

Local Development Plan

Lot 100 Broadwater Boulevard, Broadwater

Application of Local Development Plan (LDP)

Local Development Plan - Lot 100 Broadwater Boulevard, Broadwater

- The provisions of *City of Busselton Local Planning Scheme No. 21 (LPS 21)* and *State Planning Policy 7.3 Residential Design Codes Volume 1 (R-Codes)* are varied as detailed within this LDP.
- All other requirements of the Local Planning Scheme and R-Codes shall be satisfied in all other manners.

Residential Design Code

The R-Code applicable to these lots is as per LPS 21.

Streetscape

- Dwellings must be orientated toward the street, communal open space and / or internal driveway as indicated on the sketch and must present a feature streetscape elevation to these primary and secondary frontages where applicable. In this respect, a feature streetscape elevation is expected to incorporate articulated / staggered sections of walls, fenestration and forward expressed roof element (i.e. full gable, dutch gable, nested gable etc.).
- Designated garage locations are indicated on the sketch but may be altered subject to amended plans or a lot-specific application for development approval.
- No clothes drying areas, bin storage or outbuildings shall be constructed within the Broadwater Boulevard setback.

Setbacks

- Garages are to be setback 1m from common property, except Lots 1 and 8 -10 which are to be setback in accordance with the B.A.L. dwelling exclusion zone.
- Table 1 and 5.1.2 C2.1 iii. of the R-Codes is varied in respect to Lots 2 and 3 to permit a 3m minimum setback (including garages) with no averaging.
- All other setbacks are standard for the R-Code applicable to the lots.

Fencing

- Solid side and rear fencing is not to exceed 1.8m in height and be consistent in material and colour.
- Fencing along Broadwater Boulevard associated with lots 1, 2 and 3 is to be undertaken in conjunction with the development of a dwelling and shall include permeable fencing above 1.2m to a maximum height of 1.8m.

Outdoor Living Areas

- 5.3.1 C1.1 of the R-Codes is varied to permit outdoor living areas forward of the street setback area to communal street for lots 1, 6 and 8 - 10.

Incidental Development


- All dwellings are required to have an allocated store area in accordance with 5.4.4 C4.5 of the R-Codes.
- Any outbuildings must comprise materials that generally match that applied to the main dwellings. Painted steel (Colorbond or similar) outbuildings must be in a colour that matches the roof or gutter / fascia / downpipes of the dwelling.

Landscaping

- All landscaping in common property and BAL dwelling exclusion area to be maintained in a 'low threat' state to comply with residential gardens exclusion under clause 2.2.3.2(f) of AS 3959-2018.



















