEMENTATION**

### **1.1 Structure Plan Area**

This Structure Plan applies to the land known as Lot 7 (86) Forrest Beach Road, Wonnerup. The Structure Plan Map identifies the subject land at Figure 1.

### **1.2 Operation**

The Structure Plan comes into effect on the date it is approved by the Western Australian Planning Commission and the duration of the approval is 10 years or as consistent with Part 4, Schedule 2 of the *Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015*.

### **1.3 Subdivision and Development Requirements**

#### **1.3.1 Land Use**

The Structure Plan Map (Figure 1) identifies the following land use classifications applicable to the relevant lots:

- Conservation
- Recreation
- Public Purposes – Water Tank

Land Use permissibility within the structure plan area shall accord with the land use permissibility of the corresponding zone or reserve under the City of Busselton Local Planning Scheme No.21.

#### **1.3.2 Subdivision**

1.3.2.1 Subdivision of land shall be in accordance with the Structure Plan Map.

1.3.2.2 Prior to the lodgement of an application for subdivision with the Western Australian Planning Commission, the following is to occur in relation to the subject land:

- a. The proposed lots are rezoned to 'Conservation';
- b. Include in the City's local planning scheme a requirement for a minimum finished floor level of 3.8 AHD for habitable development;
- c. Include in the City's local planning scheme a requirement for the installation of alternative on-site effluent disposal systems, which achieve a minimum 1.5 metre vertical separation to the highest winter groundwater level.

1.3.2.3 The following matters will be addressed as conditions of subdivision:

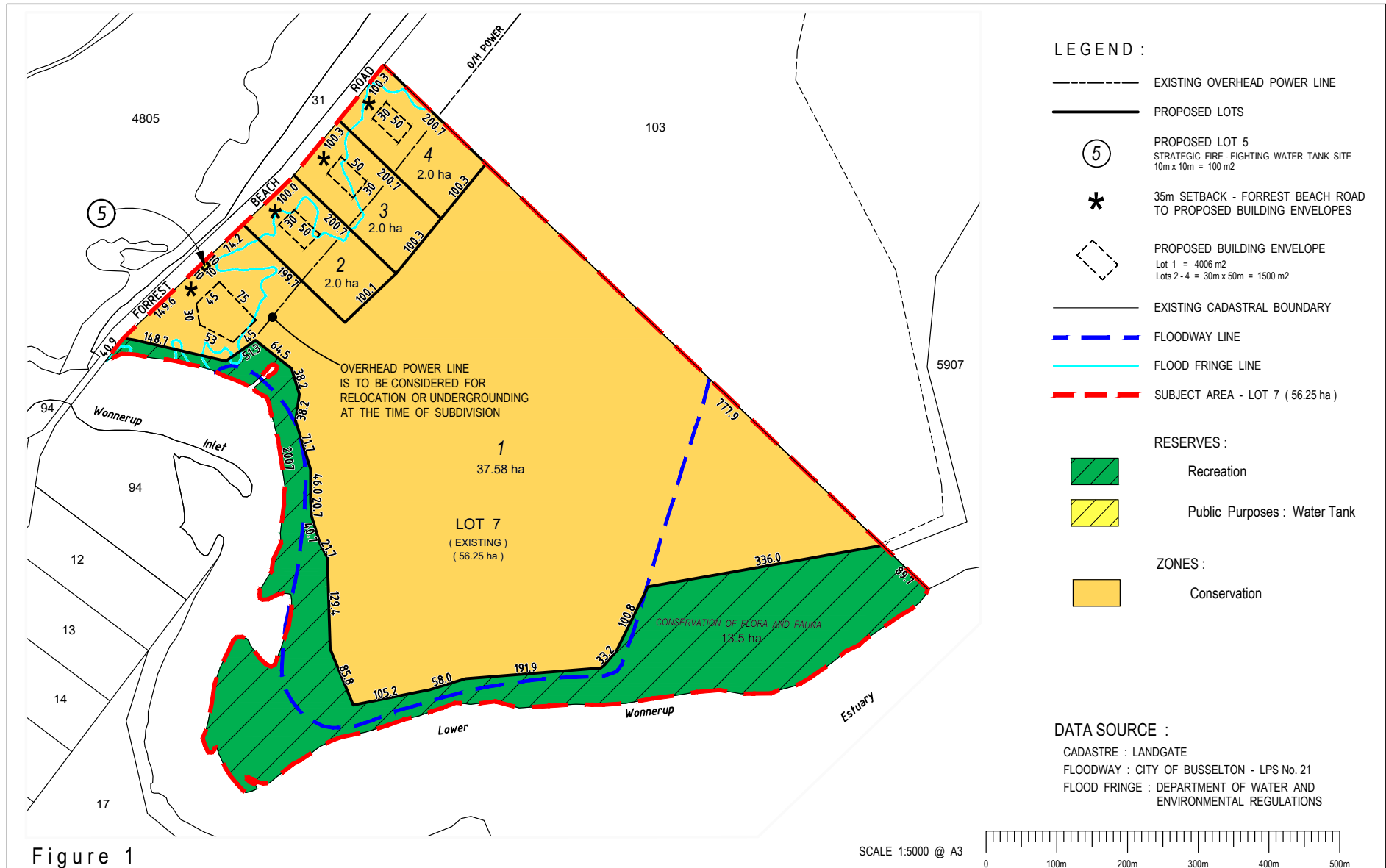
- a. A portion of each building envelope will be required to be filled to accommodate envisaged future development, to the satisfaction of the City, to achieve the following:

- i. A minimum 3.7 metres AHD ground level to facilitate a finished floor level of 3.8 m AHD;
  - ii. A minimum 1.5 metre vertical separation between the highest winter groundwater level and the envisaged discharge point of the future on-site effluent disposal system;
  - iii. A suitable land application area consistent with the requirements of the Government Sewerage Policy for on-site effluent disposal purposes.
- b. The preparation of a Foreshore Management Plan for the reserve land (to be ceded) adjoining the Wonnerup Estuary. The subdivider is to fence the new reserve boundary and establish an access/maintenance track for Department of Biodiversity, Conservation and Attractions (DBCA). Revegetation works within the reserve will be the responsibility of the DBCA;
  - c. The preparation and implementation of a Nutrient Management Plan for the large Conservation lot adjoining the Wonnerup Estuary Foreshore Reserve, to manage stocking rates and to ensure revegetation and/or other works protect the water quality within the estuary;
  - d. The ceding of the Wonnerup Estuary Foreshore Reserve to the Crown free of cost and without payment of compensation (for addition to Reserve 44838) for flora and fauna conservation purposes;
  - e. The preparation and implementation of an updated Bushfire Management Plan, modified to include any additional landscaping or planting areas;
  - f. The implementation of screening vegetation to assist in screening future development sites whilst maintaining any significant views across the site from Forrest Beach Rd;
  - g. Appropriate notifications on title warning of risks or factors or off-site impacts posed to property, life and/or amenity associated with inundation/flooding, bushfire prone land, agricultural activity and mosquito borne disease; and
  - h. Any measures necessary to avoid/protect Western Ringtail Possum habitat as a result of site works.

### **1.3.3 Development**

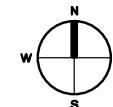
1.3.3.1 In addition to the Scheme provisions applicable to development on the Conservation lots, the following will also apply:

- i) Minimum finished floor levels of 3.8 m AHD;
- ii) The requirement for effluent disposal to be via ATU's with secondary treatment systems; and
- iii) A 1.5m minimum depth to groundwater for the waste water disposal areas.



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## LOT 7 FORREST BEACH ROAD WONNERUP STRUCTURE PLAN ( WAPC REF SPN 2231 )



Plan No. : 2-01-B Date : 25/8/2020

ALL DIMENSIONS AND AREAS ARE  
SUBJECT TO SURVEY  
PRINT DATE : 25 August 2020



## PART TWO: EXPLANATORY REPORT

### 1 PLANNING BACKGROUND

#### 1.1 Introduction and Purpose

This Structure Plan has been prepared in accordance with the obligations set out under Part 4 – Structure Plans of Schedule 2 – Deemed Provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

#### 1.2 Land Description

##### 1.2.1 Location

The land is located at Lot 7 (86) Forrest each Road, Wonnerup.

##### 1.2.2 Area and land use

The subject land is currently utilised for cattle grazing. The land area is 56 hectares.

##### 1.2.3 Legal description and ownership

The land is legally described as Lot 7 Forrest Beach Road, Wonnerup. The Certificate of Title is included at Appendix One. The land is owned by Mark and Sandra Sims.

#### 1.3 Planning Framework

##### 1.3.1 Zoning and reservations

The subject area is zoned “Rural”.

##### 1.3.2 Planning Strategies

##### ***Western Australian Planning Commission Busselton Wetlands Conservation Strategy.***

This Structure Plan and the associated Amendment 37 to LPS 21 have been prepared in accordance with the opportunities provided for by this Strategy.

The BWCS is a Western Australian Planning Commission document which is essentially aimed at guiding land use planning and management to maintain and improve the conservation values of the Strategy area. The Strategy area extends approximately 25 kilometres and includes a chain of coastal wetlands of various significance including a large portion being listed under the Ramsar Convention.

The purpose of the BWCS reads as follows:

*"Purpose*

*The purpose of this Strategy is to provide a framework to guide sustainable land use and wise management of the biodiversity and environmental values of the Busselton Wetlands area. The Strategy will also guide management planning for publically owned wetlands area to be vested in the Conservation Commission."*

This Structure Plan and the associated Scheme Amendment processes are based upon the aims, objectives and incentive opportunities provided for by this Strategy and in particular Part 2.3.2 Agricultural Land.

Under this section, the Strategy *"supports limited rural clustered subdivision of agricultural land where suitable land can be set aside for reserves for conservation, landscape and foreshore protection, subject to proposals meeting certain criteria set out in the General Strategies listed below."*

The General Strategies as they relate to subdivision and development of the subject land are discussed below.

For lots 20 ha or greater, subdivision based upon one additional lot per 20 hectares up to a maximum of 5 additional lots can be considered subject to the following criteria:

*"- subdivision should be in clustered form – unless based on existing dwellings;"*

Response:

Complied with. All proposed additional lots are adjacent to the existing dwelling, along Forrest Beach Road and away from the wetland.

With the overall lot size of 56 hectares, an additional 2.8 lots is possible under the Strategy. An additional 3 lots is being requested in this case because this represents a minor discrepancy and because of the excellent environmental outcome in that only 9.9 hectares of reserve land technically needs to be created in accordance with the requirements of the BWCS however 13.5 hectares is proposed adjacent to the Wonnerup Estuary. Also, as the purpose of the Strategy suggests, the Strategy is a guide to land use and there has been circumstances in the past where authorities have been prepared to vary standards, including in one instance where several additional lots beyond normally permitted by the Strategy were offered in exchanged for additional reserve land. Therefore, in this case an additional 3.6 hectares of reserve land is considered to be a fair and reasonable exchange of 0.2 discrepancy in lot calculation.

*"- the rural clustered lots should be within the range 1 to 2 hectares in area, however there may be circumstances where lots below 1 hectare are justified and result in a more desirable outcome for the Busselton Wetlands;"*

Response:

Complied with. All 3 proposed additional lots are 2 hectares in area.

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

*“- ceding free of cost land adjacent to the Busselton Wetlands, as reserve for conservation, landscape and foreshore protection purposes. The width of the reserve should be at least 30 metres from the Quindalup Very Wet Saline Flats. Additionally, land retained in private ownership should be protected by conservation covenants to guarantee the perpetual maintenance of conservation and landscape values;”*

Response:

Onshore Environmental determined an alignment of the Quindalup Very Wet Saline Flats (QVWSF) and a line 30 metres beyond that alignment into the subject property.

Preliminary discussions have also occurred with the Department of Biodiversity, Conservation and Attractions (DBCA) regarding various aspects of this proposal, including the preferred alignment of land to be reserved.

Firstly, the DBCA acknowledge that there is a strip of QVWSF soils that run along the Forrest Beach frontage of the property however DBCA advice is that this land, essentially because of its location and characteristics, is unlikely to be set aside as wetland reserve, but would remain freehold with other protections outlined in the BWCS. Based upon this preliminary advice, this Structure Plan has identified this portion of the subject land as accommodating the additional lots as from a land use point of view this is considered the best location from a servicing point of view, including the area having direct vehicular access to Forrest Beach Road.

In the vicinity of the existing dwelling/outbuildings, the Onshore Environmental assessment identifies the 30 metre setback line from the QVWSF as encroaching over one of the outbuildings and also within very close proximity to all buildings in this location. Preliminary DBCA mapping in this vicinity identifies an alignment that does not encroach and provides a better and more usable setback area to buildings. Given the circumstances, the DBCA alignment has been selected for the proposed reserve boundary in this vicinity and is it represents a more practical outcome.

The DBCA has also requested additional land not mapped as QVWSF. This land is in the south east and south west portions of the site. In regard to this matter, Onshore Environmental has calculated an area 30 metres beyond the QVWSF (excluding the small portion of land identified above near the existing buildings) of 9.9 hectares with the DBCA preferred alignment consisting of 13.5 hectares, a difference of an additional 3.6 hectares of land to be reserved. This owners of the property have accepted this increase in land for reserve purposes in exchange for 3 additional lots.

*“- rezoning of the proposed rural clustered lots and the balance of the land being to “Conservation “zone;”*

Response:

Complied with. The associated Scheme Amendment 37 aims to achieve this outcome.

*“- the proposed rural clustered lots not being located within the “Rural and Wetland Amenity Area”, where possible;”*

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

Response:

This entire property is identified as Rural and Wetland Amenity Area. In this case however all proposed lots are situated on grazing land and at similar ground level to the existing dwelling. There are no conservation values in this part of the site. This, along with the fact that 13.5 hectares of land will be created as reserve adjacent to the Wonnerup Estuary is considered to warrant flexibility with this specific standard. Furthermore, preliminary discussions with the DBCA indicates support for this proposal.

*“- revegetation (with local native species) and enhancing appropriate locations adjoining wetlands. Plantings in suitable areas should reduce run-off, revegetate degraded areas and maintain or enhance vegetation and landscape linkages;”*

Response:

Any requirements in this regard is normally enforced through the associated and subsequent subdivision process.

*“- being unlikely to have a significant detrimental impact on wildlife;”*

Response;

Complied with. This Structure Plan process will have a positive effect in this regard as it will effectively be creating 13.5 hectares of reserve land adjacent to the Wonnerup Estuary which is currently used for cattle grazing. This reserve land will be required to be fenced by the owner through these various planning processes and rehabilitation of this area is likely to occur. Most of the remainder of the land will be rezoned to “Conservation” which significantly reduces potential use of the land for other purposes. A nutrient management plan will also be required.

