

LDP PLANNING PROVISIONS

General

- Unless provided for below, the provisions of the City of Busseton Local Planning Scheme No.21, the Port Geographe Development Plan or the Residential Design Codes apply.
- This LDP operates in conjunction with the R-Codes by applying additional controls or by varying "Deemed-to-Comply" requirements. Where this LDP varies any requirements of the R-Codes, compliance shall be deemed to constitute "Deemed-to-Comply" and neighbour consultation with respect to those items is not required.

Floor Levels

- All habitable floor levels are to achieve a minimum height of 3.1m AHD, in order to satisfy the inundation clearance requirements of State Planning Policy 2.6 State Coastal Planning Policy.

Building Height

- Maximum building height for lots 101 and 103-110 shall be determined in accordance with the Category C (3 storey) provisions of Table 3 of the R-Codes. All other lots are Category B (2 storey).

Garage Locations

- Where indicated on this LDP, Garages / carports shall be located generally in accordance with the "preferred garage location".

Foreshore Interface

- Each dwelling shall include an outdoor living area and a minimum of one habitable room with a major opening that has clear view of the foreshore reserve and / or marina entry.
- No building or outbuilding shall be erected closer than 4.5 metres from the landward side of the boundary to the foreshore reserve or marina edge unless otherwise varied in accordance with clause 5.9.2 (m) (i-iv) of LPS21.
- Enclosed, non-habitable structures such as storage sheds are only permitted where visible from the road or foreshore if attached to the dwelling and constructed of the same materials as the dwelling. Unenclosed non-habitable structures such as gazebos, patios and pergolas are exempt from this provision.

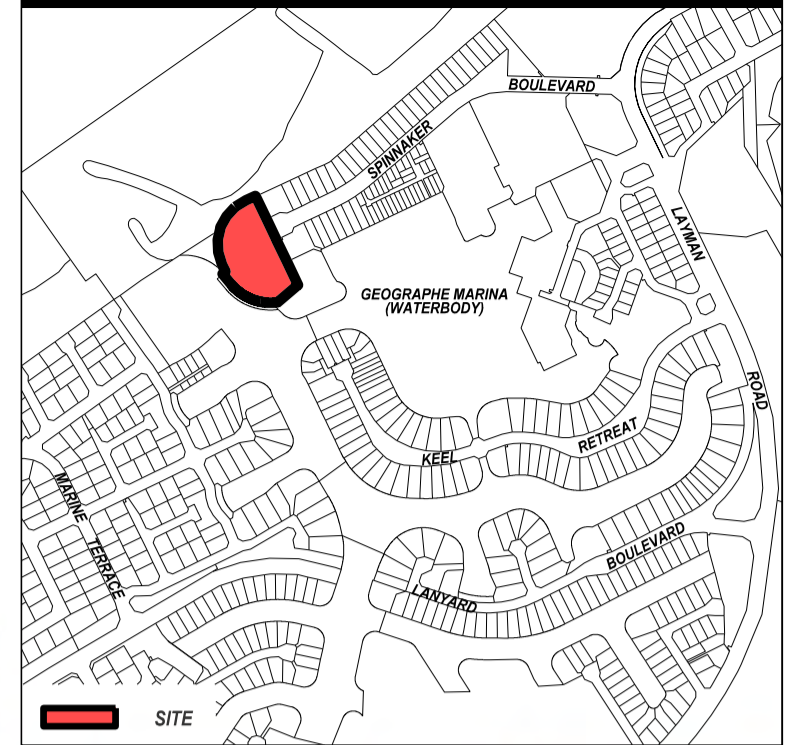
Soakwells

- For lots 111, 112 and 113, soakwells are only to be installed in the front setback between the dwelling and the street.

Mixed Use Site

- The mixed use site is subject to a separate LDP to be prepared prior to the submission of a development application. The LDP shall provide for pedestrian connections between the internal road reserve and the foreshore reserve to the satisfaction of the City of Busseton.

LOCATION PLAN



LEGEND

- LOCAL DEVELOPMENT PLAN BOUNDARY
- R30 LOTS (16)
- MIXED USE LOTS (R60) (1)
- EXISTING BUILDING
- ORIENTATION OF MANDATORY HABITABLE ROOM
- UNIFORM FENCING
- 4.5m SETBACK
- PREFERRED GARAGE LOCATION



0 10 20 30 40 50m

LOCAL DEVELOPMENT PLAN

Lot 590 Spinnaker Boulevard, PORT GEOGRAPHE

NOTE:

Base Data supplied by Landgate.

Areas and dimensions shown are subject to final survey calculations.

Revision	Date	Item
D	26/3/2024	Remove Easements from the rear of Lots 112, 114, 115 & 117
C	26/2/2024	Minor revision to Provisions / Soakwells
B	25/10/23	Minor revision to Provisions
A	23/4/22	Initial issue

Adopted by the City of Busseton pursuant to Local Planning Scheme No.21 in accordance with delegation S7-01E of Council on the

26th day of April 2024

Signature:

- : CLIENT
 A3@1:750 : SCALE
 22 April 2024 : DATE
 590-LDP-001 : PLAN No
 D : REVISION
 C.L. : PLANNER
 B.L. : DRAWN

Rise Urban
 AGILE PLANNING FOR THE NEW NORMAL