Approval

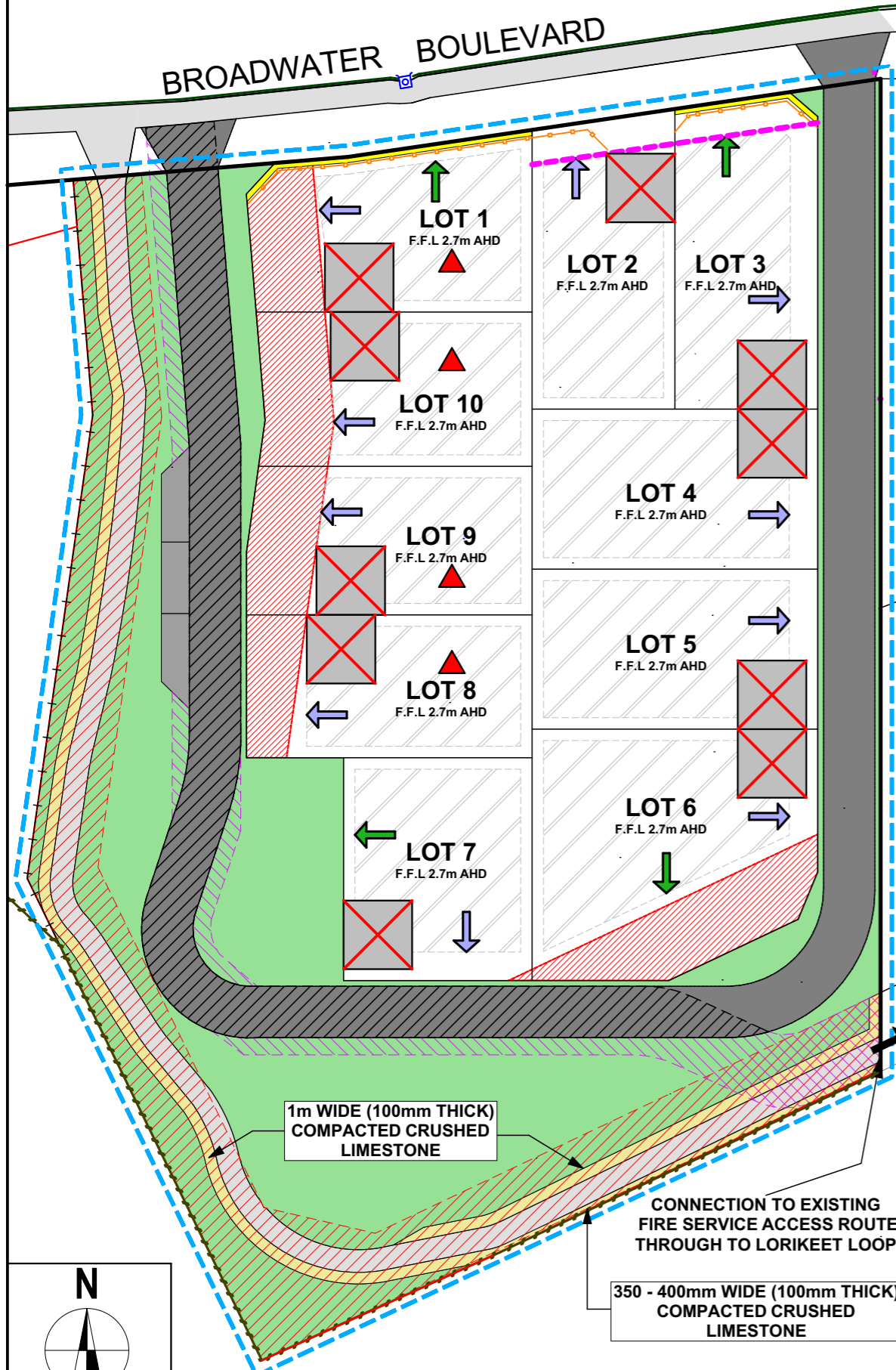
This LDP has been approved by the City of Busselton under Schedule 2, Part 6, Clause 52 (1) of the *Planning and Development (Local Planning Schemes) Regulations 2015*.


Signature

15 March 2024
Date

LEGEND

-  SUBJECT LAND
-  DESIGNATED GARAGE LOCATION
-  BUILDING ENVELOPE
-  PRIMARY STREET DWELLING ORIENTATION
-  SECONDARY STREET DWELLING ORIENTATION
-  NO VEHICLE ACCESS
-  3m MINIMUM SETBACK (NO AVERAGING)
-  SEALED / PAVED ACCESS WAY
-  2m CONCRETE PATH WITH 1m (3m OVERALL) COMPACTED CRUSHED LIMESTONE
-  B.A.L. DWELLING EXCLUSION AREA
-  1.8m HIGH FEATURE WALLS WITH PIERS AND VISUALLY PERMEABLE SLAT / GRILL PANELS ABOVE 1.2m
-  EXISTING 1.5m HIGH, BLACK P.V.C. COATED CHAINMESH FENCE
-  1.5m HIGH, BLACK P.V.C. COATED CHAINMESH FENCE
-  COMMON PROPERTY / CONSERVATION CATEGORY WETLAND BUFFER AREA
-  EASEMENT IN GROSS (PEDESTRIAN AND FIRE SERVICE ACCESS)
-  PORTION OF ACCESS WAY TO BE USED AS FIRE SERVICE ACCESS ROUTE IN EMERGENCY (EASEMENT IN GROSS APPLIED)
-  PAVEMENT WIDENING OR COMPACTED GRAVEL / LIMESTONE SHOULDER TO MEET FIRE SERVICE ACCESS ROUTE REQUIREMENTS (EASEMENT IN GROSS APPLIED)
-  LOTS RECOMMENDED FOR TWO-STOREY DEVELOPMENT



SCALE 1:500