*“- not detracting from the ongoing viability of the balance of the lot for long-term agricultural land use;”*

Response:

Complied with. Although being rezoned from “Rural” to “Conservation” as part of the associated Scheme Amendment process, one larger lot of 37.58 hectares in area will continue to be utilised for agricultural purposes, in this case cattle grazing.

*“- not detracting from the important education, scientific and ecotourism values and opportunities;”*

Response:

Complied with. None of these values will be adversely affected, in fact they all should be enhanced by this proposal.

*“- not detracting from the visual quality of the landscape;”*

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

Response:

Complied with. This Structure Plan will introduce additional buildings on the land but they will not have a significant effect as for instance a second and even more dwellings could be applied for currently under LPS21 and under the current zoning as well as additional outbuildings. Regardless, because of the proposed lots sizes and configuration and distribution of building envelopes view scapes to the wetland will remain when travelling along Forrest Beach Road.

Furthermore, the visual landscape should in fact be enhanced by the creation of 13.5 hectares of reserved land adjacent to an important wetland.

*“- Ensuring the provision of adequate measures for fencing, emergency access and bushfire protection without burdening the values and management of the wetlands.”*

Response:

Complied with.

The reserve area to be created as part of this Structure Plan will be required to be fenced at full cost of the land owner via a condition of any future subdivision approval.

As Forrest Beach Road is a two way road no alternative on site emergency access ways will be required from a bushfire management point of view. A bushfire management plan has been prepared by Ecosystem Solutions (see Appendix Two).

Vehicle access for DBCA to land created as reserve as part of the Amendment process will be directly from Forrest Beach Road as already acknowledged by the DBCA.

### **1.3.3 Planning Policies**

#### ***State Planning Policy 3.7 Planning in Bushfire Prone Areas***

This policy document essentially directs how land use should address bushfire risk management in Western Australia. It applies to all land which has been designated bushfire prone by the Fire and Emergency Services Commissioner as highlighted on the Map of Bushfire Prone Areas. The subject land is identified as bushfire prone and in accordance with this policy a bushfire management plan has been prepared by Ecosystem Solutions as part of the Structure Plan process confirming compliance.

#### **1.3.4 Other approvals and decisions**

As stated, the BWCS also requires the land to be rezoned and this is being carried out by a separate concurrent process via Amendment 37 to LPS21.

#### **1.3.5 Pre lodgement consultation**

The proposed Structure Plan and associated Scheme Amendment have been discussed with the City of Busselton and the Department of Conservation, Biodiversity and Attractions.

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

## **1.4 Site Conditions and Constraints**

### **1.4.1 Biodiversity and natural assets**

The portion of the subject land with the highest level of biodiversity and natural assets is the area adjacent to the Wonnerup Estuary. As part of this Structure Plan, the associated Scheme Amendment and subsequent subdivision processes, this area will be created as a reserve, it will be fenced from livestock and it will be ceded free of charge to the Crown.

### **1.4.2 Landform, soils and ground water/surface water**

The subject land is generally flat with loamy soils and wetter areas being closer to the Wonnerup Estuary. There is a man-made lake closer to Forrest Beach Road.

The previous landowner created this lake to essentially provide water for stock. The current owner has installed water troughs for this purpose. Following problems with mosquito breeding within the man-made lake area and following advice from authorities the owner commenced filling this area.

Although low lying, the remainder of the property is generally not subject to inundation with relatively well draining soils as well as natural drainage channels installed by previous owners. This property was once also used for horticultural purposes which required good drainage.

### **1.4.3 Bushfire hazard**

As stated, this area is identified as being bushfire prone. A BMP plan has been prepared in this regard confirming compliance with relevant statutory/policy positions.

## **1.5 Other Considerations**

### **1.5.1 Servicing**

This is essentially a rural area and therefore reticulated services are limited.

There is a Western Power aboveground power line running east west through the property near Forrest Beach Road which is identified on the attached Structure Plan. Western Power will require this line to be relocated and most likely replaced with an underground system should this Structure Plan and associated Scheme Amendment be successful and via a condition at the next subdivision stage.

Any proposed effluent disposal will need to be via approved on site systems with these details normally resolved at any building licence stage.

Provision of a potable water supply is also a matter controlled at any building licence stage with Clause 4.11 of LPS21 requiring dwellings be provided with a potable tank water supply of a minimum capacity of 135,000 litres with a minimum roof catchment of 150 m<sup>2</sup>.



The BMP requires a water tank with a capacity of 50,000 litres for fire-fighting purposes which will be provided via a condition of any associated subdivision approval process.

### **1.5.2 Landscape Value Area**

The subject land is included within the Landscape Value Area pursuant to LPS21. The intent of this clause, as the title suggests, is to maintain any landscape features of a particular property in relation to any future development or clearing. It also includes maintaining wildlife refuges, significant wetland and other important features.

This clause also discusses building materials suggesting the use of dark tones or dark colouring.

The main purpose of this Structure Plan and associated Scheme Amendment is not just to maintain but to enhance and maintain the conservation values of the property as encouraged via the BWCS. This will be achieved by creating extra reserve land adjacent to the Wonnerup

Estuary, fencing that area and also controlling continuing farming activities on the remaining subject land.

### **1.5.3 Wetland Area**

There is a portion of the subject site identified as Wetland Area. This area is essentially located along the boundary of the property adjacent to the Wonnerup Estuary and is along a similar alignment of the Quindalup Very Wet Saline Flat soils and the 30 metre setback to these soils as required by the BWCS and as identified by Onshore Environmental.

In regard to the Wetland Area designation, LPS21 essentially discourages development within this area and that all proposed lots containing buildings be outside the Wetland Area. These two standards are complied with in relation to this Structure Plan.

This section of LPS21 also discusses processes whereby development can be considered contrary to this preferred standard which is not relevant in the case of this Structure Plan.

### **1.5.4 Floodway Area and Other Flood Prone Land**

A portion of the subject site is identified a Floodway Area. This alignment is similar to the Wetland Area alignment except for including additional land along the subject land's eastern boundary. Some of this land has been included within the proposed reserve area at the request of the DBCA and it is in addition to land normally required as reserve under the BWCS.

LPS21 establishes certain criteria for consideration of any potential development within such an area. No development is proposed within the Floodway Area via this Structure Plan process.

### **1.5.5 Developer Contribution Areas**

Clause 5.12 of LPS21 reads as follows:

*“The purpose of having development contribution areas is to –*

Structure Plan Report Lot 7 (86) Forrest Beach Road, Wonnerup (WAPC Ref SPN 2231)

*(a) provide for equitable sharing of the costs of infrastructure and administrative costs between owners;*

*(b) ensure that cost contributions are reasonably required as a result of the subdivision and development of land in the development contribution area;*

*(c) coordinate the timely provision of infrastructure.”*

The subject site is within the LPS21 Development Contribution Plan Area (DCA 1) – ‘Rural Remainder’. The policy was originally gazetted in 2013 and carried over into the existing Planning Scheme. In accordance with Local Planning Policy 6 - *Development Contribution Policy* (2010), the subject land will require a “per lot/unit monetary contribution” for local and district level community facilities.

This contribution is imposed as a condition of planning consent (paid prior to issue of an associated building licence) or as a condition of subdivision approval (paid at the time of clearance of conditions). Appropriate conditions in this regard will be imposed at any such future relevant stage(s).

## **APPENDIX ONE – CERTIFICATE OF TITLE**

WESTERN



AUSTRALIA

REGISTER NUMBER <b>7/P3280</b>	
DUPLICATE EDITION <b>1</b>	DATE DUPLICATE ISSUED <b>9/3/2006</b>

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

VOLUME  
**1976**

FOLIO  
**561**

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



REGISTRAR OF TITLES

**LAND DESCRIPTION:**

LOT 7 ON PLAN 3280

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

MARK LESLIE SIMS  
SANDRA MARGARET SIMS  
BOTH OF LOT 7 FORREST BEACH ROAD, WONNERUP  
AS JOINT TENANTS

(T J644452 ) REGISTERED 2/3/2006

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

1. THE LAND THE SUBJECT OF THIS CERTIFICATE OF TITLE EXCLUDES ALL PORTIONS OF THE LOT DESCRIBED ABOVE EXCEPT THAT PORTION SHOWN IN THE SKETCH OF THE SUPERSEDED PAPER VERSION OF THIS TITLE. VOL 1976 FOL 561.
2. J644453 MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA REGISTERED 2/3/2006.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 1976-561 (7/P3280)  
PREVIOUS TITLE: 1827-563  
PROPERTY STREET ADDRESS: 86 FORREST BEACH RD, WONNERUP.  
LOCAL GOVERNMENT AUTHORITY: CITY OF BUSSELTON

## **APPENDIX TWO – BUSHFIRE MANAGEMENT PLAN (Prepared by Ecosystem Solutions)**



## Bushfire Management Plan Coversheet

This Coversheet and accompanying Bushfire Management Plan has been prepared and issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme.

### Bushfire Management Plan and Site Details

Site Address / Plan Reference: Lot 7 Forrest Beach Road

Suburb: Wonnerup

State: WA

P/code: 6280

Local government area: City of Busselton

Description of the planning proposal: Subdivision of existing lot into six

BMP Plan / Reference Number: 18552

Version: Rev C

Date of Issue: 23/11/2018

Client / Business Name: Mark & Sandra Simms (C/- Tim Korovesi Town Planning Consultant)

### Reason for referral to DFES

Yes

No

Has the BAL been calculated by a method other than method 1 as outlined in AS3959 (tick no if AS3959 method 1 has been used to calculate the BAL)?

☐
☒

Have any of the bushfire protection criteria elements been addressed through the use of a performance principle (tick no if only acceptable solutions have been used to address all of the BPC elements)?

☐
☒

Is the proposal any of the following special development types (see SPP 3.7 for definitions)?

Unavoidable development (in BAL-40 or BAL-FZ)

☐
☒

Strategic planning proposal (including rezoning applications)

☐
☒

Minor development (in BAL-40 or BAL-FZ)

☐
☒

High risk land-use

☐
☒

Vulnerable land-use

☐
☒

If the development is a special development type as listed above, explain why the proposal is considered to be one of the above listed classifications (E.g. considered vulnerable land-use as the development is for accommodation of the elderly, etc.)?

Note: The decision maker (e.g. local government or the WAPC) should only refer the proposal to DFES for comment if one (or more) of the above answers are ticked "Yes".

### BPAD Accredited Practitioner Details and Declaration

Name

Gary McMahon

Accreditation Level

Level 3

Accreditation No.

35078

Accreditation Expiry

11/2019

Company

Ecosystem Solutions

Contact No.

(08) 9759 1960

I declare that the information provided within this bushfire management plan is to the best of my knowledge true and correct

Signature of Practitioner

Date 23/11/2018





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[www.ecosystemsolutions.com.au](http://www.ecosystemsolutions.com.au)

# Bushfire Management Plan

Lot 7 (86) Forrest Beach Road, Wonnerup

23 November 2018

Prepared for:

Mark & Sandra Sims

C/- Tim Korovesi Town Planning Consultant

Att: Tim Korovesi





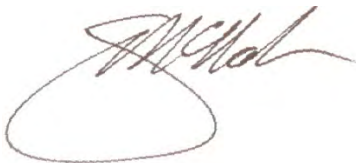
## Limitations Statement

This report has been solely prepared for Mark & Sandra Sims(C/- Tim Koroveshi Town Planning Consultant, Att: Tim Koroveshi). No express or implied warranties are made by Ecosystem Solutions Pty Ltd regarding the findings and data contained in this report. No new research or field studies were conducted other than those specifically outlined in this report. All of the information details included in this report are based upon the research provided and obtained at the time Ecosystem Solutions Pty Ltd conducted its analysis.

In undertaking this work the authors have made every effort to ensure the accuracy of the information used. Any conclusions drawn or recommendations made in the report are done in good faith and the consultants take no responsibility for how this information and the report are used subsequently by others.

Please note that the contents in this report may not be directly applicable towards another organisation's needs. Ecosystem Solutions Pty Ltd accepts no liability whatsoever for a third party's use of, or reliance upon, this specific report.

STATEMENT OF CONFORMITY - *PLANNING AND DEVELOPMENT ACT 2005*



**Gary McMahon**

**B.Sc. M. Env Mgmt. PG Dip Bushfire Protection. C.EnvP, BPAD Level 3 (35078)**



The signatory declares that this Bushfire Management Plan meets the requirements of State Planning Policy 3.7.

# Document Control

Client - Mark & Sandra Sims

Site - Lot 7 (86) Forrest Beach Road, Wonnerup

Version	Revision	Purpose	Author	Reviewer	Submitted	
					Form	Date
Report	Rev A	Initial Report	DP	KP	Electronic (email)	24/07/2018
Report	Rev B	Comments from TK	KP	DC	Electronic (email)	24/07/2018
Report	Rev C	Updated Lot 1 Boundary	DP	KP	Electronic (email)	23/11/2018

Filename: \\ECONAS\Data\PROJECTS\18552 Lot 7 (86) Forrest Beach Road, Wonnerup BMP\Reports\Lot 7 (86) Forrest Beach Road Wonnerup BMP RevC.docx

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## Appendices

Appendix A

City of Busselton Firebreak & Fuel Hazard Reduction Notice

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# 1 Proposal

This Bushfire Management Plan (BMP) has been prepared for Lot 7 (86) Forrest Beach Road, Wonnerup (hereafter referred to as the 'Site') by Danae Plowman (B.Sc. Env Sc. PG Dip Energy Env.) and Gary McMahon (B.Sc. M. Env Mgmt. PG Dip Bushfire Protection. C. EnvP, BPAD Level 3) from Ecosystem Solutions.

The proposal is to subdivide the existing Lot into six (Figure 1) with all lots being accessed from Forrest Beach Road:

- Lot 1 - 37.58 ha to retain the purpose of Agriculture; and
- Lot 2 to Lot 4 - 2.0 ha each for rural residential;
- Lot 5 - 10 m<sup>2</sup> for a strategic water tank vested to the City of Busselton; and
- Conservation Reserve - 13.5 ha for environmental conservation.

The Site is located within a bushfire prone area, as declared by State Planning Policy 3.7: Planning in Bushfire Prone Areas (Figure 2).

The purpose of this BMP is to detail the fire management methods and requirements that will be implemented within and around the Site to reduce the threat to residents and fire fighters in the event of a fire.

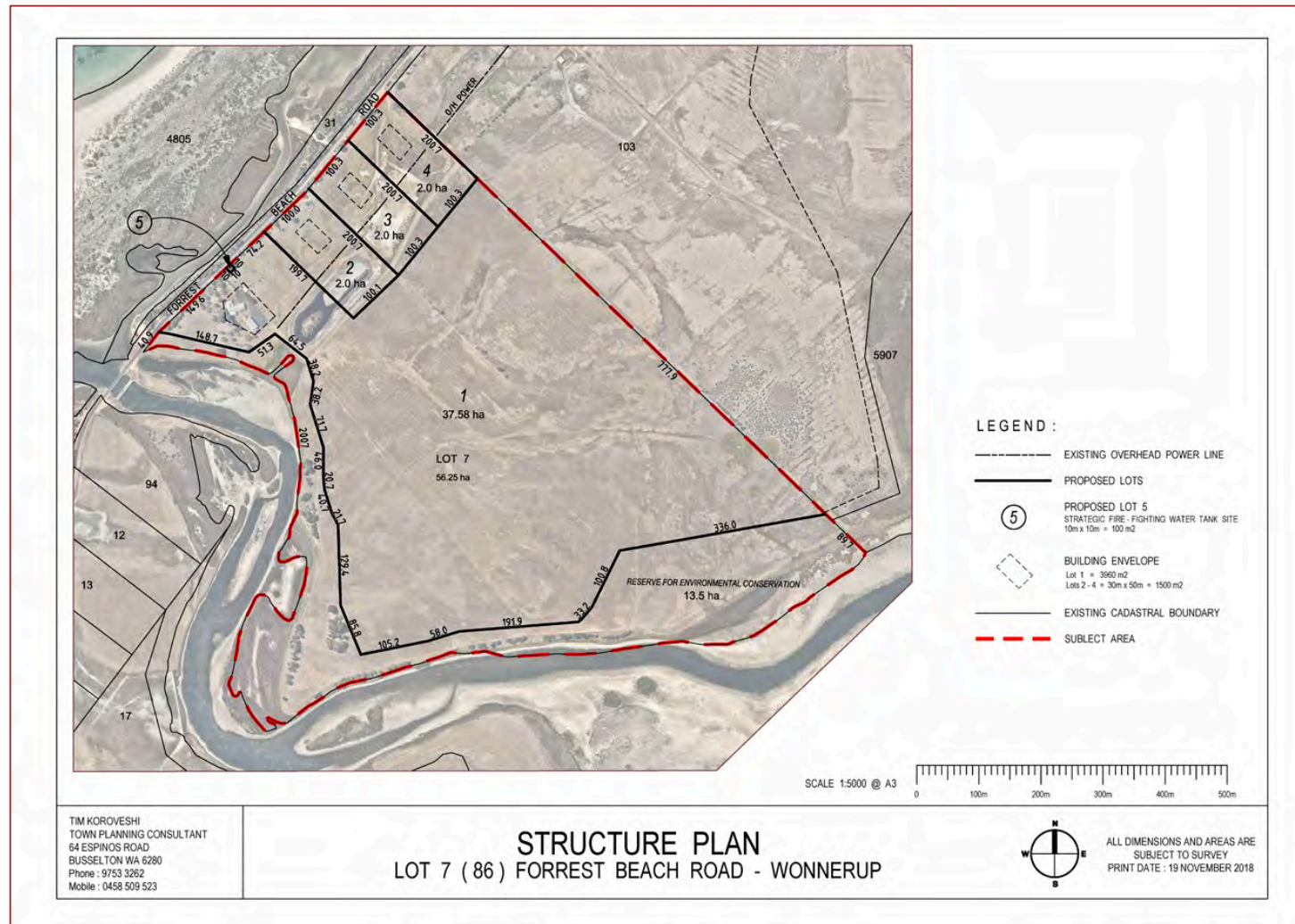


Figure 1 Proposed Subdivision Plan







Figure 2 Map of Bushfire Prone Areas for the Site (within yellow square)

## 2 Bushfire Assessment Results



### 2.1 Assessment Inputs



The assessment of the Site was undertaken on 8 June 2018 by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 - 2009 Simplified Procedure (Method 1).

All vegetation within 150 m of the Site was classified in accordance with Clause 2.2.3 of AS 3959-2009, shown in the photos below with map provided in Figure 3.

Plot	1	Vegetation Classification or Exclusion Clause	B Woodland Downslope >0-5°
		 <p>Photo ID: 1</p>	 <p>Photo ID: 2</p>
		Description / Justification for Classification	Open woodland with a canopy of introduced <i>Eucalyptus sp.</i> and <i>Melaleuca sp.</i> with an understorey of introduced grasses.



Plot	2	Vegetation Classification or Exclusion Clause	C Shrubland Downslope >0-5°
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> <p>DIRECTION 81 deg(T) 33.61403°S 115.43631°E ACCURACY 5 m DATUM WGS84</p>  <p>Lot 7 (86) Forrest Beach Road, Wonerup 2018-06-08 13:41:47+08:00</p> <p>Photo ID: 3</p> </div> <div style="text-align: center;"> <p>DIRECTION 6 deg(T) 33.61458°S 115.43686°E ACCURACY 5 m DATUM WGS84</p>  <p>Lot 7 (86) Forrest Beach Road, Wonerup 2018-06-08 13:43:11+08:00</p> <p>Photo ID: 4</p> </div> </div>			
Description / Justification for Classification		Samphire shrub vegetation less than two metres high.	

Plot	3	Vegetation Classification or Exclusion Clause	C Shrubland Upslope / Flat
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> <p>DIRECTION 352 deg(T) 33.61163°S 115.42785°E ACCURACY 5 m DATUM WGS84</p>  <p>Lot 7 (86) Forrest Beach Road, Wonerup 2018-06-08 14:21:58+08:00</p> <p>Photo ID: 5</p> </div> <div style="text-align: center;"> <p>DIRECTION 36 deg(T) 33.61169°S 115.42782°E ACCURACY 5 m DATUM WGS84</p>  <p>Lot 7 (86) Forrest Beach Road, Wonerup 2018-06-08 14:21:45+08:00</p> <p>Photo ID: 6</p> </div> </div>			
Description / Justification for Classification		Shrub vegetation less than two metres high consisting of <i>Lepidosperma</i> sp and Samphire. Photo 6 shows the boundary into Plot 4, A Forest.	

Plot	4	Vegetation Classification or Exclusion Clause	A Forest Upslope / Flat
<div> <div>DIRECTION 50 deg(T)</div> <div>33.60920°S 115.43047°E</div> <div>ACCURACY 5 m DATUM WGS84</div> </div>  <div> <div>Lot 7 (86) Forrest Beach Road, Wonerup</div> <div>2018-06-08 14:11:45+08:00</div> </div>		<div> <div>DIRECTION 60 deg(T)</div> <div>33.61177°S 115.42779°E</div> <div>ACCURACY 5 m DATUM WGS84</div> </div>  <div> <div>Lot 7 (86) Forrest Beach Road, Wonerup</div> <div>2018-06-08 13:09:41+08:00</div> </div>	
<div>Photo ID: 7</div> <div>Description / Justification for Classification</div>		<div>Photo ID: 8</div> <div>Canopy of <i>Agonis flexuosa</i> over <i>Hibbertia cuneiformis</i>, <i>Spyridium globulosum</i>, <i>Acacia cochlearis</i>. Foliage cover in the range of 30-70%.</div>	
Plot	5	Vegetation Classification or Exclusion Clause	B Woodland Upslope / Flat
<div> <div>DIRECTION 279 deg(T)</div> <div>33.60857°S 115.43031°E</div> <div>ACCURACY 5 m DATUM WGS84</div> </div>  <div> <div>Lot 7 (86) Forrest Beach Road, Wonerup</div> <div>2018-06-08 14:13:06+08:00</div> </div>		<div> <div>DIRECTION 245 deg(T)</div> <div>33.60929°S 115.43062°E</div> <div>ACCURACY 5 m DATUM WGS84</div> </div>  <div> <div>Lot 7 (86) Forrest Beach Road, Wonerup</div> <div>2018-06-08 14:11:20+08:00</div> </div>	
<div>Photo ID: 9</div> <div>Description / Justification for Classification</div>		<div>Photo ID: 10</div> <div>Open woodland with a canopy of introduced <i>Eucalyptus</i> sp. and <i>Melaleuca</i> sp. with an understorey of introduced grasses.</div>	



Plot	6	Vegetation Classification or Exclusion Clause	G Grassland Upslope / Flat
------	---	-----------------------------------------------	----------------------------



Photo ID: 19

Description / Justification for Classification

Grassland used for agriculture purposes.

Plot	7	Vegetation Classification or Exclusion Clause	G Grassland Downslope >0-5°
------	---	-----------------------------------------------	-----------------------------



Photo ID: 13

Description / Justification for Classification



Photo ID: 14

Grassland used for agriculture purposes.

**Plot 8** **Vegetation Classification or Exclusion Clause** **Excluded Clause 2.2.3.2 (e) & (f)**



**Photo ID: 11**



**Photo ID: 12**



**Photo ID: 15**



**Photo ID: 16**



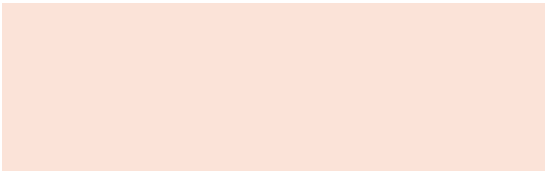
**Photo ID: 17**



**Photo ID: 18**

**Description / Justification for Classification**

Non vegetated areas including the wetland, roads and buildings excluded under S 2.2.3.2 (e). Low threat vegetation including managed gardens and lawns excluded under S 2.2.3.2 (f). Photo 11 and 12 include areas within the proposed lots which will be maintained in a low fuel state in perpetuity as a requirement of this Bushfire Management Plan and is enforceable s33 of the *Bush Fires Act 1954* as the City



of Busselton Firebreak and Fuel Hazard Reduction  
Notice states "A Fire Management Plan is a  
comprehensive Plan for the prevention and control of  
bushfire which may apply to individual land holdings.  
The Landowner must comply with the Fire  
Management Plan."



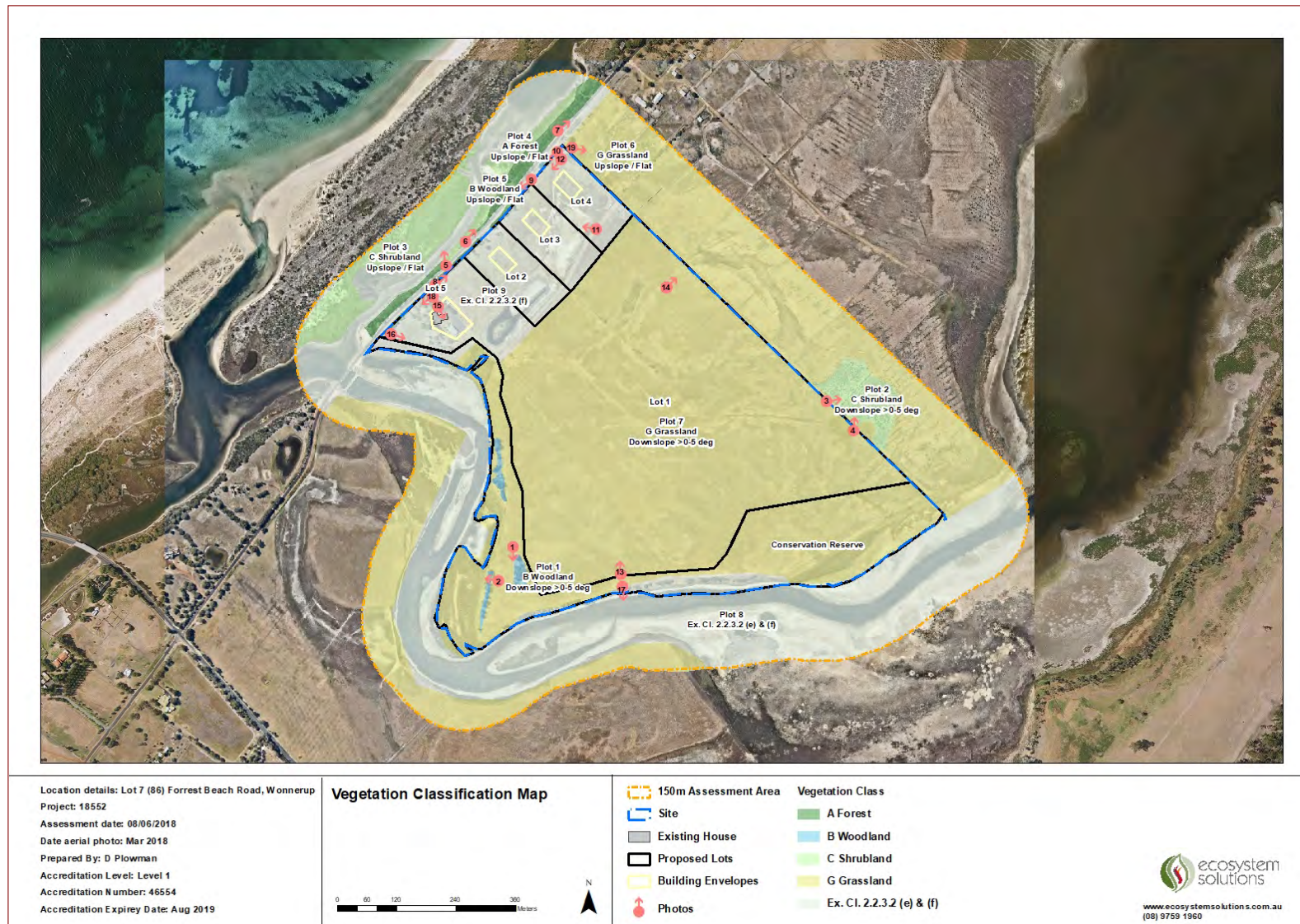


Figure 3 Map of Vegetation Class and Effective Slope

## 2.2 Assessment Outputs

The results from the Site assessment are provided in Table 1. The Determined Bushfire Attack Level (highest BAL) for the Site has been determined in accordance with clause 2.2.6 of AS 3959-2009 with map provided in Figure 4.

**Table 1** Site Assessment Results

Method 1 BAL Determination				
Fire Danger Index - 80 (AS3959-2009 Table 2.1)				
Plot	Vegetation Classification	Effective Slope Under the Classified Vegetation (degrees)	Separation Distance to the Classification Vegetation (metres)	Bushfire Attack Level
1	B Woodland	Downslope >0-5°	>100 m	BAL-LOW
2	C Shrubland	Downslope >0-5°	>100 m	BAL-LOW
3	C Shrubland	Upslope / Flat	Min 53 m	BAL-12.5
4	A Forest	Upslope / Flat	Min 30 m	BAL-29
5	B Woodland	Upslope / Flat	Min 34 m	BAL-19
6	G Grassland	Upslope / Flat	Min 35 m	BAL-12.5
7	G Grassland	Downslope >0-5°	Min 34 m	BAL-12.5
8	Excluded Clause 2.2.3.2 (e) & (f)	NA	NA	BAL-LOW
9	Excluded Clause 2.2.3.2 (f)	NA	NA	BAL-LOW
Determined Bushfire Attack Level				BAL-29*

\* A lower BAL rating can be achieved based on an increased separation distance from the classified vegetation, given there is adequate area cleared within the proposed lots.



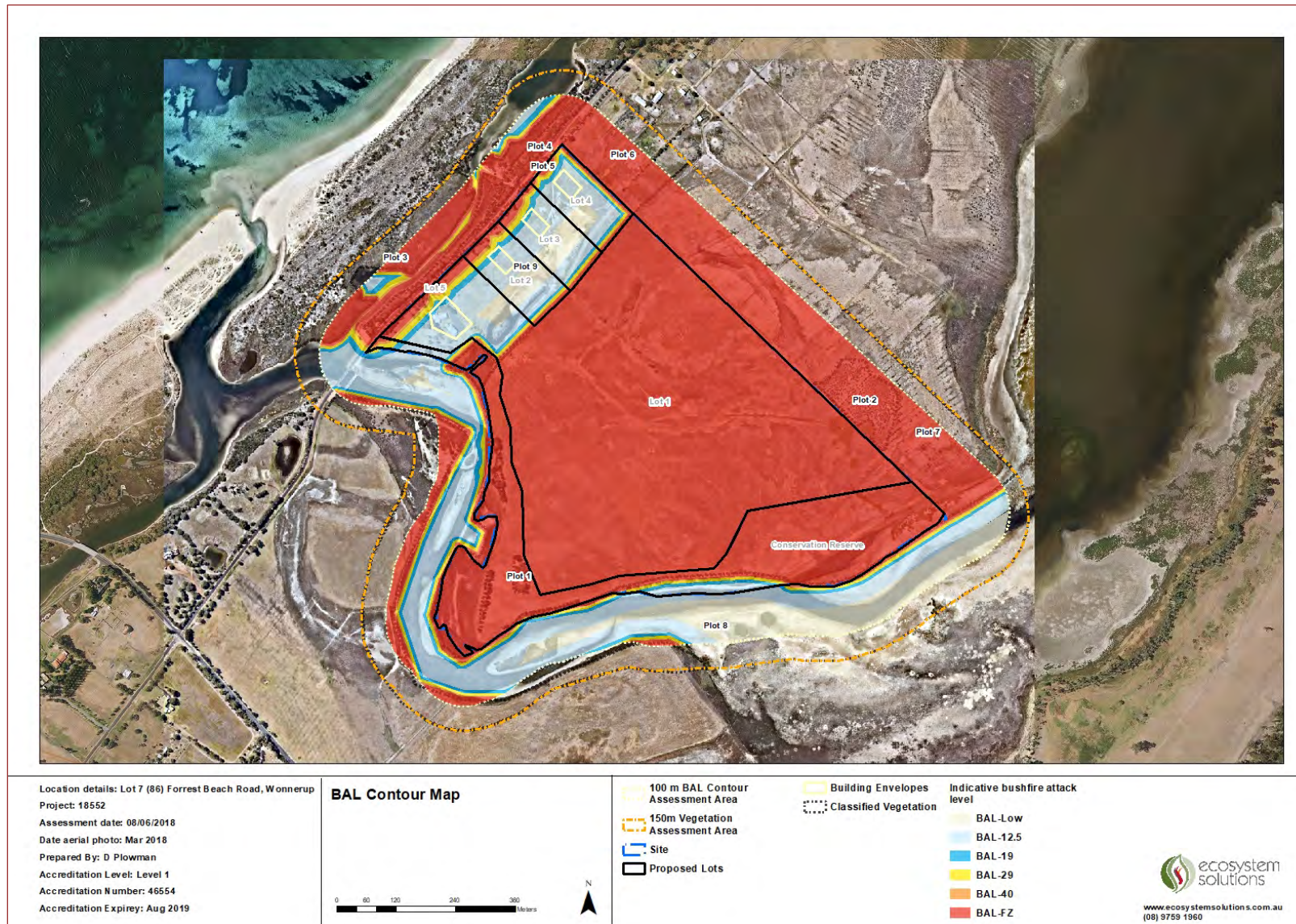


Figure 4 Map of Bushfire Attack Level Assessment

## 3 Environmental Considerations

### 3.1 Native Vegetation - modification and clearing

Lot 7 (86) Forrest Beach Road contains grassland used for agriculture with small pockets of vegetation and windbreaks. There is no modification required to any vegetation. A conservation reserve is being created where the site abuts the Wonnerup wetland.

The area has been assessed for environmental values using a simple desktop review (Table 2). The Lot is classified as Agriculture and borders Wonnerup wetland and a Threatened Ecological Community (TEC). There is no proposed impact to the wetland or TEC as a result of this proposal.

*Table 2 Proposed native vegetation clearing within environmental valued areas*

Environmental Value	Yes or No	If Yes - describe
Conservation Covenants	No	Not applicable
Bushfire Forever Sites	No	Not applicable
Conservation Category Wetlands and Buffer	Yes	Wonnerup wetland neighbours the Site to the south and west, which is a RAMSAR listed wetland. There is no proposed impact to this area as a result of this proposal.
Threatened Ecological Communities (TECs)	Yes	A TEC has been identified north of Site, within the assessment area, according to SLIP public data. There is no proposed impact to this area as a result of this proposal.
Declared Rare Flora (DRF)	No	Not applicable
Significant through Local Planning or Biodiversity Strategy	No	Not applicable

### 3.2 Re-vegetation / Landscape Plans

No active revegetation is required.

## 4 Identification of Bushfire Hazard Issues

Bushfire behaviour is significantly affected by weather conditions. Bushfires will burn more aggressively when high temperatures combine with low humidity and strong winds. Generally, the greatest fire risk occurs from summer through to autumn, when the moisture levels in the soil and vegetation are low.

The majority of the area within the Site is grassland used for agriculture purposes with small pockets of native vegetation, posing a Moderate bushfire risk. The managed grassland/gardens within the Site pose a Low bushfire hazard due to the lack of remaining vegetation.

The overall fire risk to people and property within the Site is considered Moderate due to the extent of remnant native vegetation in proximity to the Site. By complying with the requirements of this BMP, this risk can be appropriately managed.

## 5 Assessment Against the Bushfire Protection Criteria

### 5.1 Compliance with the Acceptable Solutions for each Element

Bushfire Protection Criteria - Element 1 - Location		
<b>Intent:</b> To ensure that strategic planning proposals, subdivision and development applications are located in areas with the least possible risk of bushfire to facilitate the protection of people, property and infrastructure.		
<b>Performance Principle P1:</b> The intent may be achieved where the strategic planning proposal, subdivision or development application is located in an area where the bushfire hazard assessment is or will, on completion, be moderate or low OR a BAL-29 or below applies AND the risk can be managed. For unavoidable development in areas where BAL-40 or BAL-FZ applies, demonstrating that the risk can be managed to the satisfaction of DFES and the decision-maker.		
Acceptable Solution	Compliance	Assessment Statements
<b>A1.1 Development location</b> The strategic planning proposal, subdivision and development application is located in an area that is or will, on completion, be subject to either a moderate or low bushfire hazard level, or BAL-29 or below.	Compliance with this element is achieved.	The building envelopes for Lots 1, 2, 3 and 4 achieve BAL-29 as shown in Figure 4.  Lot 1 includes an existing building, located within an area of BAL-29 or below. If additions or alterations are planned, a setback of 21 metres from any Class A - Forest upslope vegetation and 9 m from any Class G Grassland downslope >0-5° will be required to achieve a BAL-29 rating.



**Bushfire Protection Criteria - Element 2 - Siting and Design**

**Intent:** To ensure that the siting and design of development minimises the level of bushfire impact.

**Performance Principle P2:** The siting and design of the strategic planning proposal, subdivision or development application, including roads, paths and landscaping, is appropriate to the level of bushfire threat that applies to the site. That it incorporates a defendable space and significantly reduces the heat intensities at the building surface thereby minimising the bushfire risk to people, property and infrastructure, including compliance with AS 3959 if appropriate.

Acceptable Solution	Compliance	Assessment Statements
<p><b>A2.1 Asset Protection Zone (APZ)</b></p> <p>Every habitable building is surrounded by, and every proposed lot can achieve, an APZ depicted on submitted plans, which meets the following requirements:</p> <ul style="list-style-type: none"> <li>• <b>Width:</b> Measured from any external wall or supporting post or column of the proposed building, and of sufficient size to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m<sup>2</sup> (BAL-29) in all circumstances.</li> <li>• <b>Location:</b> the APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity (see explanatory notes).</li> <li>• <b>Management:</b> the APZ is managed in accordance with the requirements of 'Standards for Asset Protection Zones'. (see Schedule 1).</li> </ul>	<p>Compliance with this element is achieved.</p>	<p>Figure 5 demonstrates that Asset Protection Zones, to achieve a BAL-29 or lower rating will be achieved with Lots 2, 3 and 4 and the northern portion of Lot 1 being managed in a low fuel state in perpetuity, by the respective Landowners, which is also in compliance with the City of Busselton Firebreak and Fuel Hazard Reduction Notice as grass must be maintained under 10 cm.</p> <p>The requirement to manage the Lots in a low fuel state is a condition of this Bushfire Management Plan and is enforceable s33 of the <i>Bush Fires Act 1954</i> as the City of Busselton Firebreak and Fuel Hazard Reduction Notice states "A Fire Management Plan is a comprehensive Plan for the prevention and control of bushfire which may apply to individual land holdings. The Landowner must comply with the Fire Management Plan."</p> <p>A 25 m Building Protection Zone is also required around any dwelling within the Site, managed according to the standard in the City of Busselton Firebreak and Fuel Hazard Reduction Notice.</p>

**Bushfire Protection Criteria - Element 3 - Vehicular Access**

**Intent:** To ensure that the vehicular access serving a subdivision/development is available and safe during a bushfire event.

**Performance Principle P3:** The internal layout, design and construction of public and private vehicular access and egress in the subdivision/ development allow emergency and other vehicles to move through it easily and safely at all times.

Acceptable Solution	Compliance	Assessment Statements
<b>A3.1 Two Access Routes</b> Two different vehicular access routes are provided, both of which connect to the public road network, provide safe access and egress to two different destinations and are available to all residents/the public at all times and under all weather conditions.	Compliance with this element is achieved.	All proposed lots will be accessed from Forrest Beach Road. Forrest Beach Road can be taken south west to Layman Road. Layman Road can be taken north west or south east via Bussell Highway to Busselton town centre.  Forrest Beach Road can also be taken north east to Capel town centre via Ludlow Road North, Stirling Road and Bussell Highway.
<b>A3.2 Public Road</b> A public road is to meet the requirements in Table 6, Column 1.	Compliance with this element is achieved.	No new roads are proposed as part of this development. All roads listed above are well built public roads.
<b>A3.3 Cul-de-sac (including a dead-end road)</b> Where no alternative exists (i.e. the lot layout already exists, demonstration required): <ul style="list-style-type: none"> <li>Requirements in Table 6, Column 2;</li> <li>Maximum length: 200 m (if public emergency access is provided between cul-de-sac heads maximum length can be increased to 600 m provided no more than eight lots are serviced and the emergency access way is no more than 600 m); and</li> <li>Turn-around area requirements, including a minimum 17.5 metre diameter head.</li> </ul>	Not applicable to this Site.	

### Bushfire Protection Criteria - Element 3 - Vehicular Access

#### A3.4 Battle-axe

Not applicable to this Site.

Where no alternative exists,  
(demonstration required):

- Requirements in Table 6, Column 3;
- Maximum length: 600 m; and
- Minimum width: 6 m.

#### A3.5 Private driveway >50m

Compliance with this element is achieved.

The location of buildings within the Lots may result in a private driveway greater than 50 m. Any driveway over 50 m will comply with the requirements in the Guidelines.

- Requirements in Table 6, Column 3;
- Required where a house site is more than 50 m from a public road;
- Passing bays: every 200 m with a minimum length of 20 m and a minimum width of 2 m;
- Turn-around areas designed to accommodate type 3.4 fire appliances and to enable them to turn around safely every 500 m (i.e. kerb to kerb 17.5 m) and within 50 m of a house;
- Any bridges or culverts are able to support a minimum weight capacity of 15 t; and
- All-weather surface (i.e. compacted gravel, limestone or sealed).



### Bushfire Protection Criteria - Element 3 - Vehicular Access

#### A3.6 Emergency Access Way

Not applicable to this Site.

Where no alternative exists (demonstration required), an emergency access way is to be provided as an alternative link to a public road during emergencies:

- Requirements in Table 6, Column 4;
- No further than 600 m from a public road;
- Provided as right of way or public access easement in gross to ensure accessibility to the public and fire services during an emergency; and
- Must be signposted

### Bushfire Protection Criteria - Element 3 - Vehicular Access

#### A3.7 Fire Service Access Routes (perimeter roads)

Not applicable to this Site.

To provide access within and around the edge of the subdivision and related development to provide direct access to bushfire prone areas for fire fighters and link between public road networks for firefighting purposes:

- Requirements Table 6, Column 5;
- Provided as right of ways or public access easements in gross to ensure accessibility to the public and fire services during an emergency;
- Surface: all-weather (i.e. compacted gravel, limestone or sealed);
- Dead end roads are not permitted;
- Turn-around areas designed to accommodate type 3.4 appliances and to enable them to turn around safely every 500 m (i.e. kerb to kerb 17.5 m);
- No further than 600 m from a public road;
- Allow for two-way traffic; and
- Must be signposted.

#### A3.8 Firebreak Width

Lots greater than 0.5 ha must have an internal perimeter firebreak of a minimum width of 3 m or to the level as prescribed in the local firebreak notice issued by the local government.

Compliance with this element is achieved.

The lots are classified Category 1, Rural (Lot 1) and Category 6, Rural Residential (Lots 2, 3 and 4) on the City of Busselton Firebreak and Fuel Hazard Reduction Notice (Appendix A). This requires minimum 2 m (Rural) and 3m (Rural Residential) wide internal firebreaks immediately inside all boundaries of the lots. (Refer to Figure 5).

Bushfire Protection Criteria - Element 4 - Water		
<b>Intent:</b> To ensure that water is available to the subdivision, development or land use to enable people, property and infrastructure to be defended from bushfire.		
<b>Performance Principle P4:</b> The subdivision, development or land use is provided with a permanent and secure water supply that is sufficient for fire fighting purposes.		
Acceptable Solution	Compliance	Assessment Statements
<b>A4.1 Reticulated Areas</b> The subdivision, development or land use is provided with a reticulated water supply in accordance with the specifications of the relevant water supply authority and Department of Fire and Emergency Services.	Not applicable to this Site.	
<b>A4.2 Non-reticulated Areas</b> Water tanks for fire fighting purposes with a hydrant or standpipe are provided: <ul style="list-style-type: none"> <li>Volume: minimum 50,000 L per tank;</li> <li>Ratio of tanks to lots: minimum one tank per 25 lots (or part thereof);</li> <li>Tank location: no more than 2 km to the further most house site within the residential development to allow a 2.4 fire appliance to achieve a 20 minute turnaround time at legal road speeds;</li> <li>Hardstand and turn-around areas suitable for a type 3.4 fire appliance (i.e. kerb to kerb 17.5 m) are provided within 3 m of each water tank; and</li> <li>Water tanks and associated facilities are vested in the relevant local government.</li> </ul>	Not applicable to this Site.	A 50,000 L water tank will be installed with hardstand and turn-around area suitable for a type 3.4 fire appliance (Figure 5). This water tank will be located in Lot 5 with the Lot vested to the City of Busselton.

#### Bushfire Protection Criteria - Element 4 - Water

**A4.3 Individual lots within non-reticulated areas (only for 1 additional lot)** Not applicable to this Site.

Single lots above 500 m<sup>2</sup> need a dedicated static water supply on the lot that has the effective capacity of 10,000 L.

## 5.2 Performance Based Solutions

The Site assessment was conducted in accordance with AS 3959-2009 Simplified Procedure (Method 1). The Proposal meets all the compliance requirements for the four Bushfire Protection Criteria Elements. There are no performance-based solutions proposed.

## 5.3 Summary of the Assessment Outcomes

This plan provides acceptable solutions and responses to the performance criteria outlined in the Guidelines for Planning in Bushfire Prone Areas (WAPC, Dec 2017).

The layout and design of the development is such that no structure will be required to be exposed to a radiant heat flux in excess of  $29\text{kW/m}^2$  (BAL-29) provided the management as outlined in the plan is adopted.

Any class 1,2, 3 or associated 10a structure that are to be constructed, or additions planned to existing dwellings shall be designed and built to conform with Australian Standards AS3959-2009:

- BAL-29: sections 3 & 7;
- BAL-19 sections 3 & 6; and
- BAL 12.5 sections 3 & 5.

A summary of the Bushfire Management Strategies to be implemented is provided in Figure 5.

## Spatial representation of the proposed risk management measures



### LEGEND

- Site
- Proposed Lots
- Building Envelopes
- Water Tank Location
- Internal firebreaks
- Existing Dwelling
- 25 m Building Protection Zone
- Area Managed in a Low Fuel State

### PROPERTY / ASSESSMENT DETAILS

Owner: E Hannaford  
 Property Address: 77 Johnson Road, Wilyabrup  
 Project No: 18566  
 Prepared by: K Paterson  
 Accreditation Level: Level 2  
 Accreditation Number: 38253  
 Accreditation Expiry Date: 02/19



0 250 100 150 200  
 Meters

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 www.ecosystemsolutions.com.au  
 (08) 9759 1960

### NOTES

The minimum width for the Asset Protection (APZ) for this Site is the distance required to meet the BAL-29 setback. The Area within Lots 2, 3 and 4 and the northern portion of Lot 1 will be maintained as an APZ. Vegetation within the APZ is to comply with Schedule 1 Element 2 of the Guidelines noting that:

- Trees >5m in height are to be setback a minimum distance of 6m from the building with no branches overhanging the roof.
- Shrubs >5m in height are to be setback a minimum distance of 3m from the building, and not planted in clumps greater than 5 sqm
- Grass is to be maintained at less than 100mm in height.

All dwellings within the Site, including the existing dwelling, require a 25 m Building Protection Zone around the perimeter of the dwelling, managed according to the City of Busselton Firebreak and Fuel Hazard Reduction Notice.

A 50,000 L water tank dedicated for fire fighting, with a 50 mm male coupling and hardstand suitable for a type 3.4 fire appliance, will be installed and vested to the City of Busselton.

Any driveway longer than 50 m will comply with the requirements of the Guidelines (A3.5). Any gates along the driveway will have a minimum width of 3.6m.

Internal perimeter firebreaks are required within the Lots, and will be managed in accordance with the City of Busselton Firebreak and Fuel Hazard Reduction Notice.

Installation and upkeep of the APZ, BPZ, firebreaks and the driveway are the responsibility of the landowner. The installation of the water tank is the responsibility of the Developer, and will then become the responsibility of City of Busselton once vested. The measures listed above shall be implemented prior to the occupation of the dwelling and shall continue to be maintained in perpetuity.

Figure 5 Map of Bushfire Management Strategies

## 6 Responsibilities for Implementation and Management of the Required Bushfire Measures

The responsibilities for the Developer, Builder, Landowner/Occupier and Local Government are outlined in Table 3, Table 4, Table 5 and Table 6 respectively.

**Table 3** *Developer Responsibilities*

Number	Action	Due	Completed
1	Establish the Building Envelopes within Lots 2, 3 and 4 to the dimensions and standard stated in the Bushfire Management Plan.	Post planning approval and prior to lot sale	<input type="checkbox"/>
2	Install a 50,000 L water tank with hardstand suitable for a type 3.4 fire appliance.	Post planning approval and prior to lot sale	<input type="checkbox"/>
3	Vest the 50,000 L water tank to the City of Busselton.	Post planning approval and prior to lot sale	<input type="checkbox"/>
4	Provide a copy and obtain endorsement of this Bushfire Management Plan by those with responsibility under this plan including Builders, Landowners/Occupiers and City of Busselton.	Post planning approval and prior to lot sale	<input type="checkbox"/>

**Table 4** *Builder Responsibilities*

Action	Action	Due	Completed
1	Be aware of the existence of any BMP that refers to the Site	Prior to any building work.	<input type="checkbox"/>
2	Ensure the building or incidental structure to which a building permit applies is compliant on completion with the bushfire provisions of the Building Code of Australia (BCA) as it applies in WA.	Prior to any building work.	<input type="checkbox"/>

**Table 5** *Landowner / Occupier Responsibilities*

Number	Action	Due
1	Install driveways and buildings in compliance to the dimensions and standard stated in the Bushfire Management Plan.	Prior to occupancy
2	Maintain the Asset Protection Zone (APZ), Building Protection Zone (BPZ) and low fuel state areas to the dimensions and standard stated in the Bushfire Management Plan.	Ongoing



Number	Action	Due
3	Maintain existing Firebreaks and install required Firebreaks within each Lot to comply with this Bushfire Management Plan.	Ongoing
4	Comply with the relevant local government annual firebreak notice issued under s33 of the <i>Bush Fires Act 1954</i> .	Ongoing
5	Maintain vehicular access routes within the lot to the required surface condition and clearances.	Ongoing
6	Ensure that any builders (of future structures on the Lot) are aware of the existence of this Bushfire Management Plan and the responsibilities it contains regarding the application of construction standards corresponding to the determined BAL rating.	Ongoing
7	Ensure all future buildings the landowner has responsibility for, are designed and constructed in full compliance with: (a) the requirements of the WA Building Act 2011 and the bushfire provisions of the Building Code of Australia (BCA) as applicable to WA; and (b) with any identified additional requirements established by this BMP or the relevant local government.	Ongoing
8	Updating the Bushfire Management Plan may be required to ensure that the bushfire risk management measures remain effective. Bushfire plans do not expire and are a 'living document'. Updating is required in certain circumstances, including (but not limited to) if site conditions change, if further details are required at subsequent development stages or to reflect new technologies or methodologies in best practice bushfire risk management ('Guidelines' s4.6.4 and s4.6.5).	Ongoing

**Table 6**     *City of Busselton Responsibilities*

Number	Action	Due
1	Maintain the water tank and associated area in good working condition.	Ongoing
2	Monitor landowner compliance with the annual firebreak notice.	Ongoing
3	Develop and maintain district bushfire fighting services and facilities.	Ongoing
4	Promote education and awareness of bushfire prevention and preparation measures through the community.	Ongoing
5	Administer the requirements of the <i>Bush Fire Act 1954</i> , <i>Planning and Development Act 2005</i> and the <i>Building Act 2011</i> .	Ongoing

## Appendix A      City of Busselton Firebreak & Fuel Hazard Reduction Notice

### BUSH FIRES ACT 1954

#### PROPERTY COMPLIANCE REQUIREMENTS

Compliance inspections of land will be carried out from 16 November 2017, to assess landowner(s) or occupier(s) of land compliance with the City of Busselton Firebreak and Fuel Hazard Reduction Notice.

- Rural Residential, Urban and Industrial Land requirements must be compliant by **16 November 2017**
- Rural Land requirements must be compliant by **15 December 2017**

Local Government may serve a notice pursuant to Section 33 of the Bush Fire Act 1954, requiring the property owner to undertake any extra work to reduce the impact of a fire

- Rural Residential, Urban and Rural Land requirements **must be maintained** in accordance with the table overleaf until **12 May 2018** or a later date if the compliance period is extended, in which case a notice will be placed in the local newspaper

#### FIRE PERMITS

- Permits to burn are required for the whole of the restricted periods and can only be obtained from the Fire Control Officer for your area
- Permits are to be obtained before burning commences (the permit holder must be in possession of the permit during the burn)

#### FIRE PERMIT APPLICATION

Before you call a Fire Control Officer ensure you have the following information

- Who will be the three able bodied persons in attendance at all times whilst the fire is alight including contact phone number?
- What is the address of the property for which the permit applies?
- What fire fighting equipment and resources will you have at the fire front and is it in good working order?
- What is the size of burn to take place?
- Are there firebreaks installed and can a fire unit get access to the area?
- What material are you burning? Is it dry? Are there any plastics, tyres, treated posts or woods in the piles or area to be burnt? If so, remove them to a safe place.
- Ensure you give 72 hours notice to the Fire Control Officer first; and
- Ensure you notify neighbours 72 hours prior to commencing your burn

For further advice, contact your local Fire Control Officer, as advertised in the City of Busselton's Community Directory or on the City of Busselton website [www.busselton.wa.gov.au](http://www.busselton.wa.gov.au)

#### GENERAL REQUIREMENTS

- Garden Refuse Urban Areas (Town sites): No garden refuse is permitted to be burnt on the ground, in the open air or in an outdoor incinerator within the urban areas of Busselton and Dunsborough town sites at any time of the year
- Garden Refuse Rural Residential Areas (non-Town sites): The burning of garden refuse is prohibited from 14 December to 28 February. During the restricted burning period, 2 November to 14 December and 1 March to 12 May each year, permits are required to be obtained from the Fire Control Officer in your area for the burning of any garden refuse
- Burning of toxic materials and rubbish is prohibited at all times
- Camp fires are prohibited within the City during the restricted and prohibited burning period
- Wood and coal fuelled barbecues, including wood fired pizza ovens and chimineas are banned during a total fire ban or in any period when the fire danger forecast is 'Very High' or above
- Wood fired pizza ovens must have a spark arrestor fitted
- Warning: The use of electric fences during periods of 'Very High' or above may cause fire
- Owners of tractors with down swept exhaust systems are encouraged to have an approved spark arrestor fitted as provided in the Bush Fires Act 1954 Regulations
- Welding, Cutting and Grinding Equipment: A person shall not operate this equipment during the restricted/prohibited burning times on land which is under crop, pasture, stubble and bush unless one working fire extinguisher is provided, work area is clear of flammable materials and there is compliance with any other controls required by a Fire Control Officer.
- Welding, cutting and grinding equipment is not permitted to be used anywhere within the City of Busselton when the fire index is 'extreme' or above

#### FIRE DANGER RATING

For the current fire danger rating visit Department of Fire & Emergency Services (DFES) website [www.dfes.wa.gov.au](http://www.dfes.wa.gov.au) or Bureau of Meteorology (BOM) website [www.bom.gov.au](http://www.bom.gov.au)

#### CONTRACTORS

Please be advised, if you engage a contractor to gain compliance with this notice it is the property owner, **not the contractor**, who is responsible for the standard and quality of the fire prevention work undertaken and required to be compliant by 16 November (or 15 December if Rural Land) each year and maintained as per this notice throughout while the fire season.

#### CONTACT US

For further fire safety information visit the City of Busselton website [www.busselton.wa.gov.au](http://www.busselton.wa.gov.au) or Department of Fire & Emergency Services (DFES) website [www.dfes.wa.gov.au](http://www.dfes.wa.gov.au)

#### IMPORTANT DATES

The below dates may change due to seasonal fire conditions in which case details will be published in the local newspaper.

#### RESTRICTED

**BURNING PERMITS ARE REQUIRED FROM**  
**2 November 2017 to 14 December 2017 inclusive**  
**and**  
**1 March 2018 to 12 May 2018 inclusive**

#### BURNING PROHIBITED


**15 December 2017 to 28 February 2018 inclusive**  
**(ALL FIRES PROHIBITED)**

#### COMPLIANCE DATE

- Completion of firebreaks/fuel hazard reduction on all rural residential, urban and industrial land is required to be completed by **16 November 2017** and must be maintained until **12 May 2018**
- Completion of firebreaks/fuel hazard reduction on all rural land is required to be completed by **15 December 2017** and must be maintained until **12 May 2018**
- Burning on Sundays and public holidays during the restricted fire season is prohibited


Applications for a variation of this the Firebreak and Fuel Hazard Reduction Notice, where ground considerations or environmental concerns prevent compliance with the requirements of this Notice, must be lodged in writing together with a Firebreak and Fuel Hazard Reduction Notice Variation Form, prior to **31 October 2017**.

*The hardest aspect of fire prevention is explaining to your family why you didn't undertake any!*




*Actions speak louder than words and actions save lives*

Should you require further clarification of the information contained in this notice please do not hesitate to contact the City's Ranger and Emergency Services Department on (08) 9781 0444.



## FIREBREAK AND FUEL HAZARD REDUCTION NOTICE




### 2017/2018 BUSH FIRE SEASON FIRST AND FINAL NOTICE

**Bush Fires Act 1954**

Take notice that pursuant to Part 3 Division 6 Section 33 of the Bush Fires Act 1954, landowner(s) or occupier(s) of land shall construct firebreaks and carry out fire prevention work in accordance with the City of Busselton Firebreak and Fuel Hazard Reduction Notice.

Failure to comply with this notice may result in a  
**\$5,000 FINE**

Fire Prevention Starts with You!



**RING 000 FOR ALL FIRES**



CATEGORY	FIREBREAK CATEGORY CODE AND SUMMARY OF REQUIREMENTS			
	A	B	C	D
<p><b>CATEGORY 1</b></p> <p>It is the land owner's responsibility to identify the category that relates to their property and to ensure the necessary fire prevention works are completed on time. Please contact the City if you are unsure of your category.</p>				
<p><b>RURAL</b></p> <p>Peep plantation and vineyards.</p> <p>(For tourist chalets, refer to Estate Fire Management Plan or Individual Fire Management Plan)</p> <p>Sections A, C and D apply to this category.</p>	✓	✓	✓	<p><b>A - Firebreak</b> - The term firebreak includes a mineral earth firebreak. A mineral earth firebreak means a 3 metre wide area of the owner(s)/occupier(s) land, cleared and maintained totally clear of all vegetation material (living or dead) so there is only mineral earth left. Any overhanging trees and other vegetation must be pruned to a height of 5 metres above the ground level of a mineral earth firebreak.</p> <p>Category 1 - Rural: A mineral earth FIREBREAK shall be constructed 3 metres wide, except in pasture or crop areas where a FIREBREAK shall be 2 metres wide. FIREBREAKS shall be located adjacent to all external boundaries of the land. Where the land area exceeds 120 hectares, an additional FIREBREAK must divide the land into areas of not more than 120 hectares with each part completely surrounded by a FIREBREAK.</p> <p>Category 2 - Urban Residential and Industrial-Commercial: Where the area of land exceeds 2024m<sup>2</sup> (½ acre) a mineral earth FIREBREAK shall be constructed and maintained at least 3 metres wide and within 6 metres of the inside of all external boundaries of the land. Where the area of land is 2024m<sup>2</sup> (½ acre) or less, hazardous material must be removed in accordance with section B - Fuel Reduction (refer to E3).</p> <p>Category 5 - Protea Plantations/Vineyards: A mineral earth FIREBREAK shall be 3 metres wide. A low fuel area is to be maintained in accordance with section B - Fuel Reduction (refer to B2).</p> <p>Category 6 and 7 - Rural Residential: A mineral earth FIREBREAK shall be constructed 3 metres wide. On Category 6 Rural Residential land with pasture or crop, a FIREBREAK shall be 2 metres wide and located within 6 metres of all external boundaries of the land. For Category 7 Rural Residential land, free access along a Strategic FIREBREAK is to be maintained at all times and including across the boundary of a lot, by means of a 3.5 metres wide field gate in the adjoining lot boundary fence.</p>
<p><b>CATEGORY 2</b></p> <p>URBAN RESIDENTIAL &amp; INDUSTRIAL - COMMERCIAL</p> <p>Sections A, B, D and E1 Trees, apply to this category. Refer to section E - Interpretation and Additional Requirements (E1 Trees).</p>	✓	✓	✓	<p><b>B - Fuel Reduction</b></p> <p>1) Category 2 - Urban Residential and Industrial-Commercial: Where the area of land is 2024m<sup>2</sup> (½ acre) or less, ALL HAZARDOUS MATERIAL must be removed from the whole of the land except living trees. In the area remaining, vegetation is to be maintained to a height of no greater than 10 centimetres; this includes piles of timber, branches and other vegetation.</p> <p>2) Category 5 - Protea Plantations/Vineyards: A 5 metre low fuel area is to be maintained between the 3 metre FIREBREAK and the plantation/vineyard area. In this area, vegetation is to be maintained to a height of no greater than 10 centimetres; this includes piles of timber, branches and other vegetation.</p> <p>3) Category 6, 7 and 8 - Rural Residential: Parkland clearing must be carried out in all open paddocks and along the boundary of the property. Clearing means that all dead vegetation and dry grasses (excluding approved crops, pasture areas and living trees/shrubs) including piles of timber and disused materials must be maintained to a height of no greater than 10 centimetres.</p>
<p><b>CATEGORY 3 &amp; 4</b></p> <p>PLANTATIONS</p> <p>Fire Management Plan applies</p>	N/A	N/A	N/A	<p><b>C - Building Protection Zones (BPZ)</b> - This is a modified area of reduced fuel immediately surrounding a building.</p> <p>BPZ's serve the fire by reducing the fuel levels around your house. These requirements are designed to reduce the fire's intensity and minimise the likelihood of flame contact with buildings. The BPZ gives more protection to families should a fire threaten suddenly and they cannot leave. It also provides extra protection for fire fighters and property owners who may decide to stay with their property.</p> <p>A BPZ shall be provided for buildings in bush fire prone areas. The surroundings of buildings must comply with the following requirements:</p> <ol style="list-style-type: none"> <li>The BPZ for existing buildings must be at least 20 metres from any external wall of the building unless varied under an approved Fire Management Plan (FMP) in accordance with section E - Interpretation and Additional Requirements (refer to E4).</li> <li>The minimum BPZ for buildings constructed after 1 November 2013, in all cases shall be 25 metres.</li> <li>The BPZ must be located within the boundary of the lot that the building is situated on.</li> <li>Hazardous/flammable materials must not exceed the maximum fuel load specified in Point 5 below with grass areas not exceeding a height greater than 10 cm.</li> <li>Fuel loads must be reduced and maintained at 2 tonnes per hectare.</li> <li>Isolated trees and shrubs may be retained, however, the first 5 metres around all buildings is to be clear of all hazardous/flammable materials.</li> <li>Reticulated gardens in the BPZ shall be maintained to a height of no greater than 500 millimetres.</li> <li>Wood piles must be at least 10 metres away from habitable dwellings.</li> <li>Trees in the BPZ must comply with section E - Interpretation and Additional Requirements (refer to E1).</li> <li>Where the land has an approved FMP, compliance must be achieved in accordance with the FMP. The FMP may vary the above BPZ requirements.</li> <li>A Hazard Separation Zone (HSZ) is also recommended in the absence of a Fire Management Plan. Section E - Interpretation and Additional Requirements (refer to E3).</li> </ol>
<p><b>CATEGORY 5</b></p> <p>PROTEA PLANTATIONS / VINEYARDS</p> <p>(For tourist chalets, refer to Estate Fire Management Plan or Individual Fire Management Plan)</p> <p>Sections A, B, C and D apply to this category.</p>	✓	✓	✓	<p><b>D - Fuel Storage &amp; Haystack Protection Zones</b></p> <p>A 3 metre mineral earth FIREBREAK shall be located within 6 metres of fuel storage tanks, sheds, gas cylinders and haystacks. The mineral earth firebreak shall be maintained so that it is totally clear of all material (living or dead).</p>
<p><b>CATEGORY 6</b></p> <p>RURAL RESIDENTIAL - LOTS WITH INDIVIDUAL (MINERAL EARTH) BOUNDARY BREAKS</p> <p>Sections A, B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>	✓	✓	✓	<p><b>E - Interpretation and Additional Requirements</b></p> <p>1) <b>Trees</b> On Urban, Industrial, Rural, and Rural Residential land, all tree branches must be removed or pruned to ensure a clear separation of at least 3 metres back from the eaves of all buildings and 5 metres above the top of the roof. Branches that may fall on the house must also be removed. In the BPZ the following is 'recommended'; the spacing of individual or groups of trees should be 15 metres apart to provide for a 5 metres separation between tree crowns. There is also a requirement of 2.5 metres between trees and power lines so they do not come into contact and start a fire or bring down a power line.</p> <p>2) <b>Hazardous and Flammable Materials</b> means the accumulation of fuel (living or dead) such as leaf litter, twigs, trash, bush, dead trees and scrub capable of carrying a running fire, but excludes standing living trees and isolated shrubs.</p> <p>NOTE: All remaining vegetation, piles of timber, branches and other living vegetation must be maintained to a height of no greater than 10 centimetres. To measure and determine fuel loads use DFES's Visual Fuel Load Guide - at <a href="http://www.dfes.wa.gov.au/safetyinformation/fire/bushfire/pages/publications.aspx#5">http://www.dfes.wa.gov.au/safetyinformation/fire/bushfire/pages/publications.aspx#5</a> and select Visual Fuel Load Guide Swan Coastal (Part 1 &amp; 2). Surface bush fire fuels should be kept low to the ground.</p> <p>3) <b>Hazard Separation Zones (HSZ)</b> A HSZ is a modified area of reduced fuel load outside of the BPZ and is recommended to assist in reducing the fire's intensity when flames are approaching buildings. Both the BPZ and the HSZ are essential strategies for the protection of buildings. A HSZ covers the area 75 metres outside the BPZ.</p> <p>The HSZ should be modified to have a maximum fuel load of 6-8 tonnes per hectare. This can be implemented by fuel reduction methods such as burning, mowing and slashing to remove the hazard. This should not require the removal of living trees or shrubs. REMEMBER: reduce the fuel level of the fire to lower the intensity of the blaze. Further information on fuel loading can be found in the Visual Fuel Load Guide available by calling DFES or via their website at <a href="http://www.dfes.wa.gov.au">www.dfes.wa.gov.au</a></p> <p>4) <b>Fire Management Plan (FMP)</b> A FMP is a comprehensive plan for the prevention and control of bushfires which may apply to individual land holdings. A notification, pursuant to the Transfer of Land Act 1893 (as amended) may be placed on the Certificate(s) of Title of the land for medium to long term fire management to reduce the occurrence and minimise the impact of uncontrolled bush fires, thereby reducing the threat to life, property and the environment. The land owner must comply with the FMP. Building in bush fire prone areas, new dwellings and other forms of accommodation, as well as additions to existing buildings are to be constructed in accordance with Australian Standard 3959-2009. In designated bush fire prone areas, the minimum BPZ in all cases shall be 25 metres. Further information on this and other information relating to fire safety issues can be found on the City's website <a href="http://www.busselton.wa.gov.au">www.busselton.wa.gov.au</a></p>
<p><b>CATEGORY 7</b></p> <p>RURAL RESIDENTIAL - LOTS WITH A STRATEGIC FIREBREAK ON ONE OR MORE BOUNDARIES</p> <p>Sections A, B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>	✓	✓	✓	
<p><b>CATEGORY 8</b></p> <p>RURAL RESIDENTIAL - LOTS WITH A STRATEGIC FIREBREAK AREA WITH NO STRATEGIC FIREBREAKS ON THE LOT BOUNDARIES</p> <p>Sections B, C and D apply to this category unless the property is subject to Estate Fire Management Plan or Individual Fire Management Plan</p>	✓	✓	✓	

## **APPENDIX THREE – DETERMINATION OF WETLAND BOUNDARIES (Prepared by Onshore Environmental)**



Onshore Environmental Consultants Pty Ltd  
PO Box 227, Yallingup, WA 6282  
0427 339 842  
Tel/Fax: 08 9756 6206  
ABN 41 095 837 120

Tim Koroveshi  
Town Planning Consultant  
64 Espinos Road  
Busselton WA 6280

6<sup>th</sup> June 2018

**Determination of Wetland Boundaries at Lot 7 Forrest Beach Road, Wonnerup**

Dear Tim

Thank you for your recent enquiry regarding definition of wetland boundaries at Lot 7 Forrest Beach Road, Wonnerup, on behalf of the private landholder Mr and Mrs Mark and Sandra Sims. As you are aware, Onshore Environmental has worked on similar projects at a number of sites fringing the Vasse Wonnerup Estuary and surrounds. This work has involved defining riparian zones, undertaking baseline flora and vegetation surveys, and planning and implementing native revegetation programs.

The wetland at Lot 7 Forrest Beach Road has been defined using the following combination of layers:

- 1) High resolution aerial photography at 1:5,000 scale was utilised to define the boundary of hydric soils. The hydric soils are easily identified by the darker, smoother shading pattern resulting from seasonal inundation and the typical samphire vegetation layer; and
- 2) Mapping the 'Quindalup Very Wet Saline Flats (Qwy)' layer as defined by Tille and Lantzke (1990). The Qwy unit occurs in low-lying depressions which are seasonally inundated during winter months and saline in summer.

The above layers corresponded accurately along the majority of the wetland with a maximum differentiation of  $\pm 30$  metres. The wetland area within Lot 7 Forrest Beach Road has been mapped (green solid line in attached Figure 1) and a 30 metre buffer applied to either side of the wetland (dotted green line in attached Figure 1). This boundary has then been compared with the wetland boundary proposed by the Department of Biodiversity Conservation and Attractions (DBCA) (grey dotted line in attached Figure 1). The Qwy unit with a 30 metre buffer covers 10.64 hectares. The area delineated by DBCA covers 13.48 hectares, which includes a large proportion of the 'Quindalup Wet Flats (Qw)' land unit defined by Tille and Lantzke (1990).

If you require any further detail on points listed above, please do not hesitate to make contact at any time on 0427339842.

Yours sincerely

Darren Brearley  
**Managing Director and Principal Botanist**

**Referenes**

Tille P.J. and Lantzke N.C. The Busselton-Margaret River-Augusta Land Capability Study, Land Resource Series No. 5 Western Australian Department of Agriculture, 1990.







## **APPENDIX FOUR – COASTAL INUNDATION ASSESSMENT REPORT (Prepared by Seashore Engineering)**



Our Ref: SE103\_01B  
Project: SE103  
Your ref: email

07 April 2020

Tim Koroveshi  
c/Lot 7 Forrest Beach Rd  
Wonnerup  
City of Busselton

## Lot 7 Forrest Beach Road – Coastal Inundation

### 1. Background

There is a draft Structure Plan for Lot 7 (86) Forrest Beach Road, Wonnerup in the City of Busselton, that is currently with the Department Planning, Lands and Heritage (DPLH) for final endorsement. This Structure Plan has been developed by Tim Koroveshi on behalf of Mark and Sandra Sims, the landowners (Figure 1). Three additional 2 ha lots are proposed in return for creating 13.5 ha of reserve land adjacent to the Wonnerup Inlet, based upon the opportunities available under the Busselton Wetlands Conservation Strategy (Tim Koroveshi, email, 07/02/2020).

### 2. Scope

Seashore Engineering inspected the site on 13/02/2020 and was engaged on 21/02/2020 to undertake a limited scope of work. This is the basis of this report and includes a brief review of plans provided to date, description of the site and surrounding area, risk mitigation associated with Finished Floor Levels (FFLs) of 3.8mAHD, scope for further modelling of inundation levels and general advice on drainage in terms of the wider hydraulics of the Wonnerup Inlet, rather than site stormwater drainage.

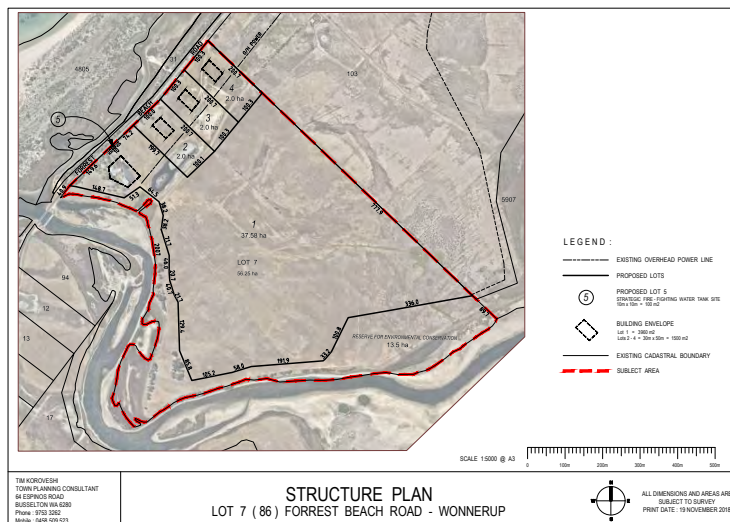


Figure 1 – Lot 7 (86) Forrest Beach Road – Structure Plan



### 3. Site Inspection

The site was inspected briefly on 13 February and the following was noted in the context of the potential for storm surge inundation:

- There is a reasonably well developed coastal dune barrier immediately west of the site, with the eastern arm of the Wonnerup Inlet (the 'Deadwater') and Forrest Beach Road sited between Lot 7 and the coast.
- The Wonnerup Inlet provides a pathway for coastal flooding within the Inlet.
- The Wonnerup Surge barrier limits flooding of upstream areas (Wonnerup Estuary) and mitigates potential storm surge inundation of Lot 7 under operating conditions for the storm surge barrier.
- The site is developed agricultural land that is higher towards Forrest Beach Road, where the new lots are proposed, then falls away in elevation to the south.



*Figure 2 - Site photos of Lot 7 from Forrest Beach Rd. Site is generally cleared agricultural land with Wonnerup Estuary in background.*



*Figure 3 – Surrounding Area including Wonnerup Inlet (upper), Wonnerup Surge Barrier on Forrest Beach Road (middle) and Wonnerup Estuary upstream of the surge barrier (right).*



#### 4. Coastal Flooding – Risk Mitigation

##### 4.1 Water Levels

Development along the Geographe Bay foreshore is focussed on the low lying beach ridge between the sandy shoreline and the shore parallel estuaries and coastal lagoons. This beach ridge is geologically relatively stable but is subject to erosion and coastal flooding (storm surge inundation).

The highest ocean water level recorded in Geographe Bay was 1.76mAHD during Tropical Cyclone Alby in April-1978. This level is one meter above highest astronomic tide (HAT). The extent of storm surge inundation in Wonnerup was surveyed by Public Works follow the event, with levels of 1.8m to 2.1mAHD observed within Wonnerup Inlet, together with damage to the Wonnerup causeway (Figure 4).

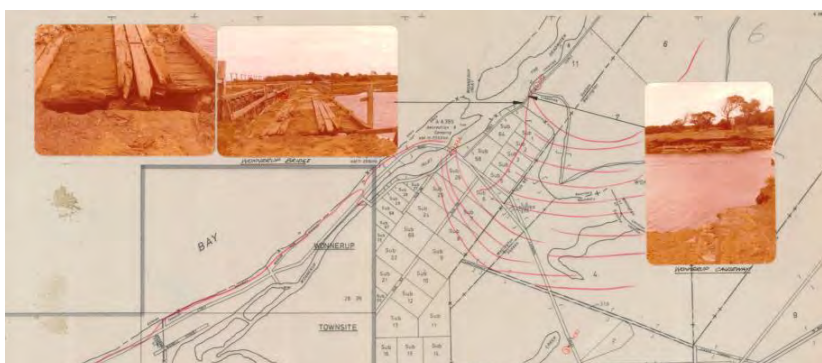


Figure 4 - Wonnerup Post Tc Alby Survey (PWD 51019-8)

Non-cyclonic events can also cause significant storm surges. There have been at least 11 events recorded since 2002 with ocean water levels within 0.5m of the peak recorded at Busselton Jetty for TC Alby. This exposure to storm surges along Geographe Bay is associated with a relatively shallow bathymetry and north facing coastline.

Tidal planes for Busselton are summarised in Table 1. Extreme value analysis of 14 years of tide gauge data has been used to assess non-cyclonic high water levels, with the 100yrARI water level estimate in the order of 2.0mAHD (Table 2).

Table 1 Tidal Planes for Busselton (mAHD) [1]

Tidal Level	LAT	MLLW	MHLW	AHD	MSL	MLHW	MHHW	HAT
Water Level (mAHD)	-0.68	-0.23	-0.12	0.0	0.13	0.37	0.48	0.76
% Time Submerged	100	90	84	74	62	37	27	8

Table 2 Non-Cyclonic High water Level extremes (mAHD)[2]

Average Return Interval (years)	1	10	25	50	100	200	500
Non-Cyclonic High Water Level (mAHD)	1.2	1.6	1.8	1.9	2.0	n/a	n/a

Note: Low confidence in 100yrARI estimate due to length of data record being limited to 14 years.



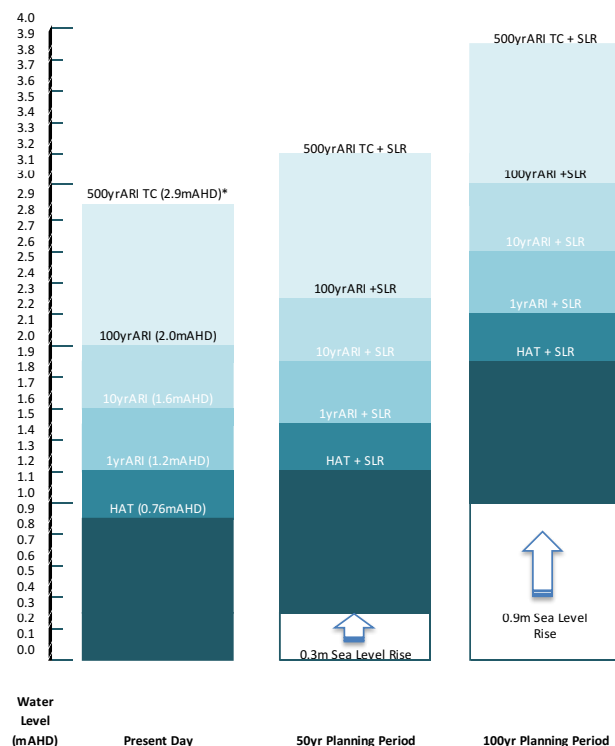
Guidance is provided on preliminary design water levels for the southwest region in the absence of site specific tropical cyclone modelling (Table 3). The 500yrARI preliminary design water level for Busselton is 2.9mAHd. This includes wave set-up but not wave runup. It is noted that this is a conservative estimate for planning purposes, and is more than 1 meter higher than observed water levels during TC Alby.

Table 3 Preliminary Design Water Levels for Tropical Cyclones (mAHd) [3].

Average Return Interval (years)	10	25	50	100	200	500
Preliminary Design Water Levels for Tropical Cyclones (mAHd)	1.4	1.7	2.0	2.3	2.5	2.9

Guidance is provided by Department of Transport on allowances for sea level rise, with a 0.9m allowance mandated over a 100yr planning period [4]. Storm surge inundation levels for various return intervals and planning periods are shown schematically in Table 4.

Table 4 Busselton – Planning for Coastal Inundation (Storm Surge).



#### 4.2 Vasse-Wonnerup Wetlands (Flooding and Drainage Pathways)

The Vasse Wonnerup wetlands are managed by a range of State Government agencies. Water Corporation manages the catchment's drainage network (known as the Busselton Drainage District) including the Vasse Estuary and Wonnerup Estuary surge barriers, to protect Busselton from storm surges and flooding. The surge barriers are operated following guidelines developed in 1990, which control water levels in the Vasse-Wonnerup wetlands for the protection of lands upstream of the surge barriers from storm surges, summer seawater inundations and winter flooding. These barriers





prevent flooding of the surrounding agricultural land during high river flows in winter and sea water inundation [4].

There are three potential pathways for coastal inundation of Lot 7 (Figure 4):

- Inundation and deflation of coastal dunes in front of the Deadwater (wave attack)
- Coastal flooding through the Wonnerup Inlet entrance, across Forrest Beach Road and the north western boundary.
- Inundation of the Vasse Storm Surge Barrier and abutments, allowing water to flood the Vasse Estuary and across the south eastern boundary of Lot 7.

There are 200m wide dunes to 3.0mAHd between Geographe Bay and the Deadwater that protect Lot 7 from direct wave attack during storm surge events. Inundation through the entrance of Wonnerup Inlet is possible with the road level in the order of 2.0mAHd, nominally the 100yrARI event. Flooding in the Vasse Estuary is mitigated by the Vasse Storm Surge barrier, but could occur during extreme events.

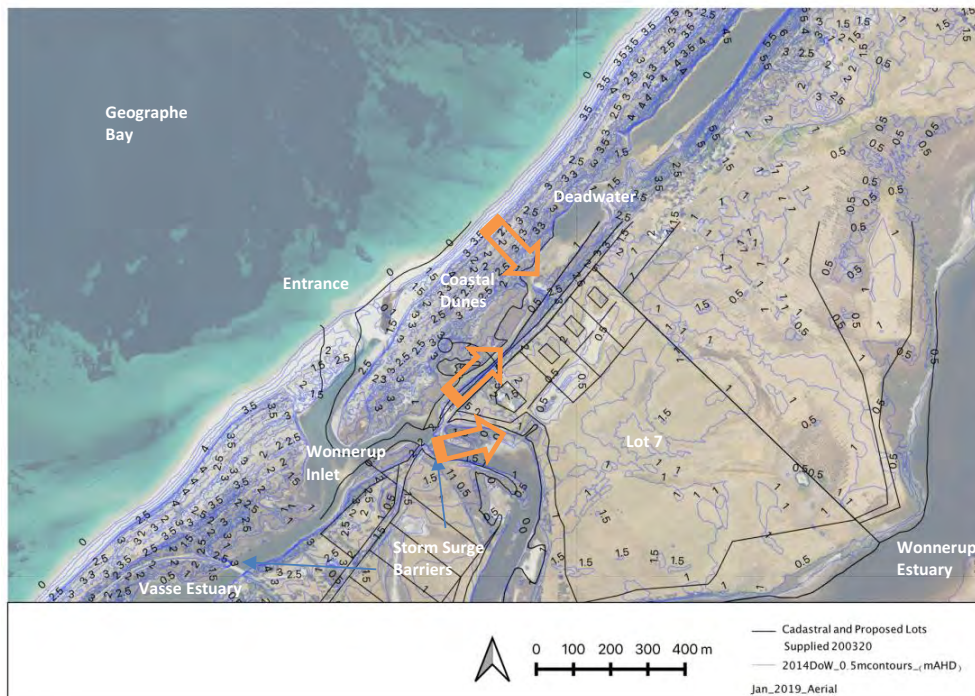


Figure 5 - Vasse Wonnerup Wetlands, Location of Lot 7 and Potential Coastal Flooding Pathways.



### 5. Review of Structure Plan

The three proposed lots have existing elevations in the order of 1.5mAHD, with higher areas towards the road in the order of 2.0mAHD and areas below 1.0mAHD toward the south (Figure 5). The development of very low-lying areas to the south of Lot 7 is not proposed.

Finished floor levels for coastal properties along Geographe Bay are typically identified by the City of Busselton as being 3.0mAHD. The State Coastal Planning Policy requires a more conservative estimate of potential for a 500yrARI tropical cyclone (tracking to maximise storm surge) and 100yrARI sea level rise.

The proposed 3.8mAHD building pads for Lot 7 (86) Forrest Beach Rd allow for a conservative estimate of the 500yrARI tropical cyclone (2.9mAHD water level) occurring in 2120, towards the end of the 100year planning period (i.e. includes 0.9m SLR allowance) (Table 4). Nominally, this type of event has a 0.2% chance of occurrence each year.

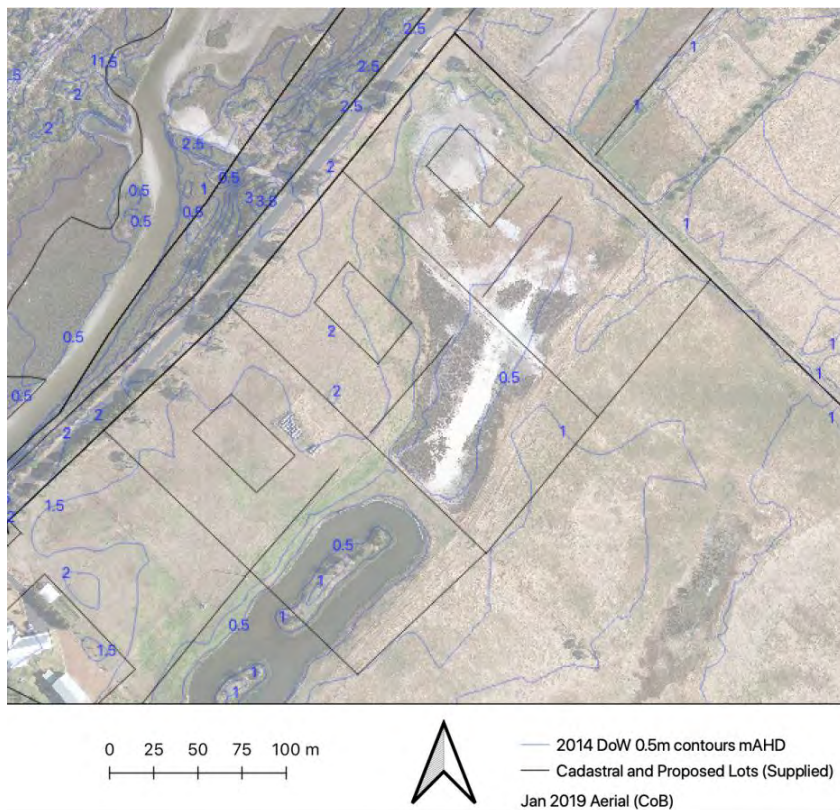


Figure 5 – Detail of Lot 7 showing elevation of proposed lots.

The proposed building pad levels of 3.8mAHD meet the requirements for storm surge inundation under SPP2.6.

However, this approach requires filling of the building lots by more than 2.0m in places for a standard concrete slab. Alternatively, an FFL of 3.8mAHD could be achieved by building



design' which could either allow for wet areas on the lower floor (e.g. garage) and raised living areas on the second floor, or raised flood levels (steel or timber frames construction).

The potential for a staged coastal adaptation approach could also be considered, whereby the initial dwelling constructed on the lot allows for 50 years sea level rise and the preliminary design level for a 500yrARI tropical cyclone (FFL of 3.2mAHD).

Numerical modelling of the design cyclone for Busselton may demonstrate a FFL in the order of 3.0mAHD to be acceptable over a 50 year planning period, provided it is acknowledged that future coastal adaptation is required beyond 50years.

Sincerely

A handwritten signature in black ink, appearing to read 'Stuart Barr', is written in a cursive style.

Stuart Barr  
Director, Seashore Engineering

#### References

- [1] Tidal Submergence Curve (2012)
- [2] Shore Coastal Busselton CMP – Coastal Flooding, Risk Response and Mitigation
- [3] Seashore Design Cyclones
- [4] Vasse Wonnerup Operational Plan – Guidance for Managers 2019.
- [5] SPP2.6. State Coastal Planning Policy.

#### Limitations of this Report

This report and the work undertaken for its preparation, is presented for the use of the client. The report may not contain sufficient or appropriate information to meet the purpose of other potential users. Seashore Engineering does not accept any responsibility for the use of the information in the report by other parties.



**Approval Subject To Condition(s)  
Freehold (Green Title) Subdivision**

**Application No :** 160027

***Planning and Development Act 2005***

Applicant	: Tim Koroveshi 64 Espinos Road BUSSELTON WA 6280
Owner	: Mark Leslie Sims P.O. Box 1143 BUSSELTON WA 6280; Sandra Margaret Sims P.O. Box 1143 BUSSELTON WA 6280
Application Receipt	: 20 October 2020
Lot Number	: 7
Diagram / Plan	: 3280
Location	:
C/T Volume/Folio	: 1976/561
Street Address	: Lot 7 Forrest Beach Rd, Wonnerup
Local Government	: City of Busselton

The Western Australian Planning Commission has considered the application referred to and is prepared to endorse a deposited plan in accordance with the plan date-stamped **20 October 2020** once the condition(s) set out have been fulfilled.

This decision is valid for **four years** from the date of this advice, which includes the lodgement of the deposited plan within this period.

The deposited plan for this approval and all required written advice confirming that the requirement(s) outlined in the condition(s) have been fulfilled must be submitted by **23 December 2024** or this approval no longer will remain valid.

**Reconsideration - 28 days**

Under section 151(1) of the *Planning and Development Act 2005*, the applicant/owner may, within 28 days from the date of this decision, make a written request to the WAPC to reconsider any condition(s) imposed in its decision. One of the matters to which the WAPC will have regard in reconsideration of its decision is whether there is compelling evidence by way of additional information or justification from the applicant/owner to warrant a reconsideration of the decision. A request for reconsideration is to be submitted to the WAPC on a Form 3A with appropriate fees. An application for reconsideration may be

South West Office, Sixth Floor, Bunbury Tower, 61 Victoria Street, Bunbury, Western Australia 6230  
Tel: (08) 9791 0577; Fax: (08) 9791 0576; TTY: (08) 9264 7535; Infoline: 1800 626 477  
e-mail: [info@dplh.wa.gov.au](mailto:info@dplh.wa.gov.au); web address: <http://www.dplh.wa.gov.au>  
ABN 35 482 341 493



submitted to the WAPC prior to submission of an application for review. Form 3A and a schedule of fees are available on the WAPC website: <http://www.planning.wa.gov.au>

### **Right to apply for a review - 28 days**

Should the applicant/owner be aggrieved by this decision, there is a right to apply for a review under Part 14 section 251 of the *Planning and Development Act 2005*. The application for review must be submitted in accordance with part 2 of the *State Administrative Tribunal Rules 2004* and should be lodged within 28 days of the date of this decision to: the State Administrative Tribunal, Level 6, State Administrative Tribunal Building, 565 Hay Street, PERTH, WA 6000. It is recommended that you contact the tribunal for further details: telephone 9219 3111 or go to its website: <http://www.sat.justice.wa.gov.au>

### **Deposited plan**

The deposited plan is to be submitted to the Western Australian Land Information Authority (Landgate) for certification. Once certified, Landgate will forward it to the WAPC. In addition, the applicant/owner is responsible for submission of a Form 1C with appropriate fees to the WAPC requesting endorsement of the deposited plan. A copy of the deposited plan with confirmation of submission to Landgate is to be submitted with all required written advice confirming compliance with any condition(s) from the nominated agency/authority or local government. Form 1C and a schedule of fees are available on the WAPC website: <http://www.planning.wa.gov.au>

### **Condition(s)**

The WAPC is prepared to endorse a deposited plan in accordance with the plan submitted once the condition(s) set out have been fulfilled.

The condition(s) of this approval are to be fulfilled to the satisfaction of the WAPC.

The condition(s) must be fulfilled before submission of a copy of the deposited plan for endorsement.

The agency/authority or local government noted in brackets at the end of the condition(s) identify the body responsible for providing written advice confirming that the WAPC's requirement(s) outlined in the condition(s) have been fulfilled. The written advice of the agency/authority or local government is to be obtained by the applicant/owner. When the written advice of each identified agency/authority or local government has been obtained, it should be submitted to the WAPC with a Form 1C and appropriate fees and a copy of the deposited plan.

If there is no agency/authority or local government noted in brackets at the end of the condition(s), a written request for confirmation that the requirement(s) outlined in the condition(s) have been fulfilled should be submitted to the WAPC, prior to lodgement of the deposited plan for endorsement.

Prior to the commencement of any subdivision works or the implementation of any condition(s) in any other way, the applicant/owner is to liaise with the nominated

South West Office, Sixth Floor, Bunbury Tower, 61 Victoria Street, Bunbury, Western Australia 6230  
Tel: (08) 9791 0577; Fax: (08) 9791 0576; TTY: (08) 9264 7535; Infoline: 1800 626 477  
e-mail: [info@dplh.wa.gov.au](mailto:info@dplh.wa.gov.au); web address: <http://www.dplh.wa.gov.au>  
ABN 35 482 341 493





agency/authority or local government on the requirement(s) it considers necessary to fulfil the condition(s).

The applicant/owner is to make reasonable enquiry to the nominated agency/authority or local government to obtain confirmation that the requirement(s) of the condition(s) have been fulfilled. This may include the provision of supplementary information. In the event that the nominated agency/authority or local government will not provide its written confirmation following reasonable enquiry, the applicant/owner then may approach the WAPC for confirmation that the condition(s) have been fulfilled.

In approaching the WAPC, the applicant/owner is to provide all necessary information, including proof of reasonable enquiry to the nominated agency/authority or local government.

The condition(s) of this approval, with accompanying advice, are:

#### CONDITIONS:

1. Satisfactory arrangements being made with the local government for the partial cost of upgrading Forrest Beach Road. (Local Government)
2. Suitable arrangements being made with the local government for the provision of vehicular crossovers to service the lots shown on the approved plan of subdivision. (Local Government)
3. The land being filled, stabilised, drained and/or graded as required to ensure that:
  - a) lots can accommodate their intended development; and
  - b) finished ground levels at the boundaries of the lot(s) the subject of this approval match or otherwise coordinate with the existing and/or proposed finished ground levels of the land abutting; and
  - c) stormwater is contained on-site, or appropriately treated and connected to the local drainage system. (Local Government)
4.
  - a) Prior to the commencement of subdivisional works, the landowner/applicant is to provide a pre-works geotechnical report certifying that the land is physically capable of development or advising how the land is to be remediated and compacted to ensure it is capable of development; and
  - b) In the event that remediation works are required, the landowner/applicant is to provide a post geotechnical report certifying that all subdivisional works have been carried out in accordance with the pre-works geotechnical report. (Local Government).
5. Drainage easements and reserves as may be required by the local government for drainage infrastructure being shown on the diagram or plan of survey (deposited plan) as such, granted free of cost, and vested in that local government under

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Sections 152 and 167 of the *Planning and Development Act 2005*. (Local Government)

6. Arrangements being made to the satisfaction of the Western Australian Planning Commission and to the specification of Western Power for the provision of an underground electricity supply to the lots shown on the approved plan of subdivision. (Western Power)
7. Arrangements being made to the satisfaction of the Western Australian Planning Commission and to the specification of Western Power for the removal, relocation and/or replacement of electricity supply infrastructure, including plant and/or equipment located on or near the lots shown on the approved plan of subdivision. (Western Power)
8. The transfer of land as a Crown reserve free of cost to Western Power for the provision of electricity supply infrastructure. (Western Power)
9. A notification, pursuant to Section 70A of the *Transfer of Land Act 1893* is to be placed on the certificates of title of the proposed lot(s). Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:  
  
*'A mains potable water supply is not available to the lot.'* (Local Government)
10. A notification, pursuant to Section 70A of the *Transfer of Land Act 1893* is to be placed on the certificates of title of the proposed lots. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:  
  
*'A reticulated sewerage service is not available to the lot. As such, an on-site secondary treatment and disposal system of sewage (which includes nutrient removal) will be required. Therefore, the developable area of the lot is reduced. There are ongoing landowner obligations to ensure that the treatment and disposal system is regularly maintained in accordance with relevant health regulations. Contact the local government for further information.'* (Local Government)
11. Prior to the commencement of subdivisional works, a Foreshore Management Plan which includes the location, construction and specifications of a reserve access/maintenance track, is to be prepared and approved to ensure the protection and management of the site's environmental assets with satisfactory arrangements being made for the implementation of the approved plan. (Department of Biodiversity, Conservation and Attractions)
12. A fence restricting vehicle, pedestrian and stock access to the conservation reserve is to be constructed on the boundary of proposed Lot 1 to the specifications of DBCA, to protect the values of the conservation reserve. (DBCA)
13. Immediately prior to and during vegetation clearing, an authorised fauna spotter is to be on site to manage impacts to threatened western ringtail possums, with a post-

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clearing report provided by the fauna spotter to the Department of Biodiversity, Conservation and Attractions. (DBCA).

14. Preparation and implementation of a landscaping plan to assist in screening of future development sites (as necessary), whilst maintaining any views of significance across the site from Forrest Beach Road. (Local Government)
15. The Bushfire Management Plan (Rev.C dated 23 Nov.2028) being updated to include any additional landscaping or planting areas. (Local Government)
16. Information is to be provided to demonstrate that the measures contained in Section 6; Table of the updated Bushfire Management Plan have been implemented during subdivisional works. This information should include a notice of 'Certification by Bushfire Consultant'. (Local Government)
17. The proposed reserve shown on the approved plan of subdivision being shown on the diagram or plan of survey (deposited plan) as reserve for "strategic water supply for firefighting purposes" and vested in the Crown under section 152 of the *Planning and Development Act 2005*, such land to be ceded free of cost and without any payment of compensation by the Crown. (Local Government)
18. A notification, pursuant to Section 165 of the *Planning and Development Act 2005* is to be placed on the certificate(s) of title of the proposed lot(s) with a Bushfire Attack Level(BAL) rating of 12.5 or above, advising of the existence of a hazard or other factor. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:  
  
*"This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is subject to a Bushfire Management Plan. Additional planning and building requirements may apply to development on this land".* (Western Australian Planning Commission)
19. The landowner/applicant shall provide a written undertaking to the satisfaction of the Western Australian Planning Commission to advise prospective purchasers of the provisions of the local government's local planning scheme that relate to the use and management of the land. (Local Government)
20. A foreshore reserve in accordance with the plan (attached) as established by survey, being shown on the diagram or plan of survey (deposited plan) as a Reserve for Conservation of Flora and Fauna (to be included in Reserve 44838) and vested in the Crown under Section 152 of the *Planning and Development Act 2005*, such land to be ceded free of cost and without any payment of compensation by the Crown. (Western Australian Planning Commission)
21. The landowner/applicant contributing towards development infrastructure provisions pursuant to the City of Busselton Local Planning Scheme No.21. (Local Government)
22. A notification, pursuant to Section 165 of the *Planning and Development Act 2005* is to be placed on the certificates of title of the proposed lot(s) advising of the

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existence of a hazard or other factor. Notice of this notification is to be included on the diagram or plan of survey (deposited plan). The notification is to state as follows:

*'This lot is in close proximity to known mosquito breeding areas. The predominant mosquito species is known to carry viruses and other diseases.'*

*'This lot is located within close proximity of agricultural landuses and has the potential to be affected by odours, noise, spray drift and dust that are associated with the continued operation of agricultural landuse'.*

*'FLOOD PRONE LAND - The land is located within a 1 in 100 year flood plain or other area which is subject to flooding and may be susceptible to inundation.'*  
(Western Australian Planning Commission)

23. Measures being taken to ensure the identification and protection of any vegetation on the site worthy of retention that is not impacted by subdivisional works, prior to commencement of subdivisional works. (Local Government).

#### ADVICE:

- i. In relation to Condition 3, a portion of each building envelope will be required to be filled to accommodate envisaged future development, to the satisfaction of the City, to achieve the following:
  - a. A minimum 3.7 metres AHD ground level to facilitate a finished floor level of 3.8 m AHD;
  - b. A minimum 1.5 metre vertical separation between the highest winter groundwater level and the envisaged discharge point of the future on-site effluent disposal system;
  - c. A suitable land application area consistent with the requirements of the Government Sewerage Policy for on-site effluent disposal purposes.
- ii. In relation to condition 13, the Department of Biodiversity, Conservation and Attractions advise that, a section 40 ministerial authorisation to take or disturb threatened fauna under Western Australia's *Biodiversity Conservation Act 2016* is to be obtained by the fauna spotter prior to clearing occurring. The spotter is to provide a post-clearing report to DBCA [swlanduseplanning@dbca.wa.gov.au](mailto:swlanduseplanning@dbca.wa.gov.au) that includes the numbers of adult or juvenile western ringtail possums observed, taken or disturbed, any injuries or fatalities, and the location of the fauna after clearing occurred.
- iii. In relation to condition 21, the City of Busselton advise that the payment is required as a result of the City of Busselton, Local Planning Scheme 21 Development Contribution Areas provisions and is calculated on the basis of \$1,630 for every additional lot approved in the Rural Remainder precinct. The contribution fees are upgraded in line with the Local Government Cost Index for WA. The fee applicable

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will be determined at the time of payment and may therefore vary from the quoted figure.

A handwritten signature in dark ink, appearing to read "S. Fagan".

Ms Sam Fagan  
Secretary  
Western Australian Planning Commission  
5 January 2021

Enquiries : David Stapleton (Ph 9791 0590)

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